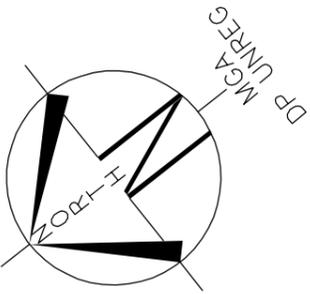


NORTH



**SUBJECT TO REGISTRATION OF
LAND AND CONFIRMATION FROM
10.7 CERTIFICATE**

(C) PROPOSED EASEMENT TO DRAIN WATER 1.5
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 17
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16**

SITE AREA	330 m ²
SITE COVERAGE	
HOUSE FOOTPRINT:	153.8 m ²
ESTIMATED DRIVEWAY, PATHS & PAVING:	49.4 m ²
TOTAL SITE COVERAGE:	203.2 m ² 61.6%
MAX. ALLOWABLE BY DEVELOPER:	65%
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	126.7 m ²
(MIN. DIMENSION OF 3.0m)	38.4%
MIN. REQUIRED BY COUNCIL:	35%
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	95.3 m ²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

**Maximum 1000mm CUT
Maximum 1000mm FILL**

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M"

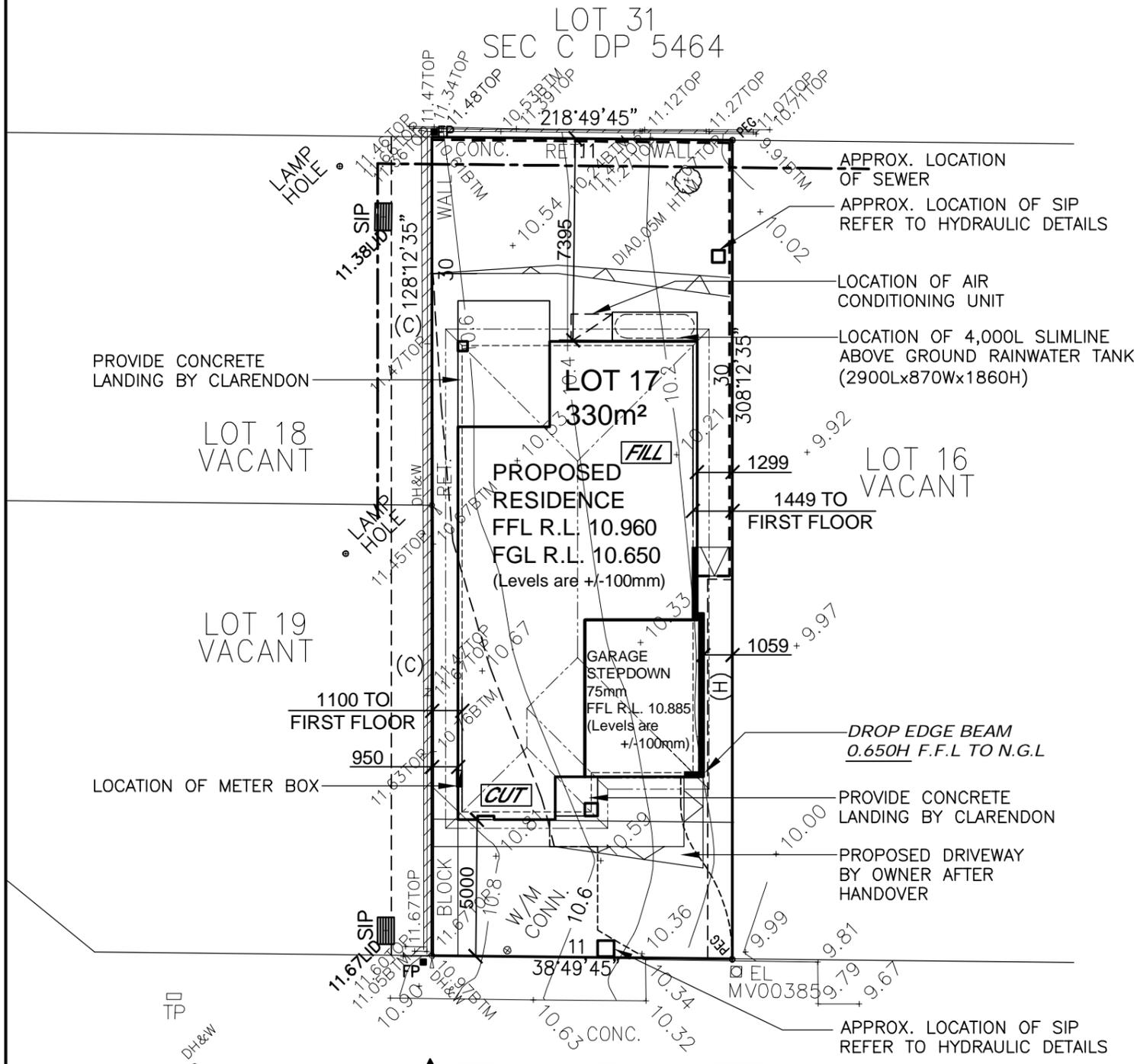
NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO
STREET VIA
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

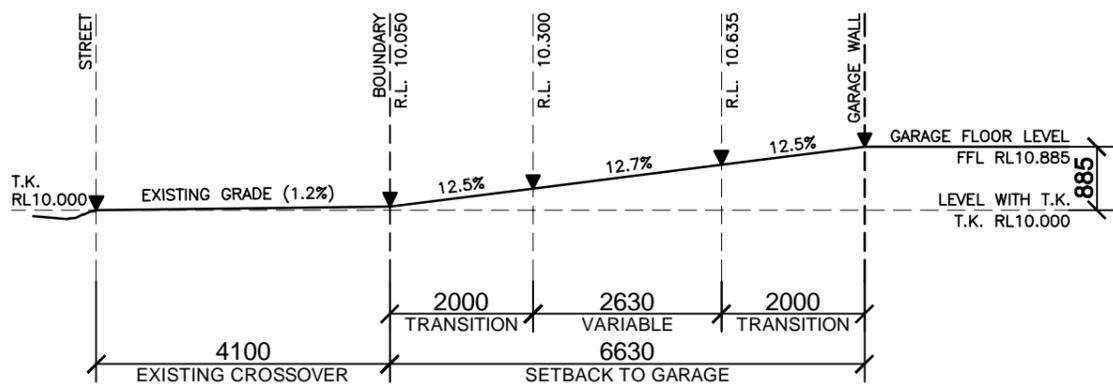
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2019/0385

(Activation of consent must be obtained
from Northern Beaches Council)



**PROPOSED ROAD
(BUBALO STREET BY SIGN)**



DRIVEWAY GRADIENT PROFILE
SCALE - 1:100

SITE PLAN
SCALE 1:200

GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

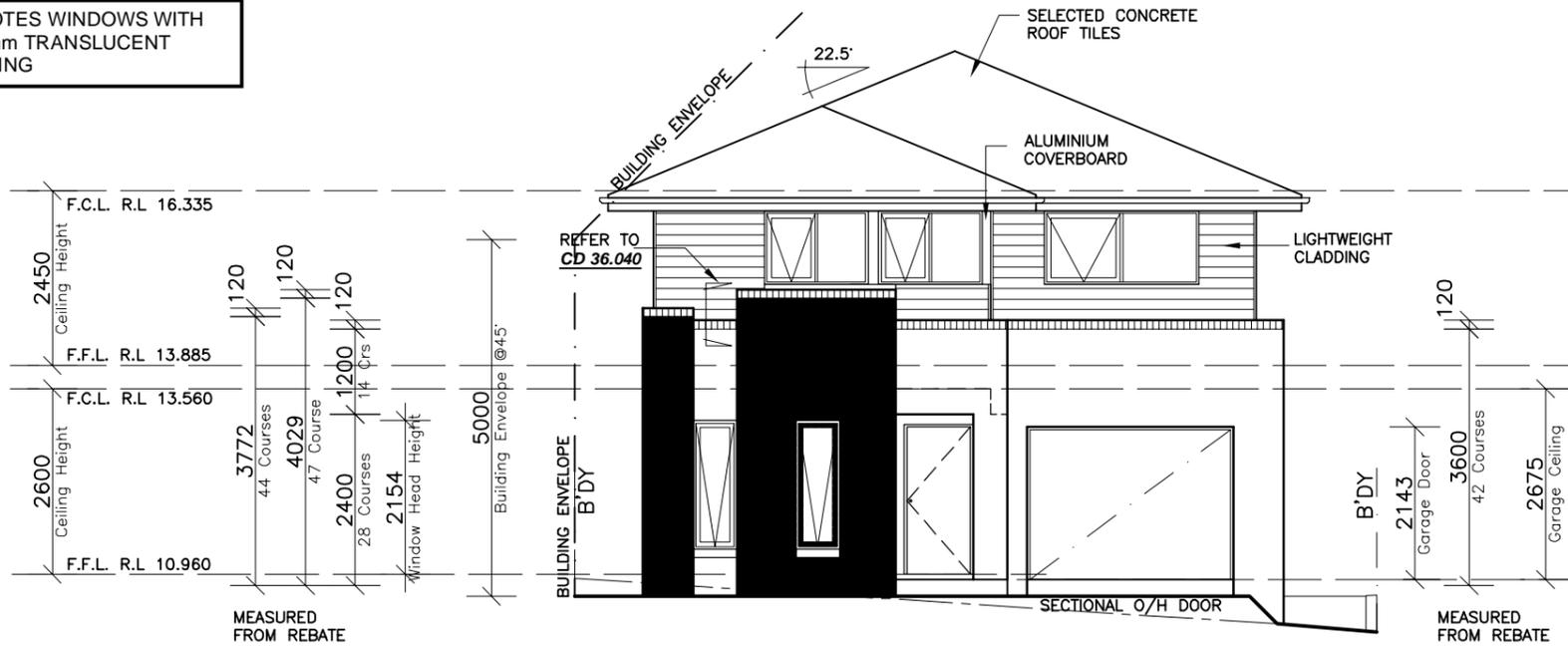
<p>CLIENT'S SIGNATURE: _____ DATE: _____</p> <p>ClarendonHomes BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN</p>	<p>PRODUCT: PARKHILL 32 Prominent R/H Garage</p> <p>Evolution Specification</p>	<p>CLIENT: Mr. SOMMER Mrs. SOMMER</p> <p>SITE ADDRESS: Lot 17 Proposed Road WARRIEWOOD 2102</p>	<p style="text-align: center;">DA DRAWINGS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DRAWN: PG.</td> <td>DATE: 28.02.19</td> <td>Rev:</td> </tr> <tr> <td>RATIO @ A3: 1:200</td> <td>CHECKED: J.S</td> <td style="text-align: center; font-weight: bold;">F</td> </tr> <tr> <td>SHEET: 2</td> <td>JOB No: 29913455</td> <td>NSW</td> </tr> </table>	DRAWN: PG.	DATE: 28.02.19	Rev:	RATIO @ A3: 1:200	CHECKED: J.S	F	SHEET: 2	JOB No: 29913455	NSW
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SHEET: 2	JOB No: 29913455	NSW											

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

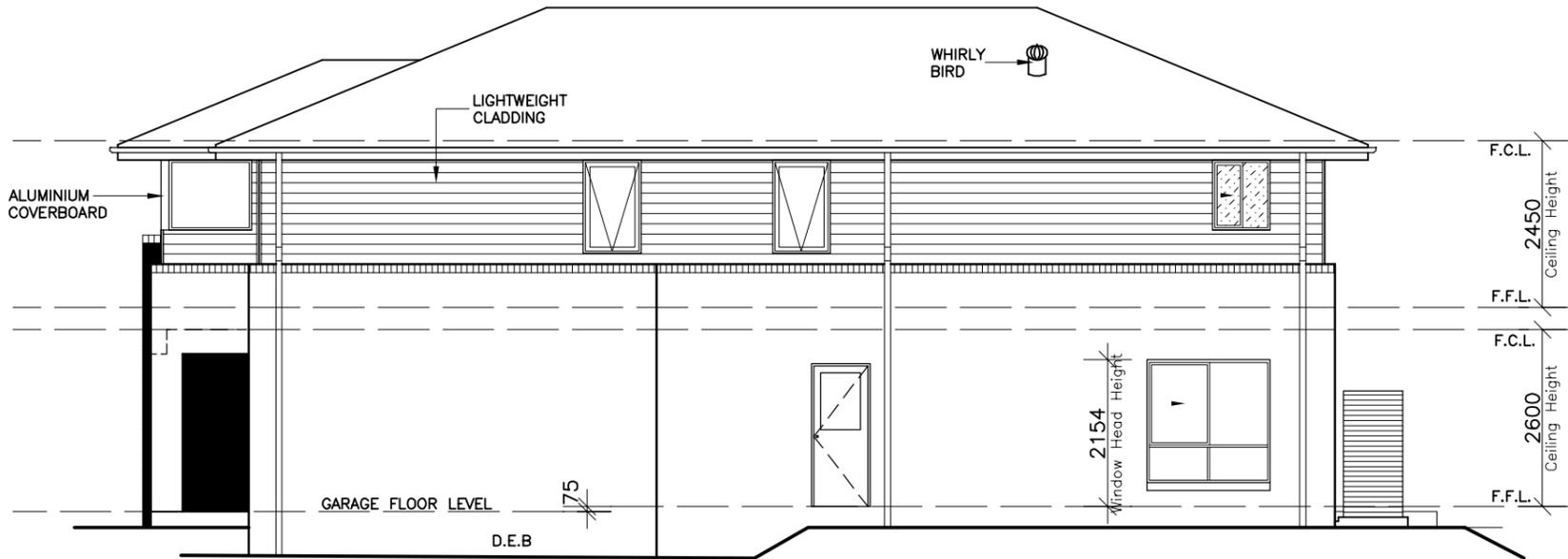
NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

Selected Render Coating 1

DENOTES WINDOWS WITH 6.38mm TRANSLUCENT GLAZING



**ELEVATION 1
-NORTH WEST-**



**ELEVATION 2
-SOUTH WEST**

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2019/0385

(Activation of consent must be obtained from Northern Beaches Council)

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (00) 0054 5200

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DIMENSIONS TO BE READ IN CONJUNCTION WITH

PRODUCT:
PARKHILL 32
Prominent
R/H Garage
Evolution Specification

CLIENT:
Mr. SOMMER
Mrs. SOMMER
SITE ADDRESS:
Lot 17
Proposed Road
WARRIEWOOD 2102

DA DRAWINGS

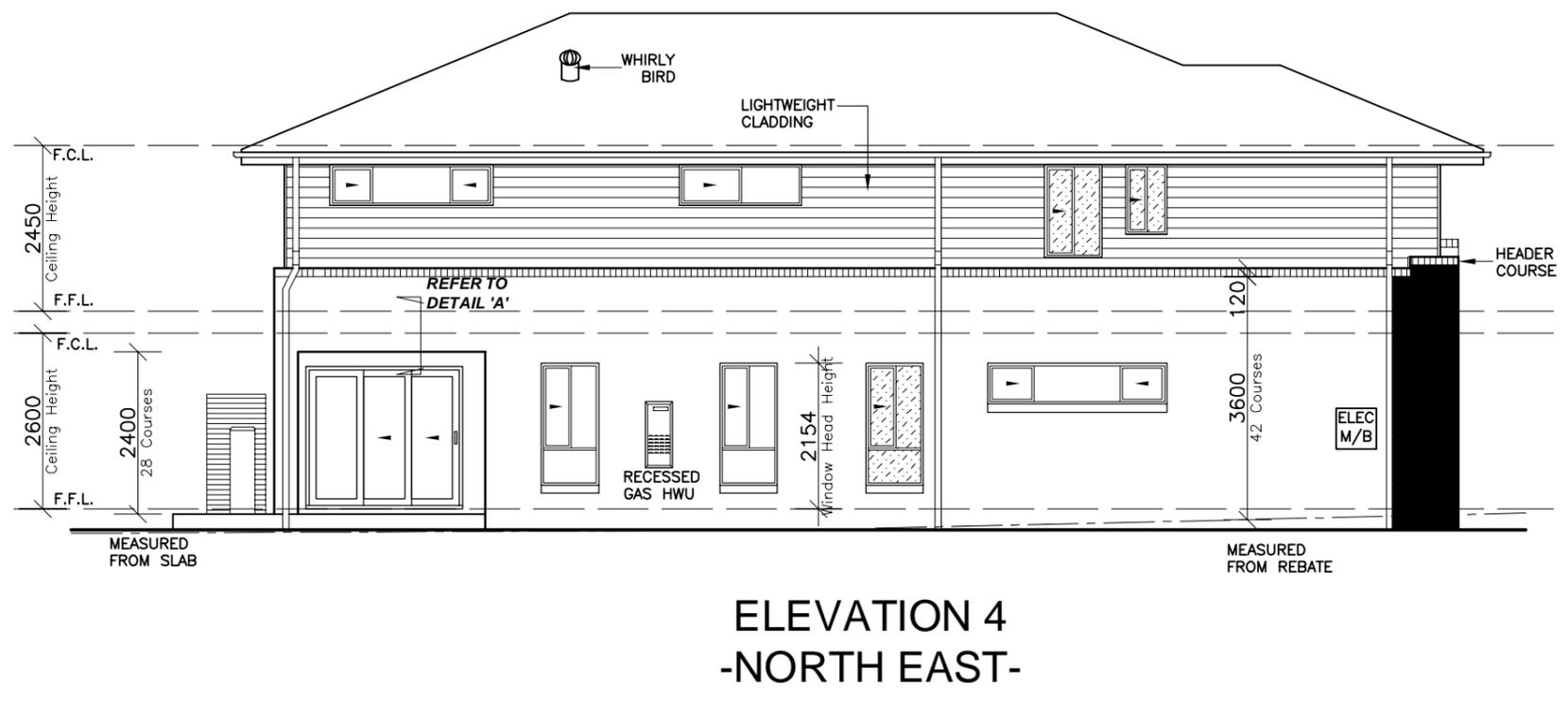
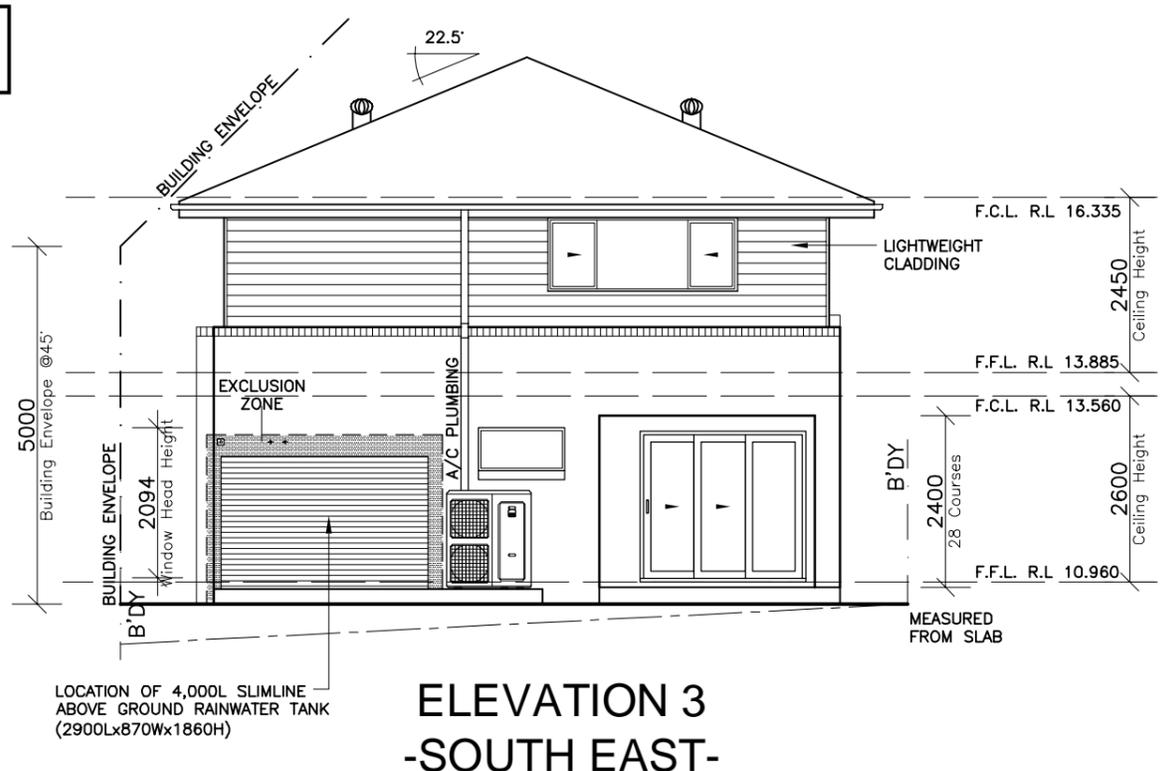
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RATIO @ A3: 1:100	CHECKED: J.S	F
SHEET: 5	JOB No: 29913455	NSW

NOTE:
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NOTES:
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 Selected Render Coating 1

 DENOTES WINDOWS WITH 6.38mm TRANSLUCENT GLAZING



 northern beaches council

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DIMENSIONS TO BE READ IN CONJUNCTION WITH...

PRODUCT:
PARKHILL 32
Prominent R/H Garage

Evolution Specification

CLIENT:
Mr. SOMMER
Mrs. SOMMER

SITE ADDRESS:
Lot 17
Proposed Road
WARRIEWOOD 2102

DA DRAWINGS		
DRAWN: PG.	DATE: 28.02.19	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29913455	NSW