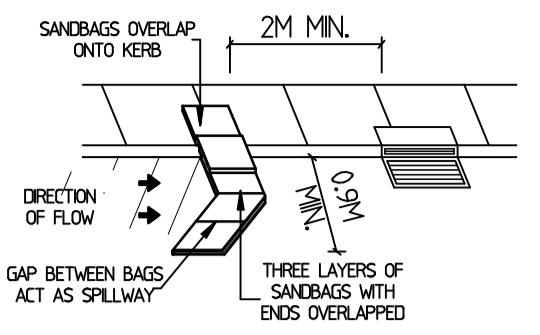


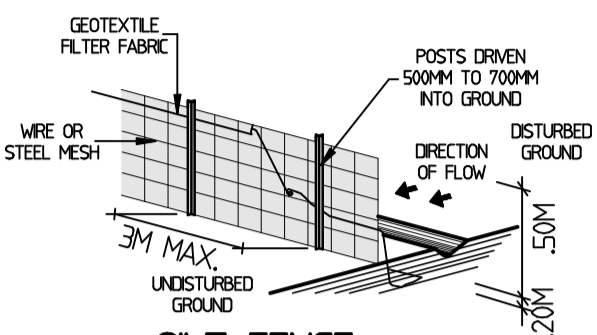
LOT 10 SEC 1
D.P.11651

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019 9088

northern beaches council



KERB INLET SEDIMENT TRAP



SILT FENCE BARRIER DETAIL

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

GENERAL NOTES:

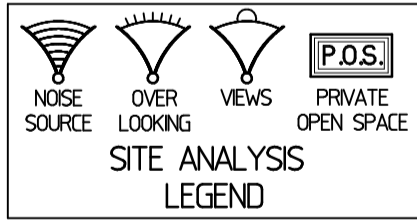
- ◆ STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- ◆ SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ◆ GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER, AND ARE SUBJECT TO CHANGE BY +/- 100MM
- ◆ FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- ◆ WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO ATRIA DESIGNS BEFORE PROCEEDING

DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2601-2001

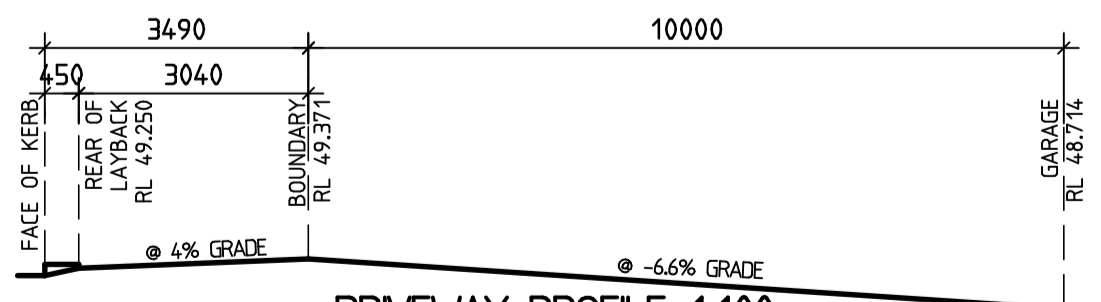
REFER TO HYDRAULICS ENGINEERS PLAN FOR FULL DETAILS. SITE PLAN TO BE CROSSED REFERENCED WITH HYDRAULIC PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

FLOOR AREAS	
GROUND FLOOR AREA	111.4SQM
GARAGE FLOOR AREA	40SQM
PORCH AREA	5.3SQM
ALFRESCO AREA	20.6SQM
FIRST FLOOR AREA	139.2SQM
FRONT BALCONY AREA	4.8SQM
REAR BALCONY AREA	17.5SQM
TOTAL FLOOR AREA	338.8SQM OR 36.5SQS

SITE CALCULATIONS-DA			SITE AREA = 474.2SQM	
LANDSCAPED AREA	REQUIRED	54% OR 256.1SQM	63% OR 299.9SQM	PROVIDED
	PRIVATE OPEN SPACE	REQUIRED	80SQM	PROVIDED
		ALFRESCO= 20.6SQM		
		FRONT YARD = 144.8SQM		
		TOTAL = 165.4SQM		

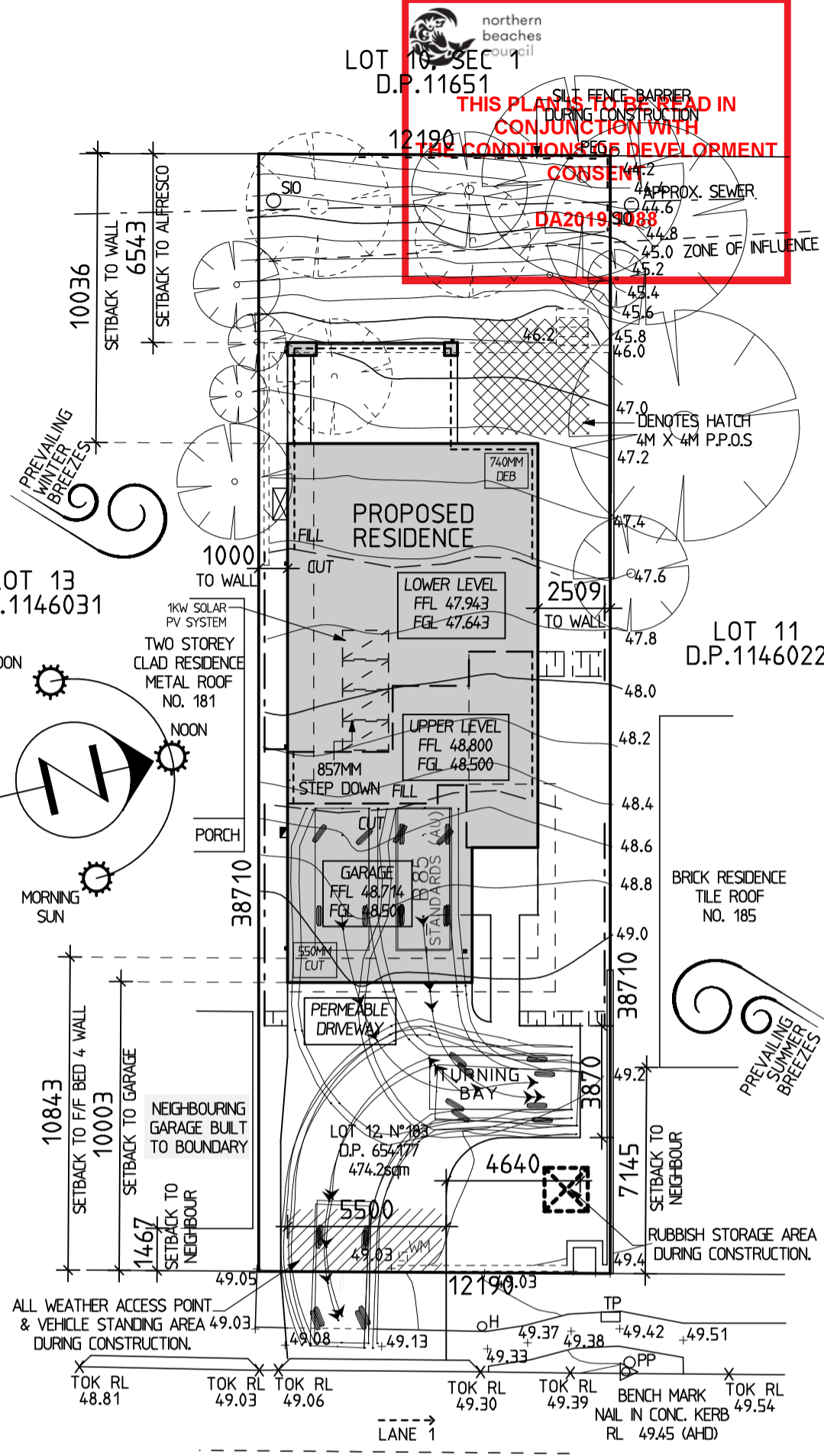
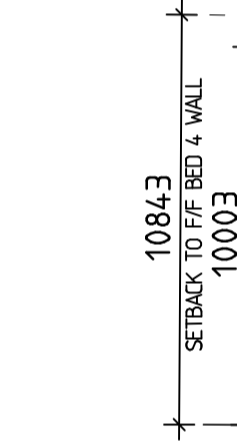
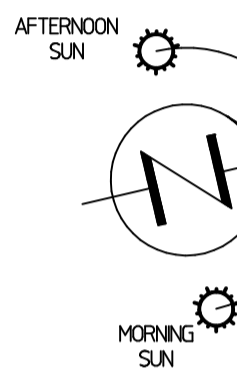


SITE ANALYSIS, SWEEP PATH & SITE PLAN 1:200



- DENOTES EXISTING TREE'S TO REMAIN
- DENOTES EXISTING TREE'S TO BE REMOVED
- DENOTES RETAINING TO ENG'S DETAILS
- - - DENOTES SILT FENCE BARRIER
- - - DENOTES DROPPED EDGE BEAM
- ||||| DENOTES LINE OF BATTER TO CUT OR FILL

LOT 13
D.P.1146031



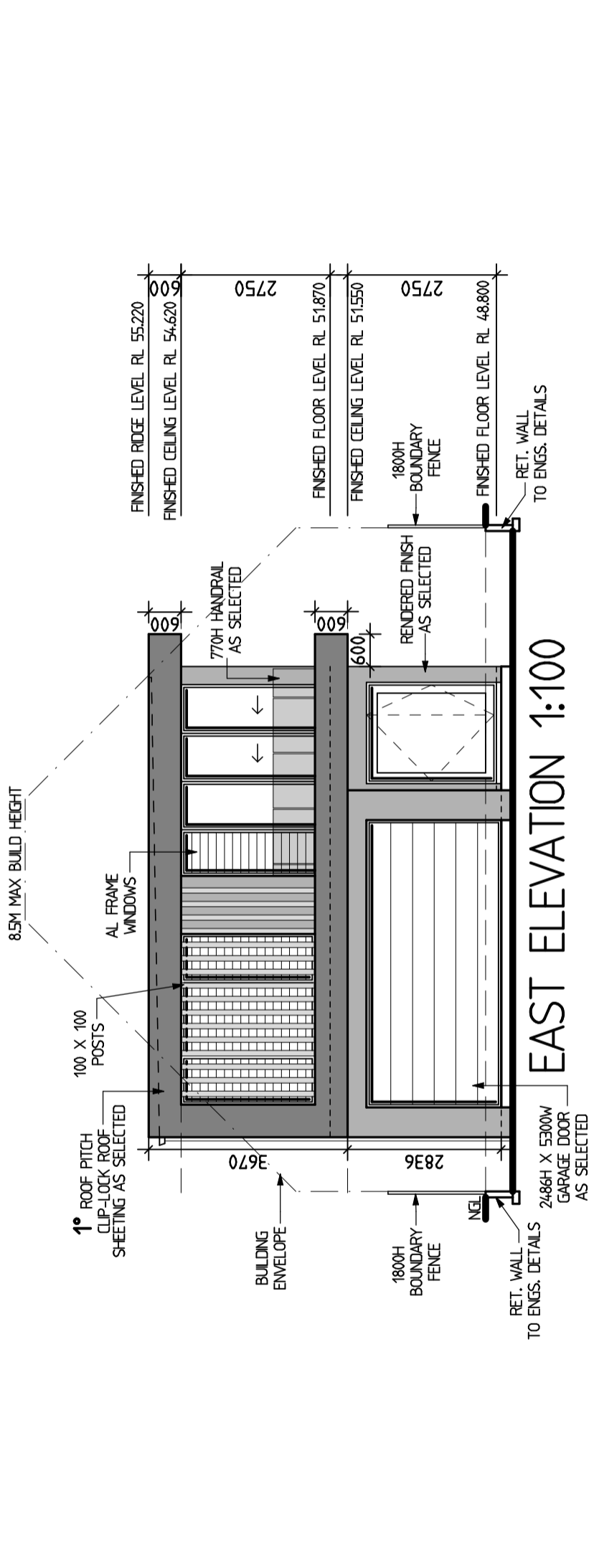
ISSUE	DATE	REVISION	DRAWN
A	05-11-18	CC PLANS	SN
B	06-12-18	AMENDMENTS	SN
C	21-01-19	AMEND CC PLANS	SN
D	13-02-19	AMEND CC PLANS	SN
E	01-08-19	RESUBMISSION PLANS	RK
F	05-08-19	AMEND CC PLANS	IZ

newport homes
2 CARDELL RD KELLYVILLE 2155
02 8625 4957
INFO@NEWPORTHOMES.NET.AU

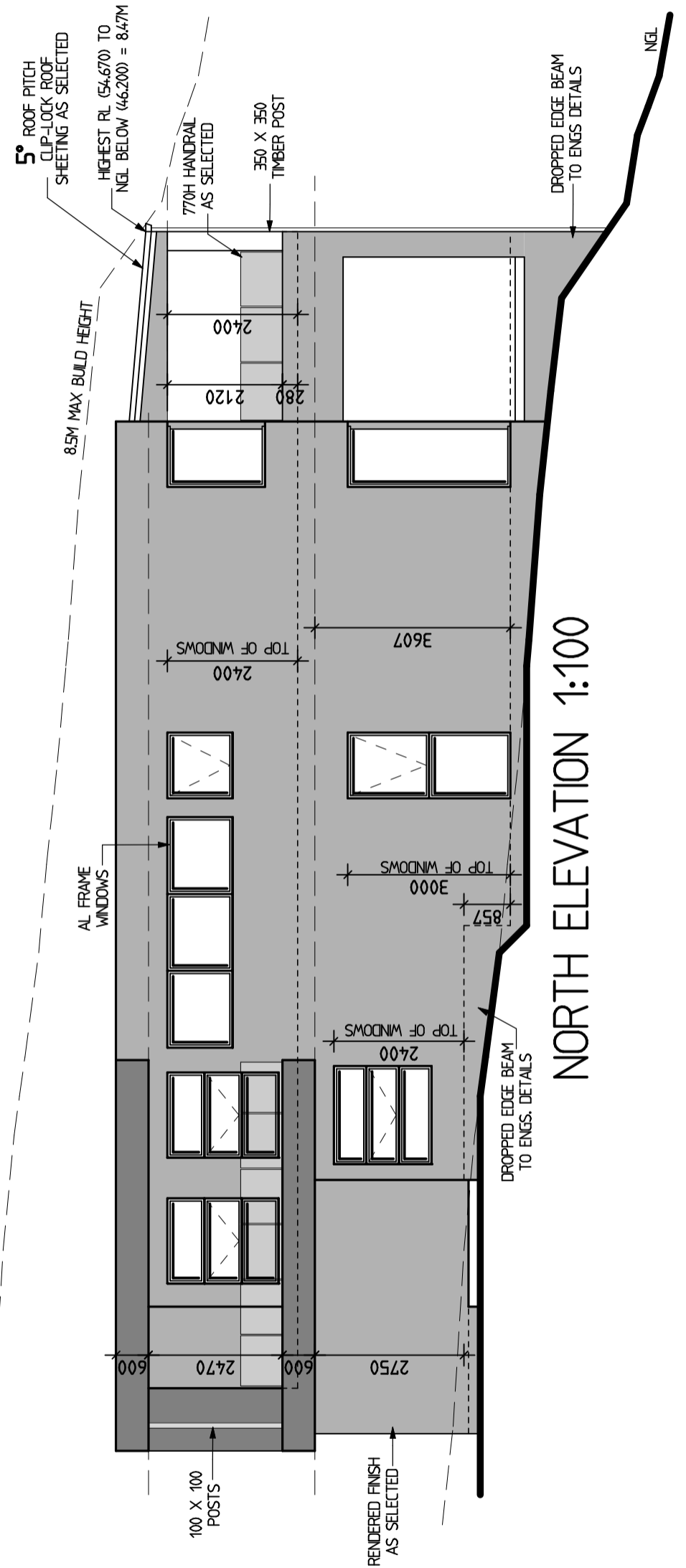
FOR	MR BEVLACQUA	PAGE SIZE	A3	DWG NO.	J1372	PAGE NO.	1 OF 16				
AT	LOT 12, N°183 BARRENJOEY ROAD NEWPORT	DP NO.	654177	ISSUE	G	DATE	07-08-19	REVISION	AMEND CC PLANS	DRAWN	IZ
		ISSUE	H	DATE	09-09-19	REVISION	AMEND CC PLANS	DRAWN	IZ		
		ISSUE	I	DATE	13-11-19	REVISION	SWEPT PATH PLAN	DRAWN	RK		



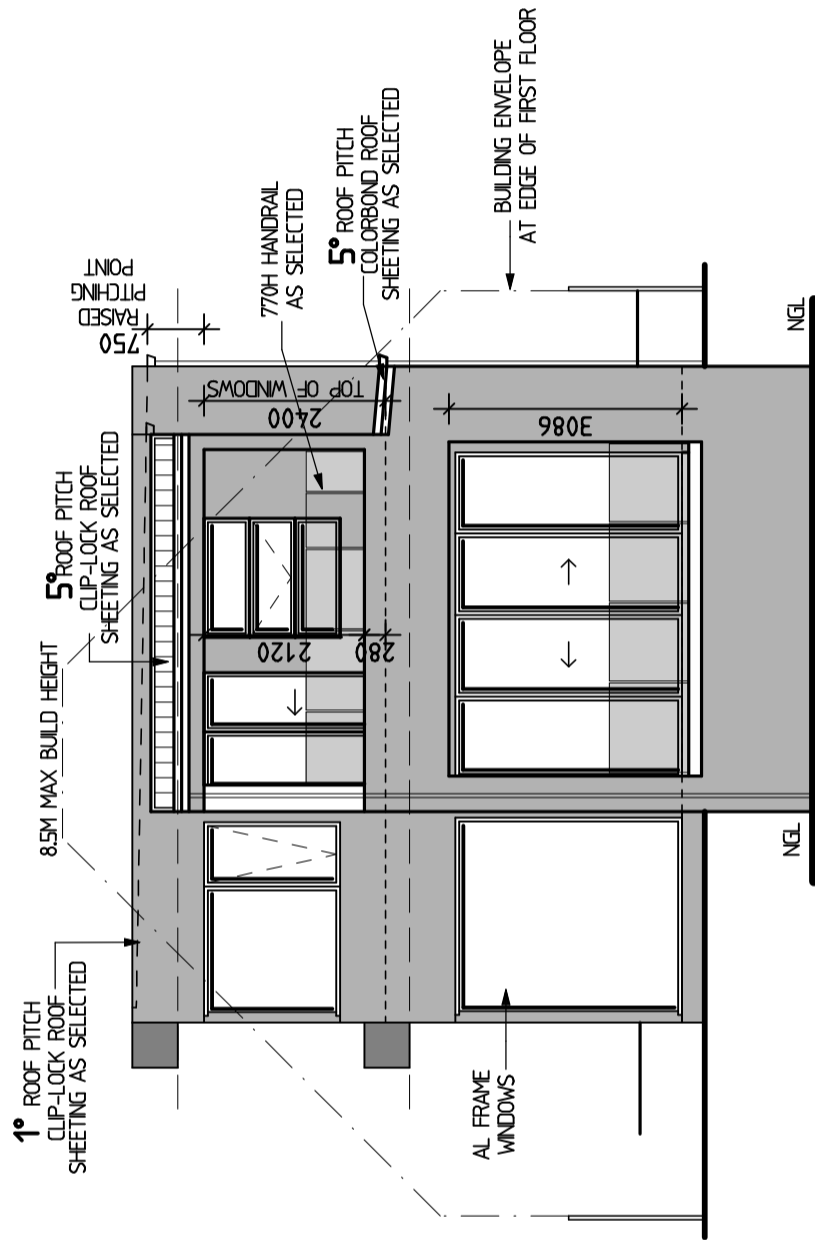
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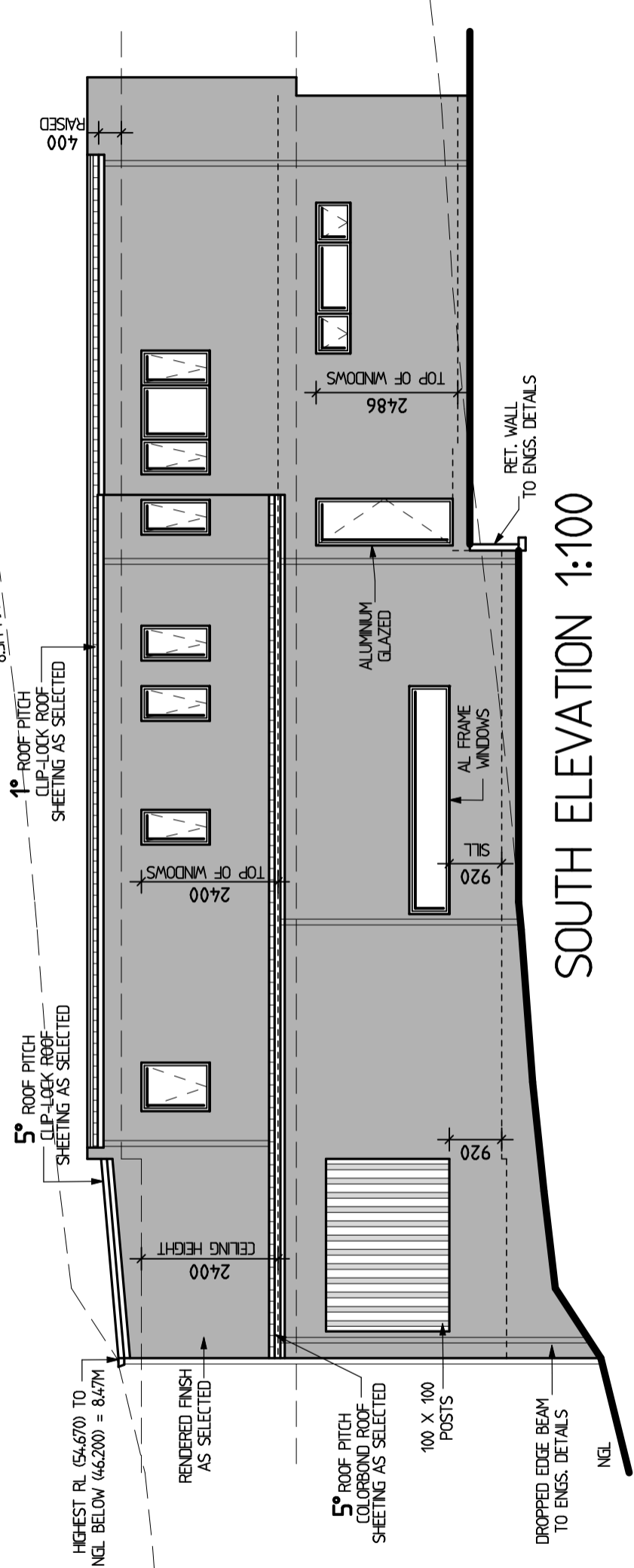
EAST ELEVATION 1:100



NORTH ELEVATION 1:100



WEST ELEVATION 1:100



SOUTH ELEVATION 1:100

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

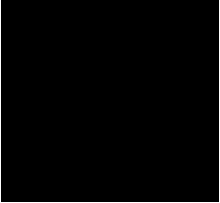
DA2019/1088

Client: Name: Paul Bevilacqua

Site address: Lot 12 (183) Barrenjoey Road, Newport NSW 2106

Click Lock Roof

Black



GARAGE DOOR

Cedar



FASCIA AND GUTTER

Black



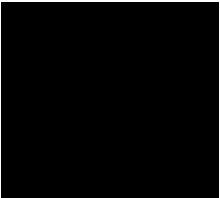
RENDER 1

Taubmans - Black



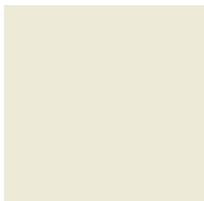
Window Frames

Black



RENDER 2

Taubmans - Alpine Snow



FRONT DOOR



CEDAR CLADDING

