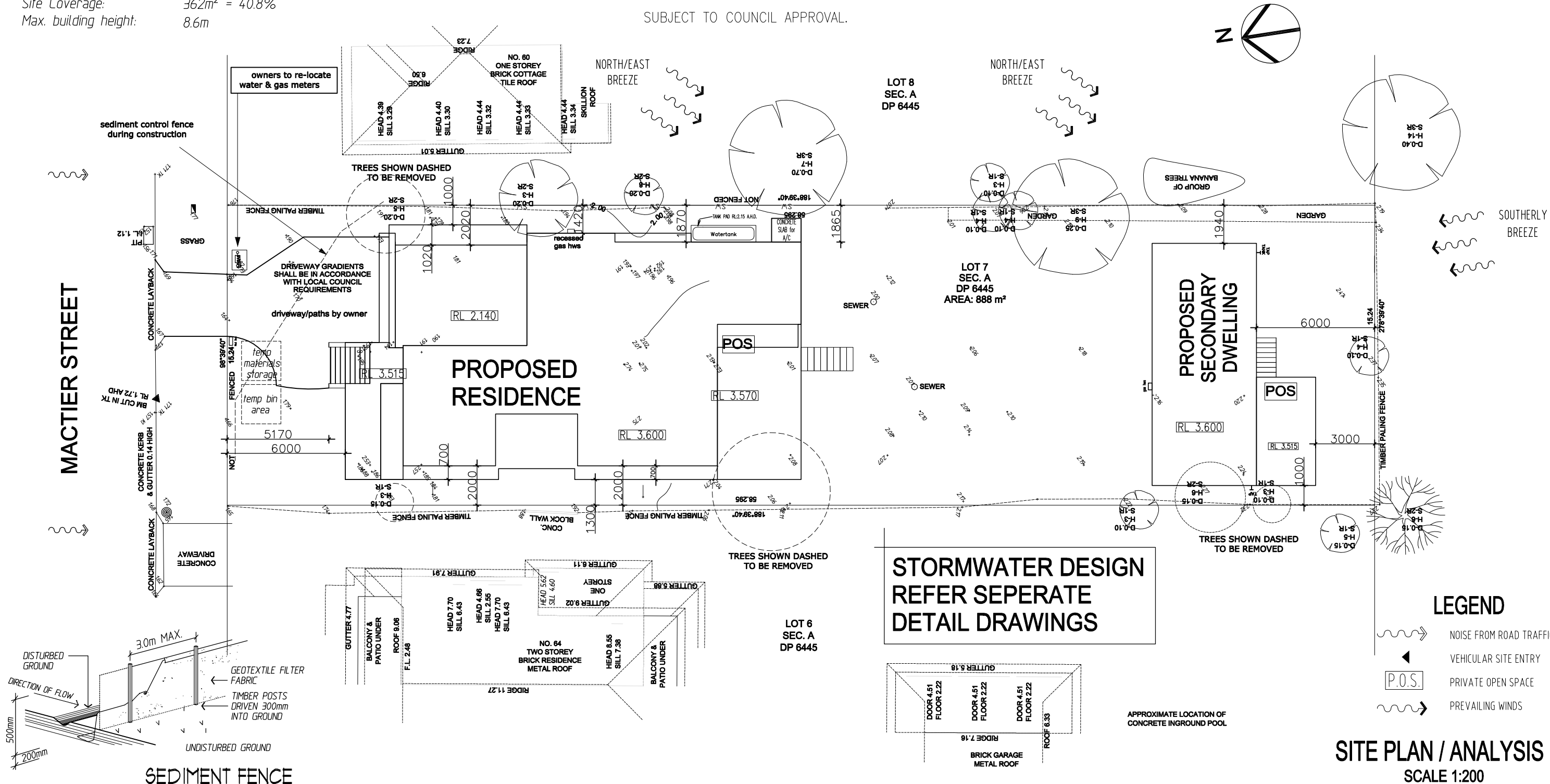




Site Area: 888m<sup>2</sup>  
Driveway/paths: 47m<sup>2</sup>  
Site Coverage: 362m<sup>2</sup> = 40.8%  
Max. building height: 8.6m

NOTE: THE OWNER HAS PROVIDED TULLIPAN HOMES WITH THE REQUIRED FINISHED FLOOR LEVELS AS SHOWN ON THE PLANS. ALL PROPOSED FLOOR LEVELS ARE SUBJECT TO COUNCIL APPROVAL.

CUSTOM



**SEDIMENT FENCE**  
N.T.S.

**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**NATIONWIDE HOUSE**  
Average star rating 5.2  
NARRABEEN  
www.nathers.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW 2101

**CAUTION:**

1. UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. \*\*\*\* DIAL BEFORE YOU DIG (CALL 1100) \*\*\*\*
2. THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. FOR ANY CONSTRUCTION ACTIVITIES PROPOSED IN CLOSE PROXIMITY TO THE BOUNDARIES, IT IS RECOMMENDED THAT THOSE BOUNDARIES BE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.

**DIAL 1100 BEFORE YOU DIG**

**CLIENT** A & M POPOVSKI  
**JOB** PROPOSED RESIDENCE  
**LOCATION** 62 Mactier St  
Narrabeen

**SETOUT NOTE**  
BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK. BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

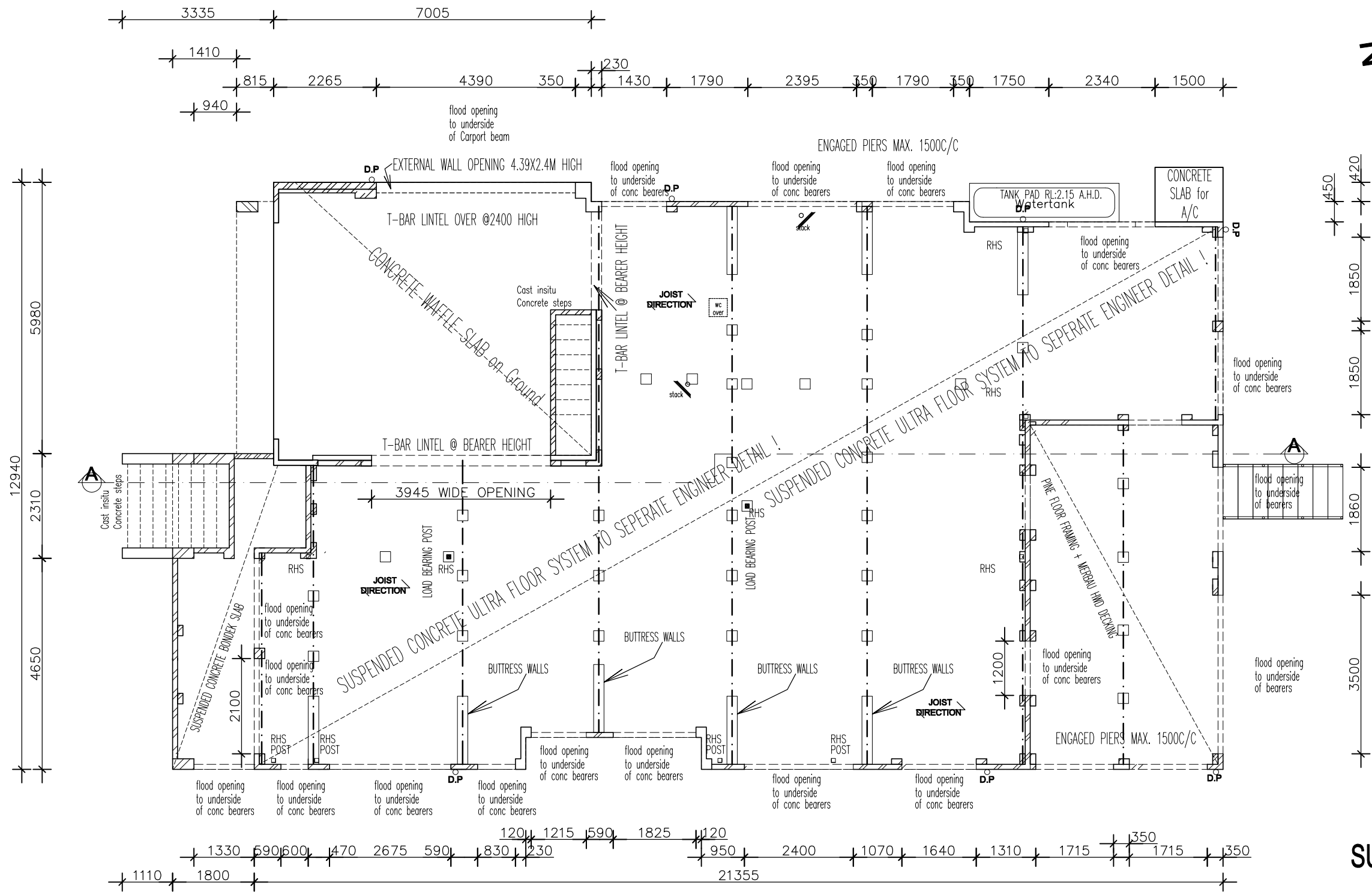
**COUNCIL NOTES:**  
- NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS  
- EASEMENTS SHOWN ON SITE PLAN  
- EXISTING VEGETATION SHOWN ON SITE PLAN  
- STORMWATER DISPOSED OF TO COUNCIL'S REQUIREMENTS

**SHEET** 1 of 15  
**DATE** 23/03/2020  
**DWG No.** 7292-wd8

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PO Box 5148  
CHITTAWAY BAY NSW 2261



SUB-FLOOR PLAN  
SCALE 1:100

NOTE: THE SUB FLOOR DESIGNS ARE  
SUBJECT TO ENGINEERS DESIGN FOR  
STRUCTURAL ADEQUACY &  
STORMWATER/FLOOD REQUIREMENTS.

R4.0 BULK INSULATION  
TO UNDERSIDE OF SLAB

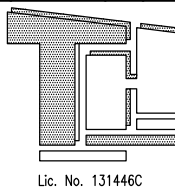


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Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
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www.nathers.gov.au



CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
<div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div>			
SHEET	DATE	DWG No.	
2 of 15	23/03/2020	7292-wd8	

plan prepared by  
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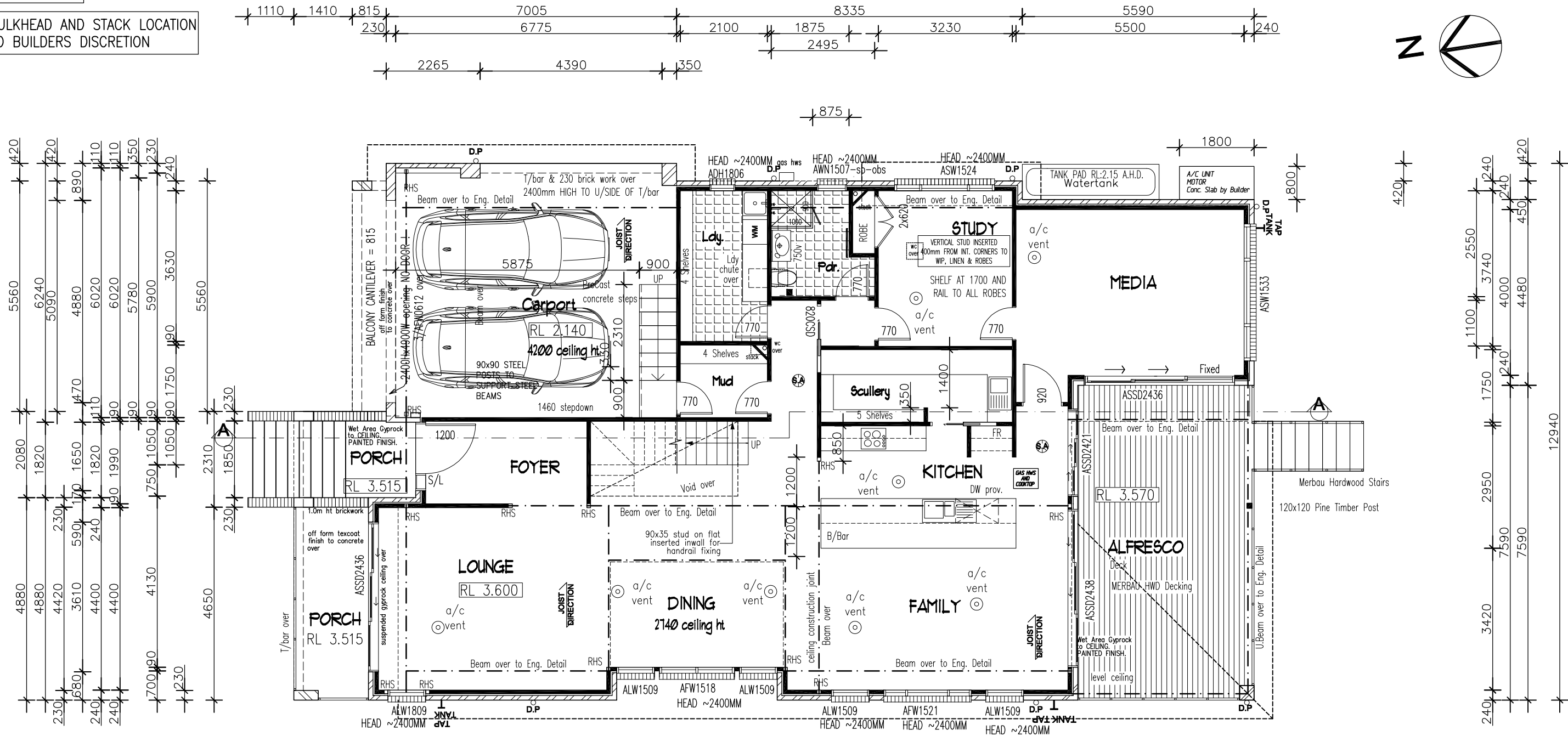
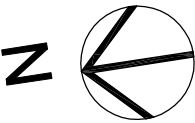
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**FIXING LEGEND**  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION



R2.5 HIGH DENSITY  
INSULATION TO ALL  
EXTERNAL WALLS

R4.0 BULK INSULATION TO  
ALL CEILINGS OVER LIVING  
AREAS (EXCL. CARPORT)

air conditioning locations, "locations are  
intended, however may vary if the home  
structure dictates otherwise", this applies to  
all air conditioning details signed off by clients.

AREAS:	
Porch:	12.1m <sup>2</sup>
Garage:	43.0m <sup>2</sup>
Ground Floor:	185.8m <sup>2</sup>
Alfresco:	32.3m <sup>2</sup>
First Floor:	197.7m <sup>2</sup>
Balcony:	24.1m <sup>2</sup>
TOTAL:	
495m <sup>2</sup>	
53.3 SQUARES	

CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
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SHEET	DATE	DWG No.	
3 of 15	23/03/2020	7292-wd8	

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REVISION

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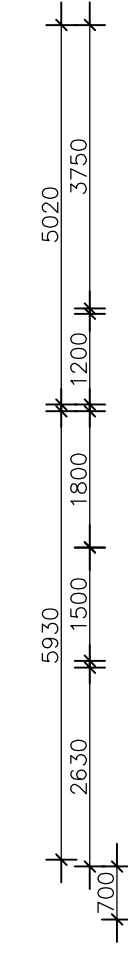
GROUND FLOOR PLAN  
SCALE 1:100



FIXING LEGEND  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION

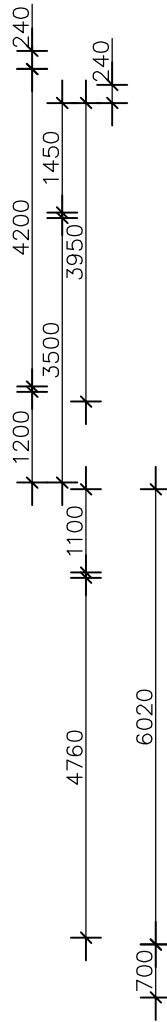
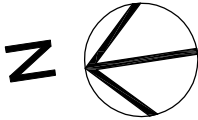
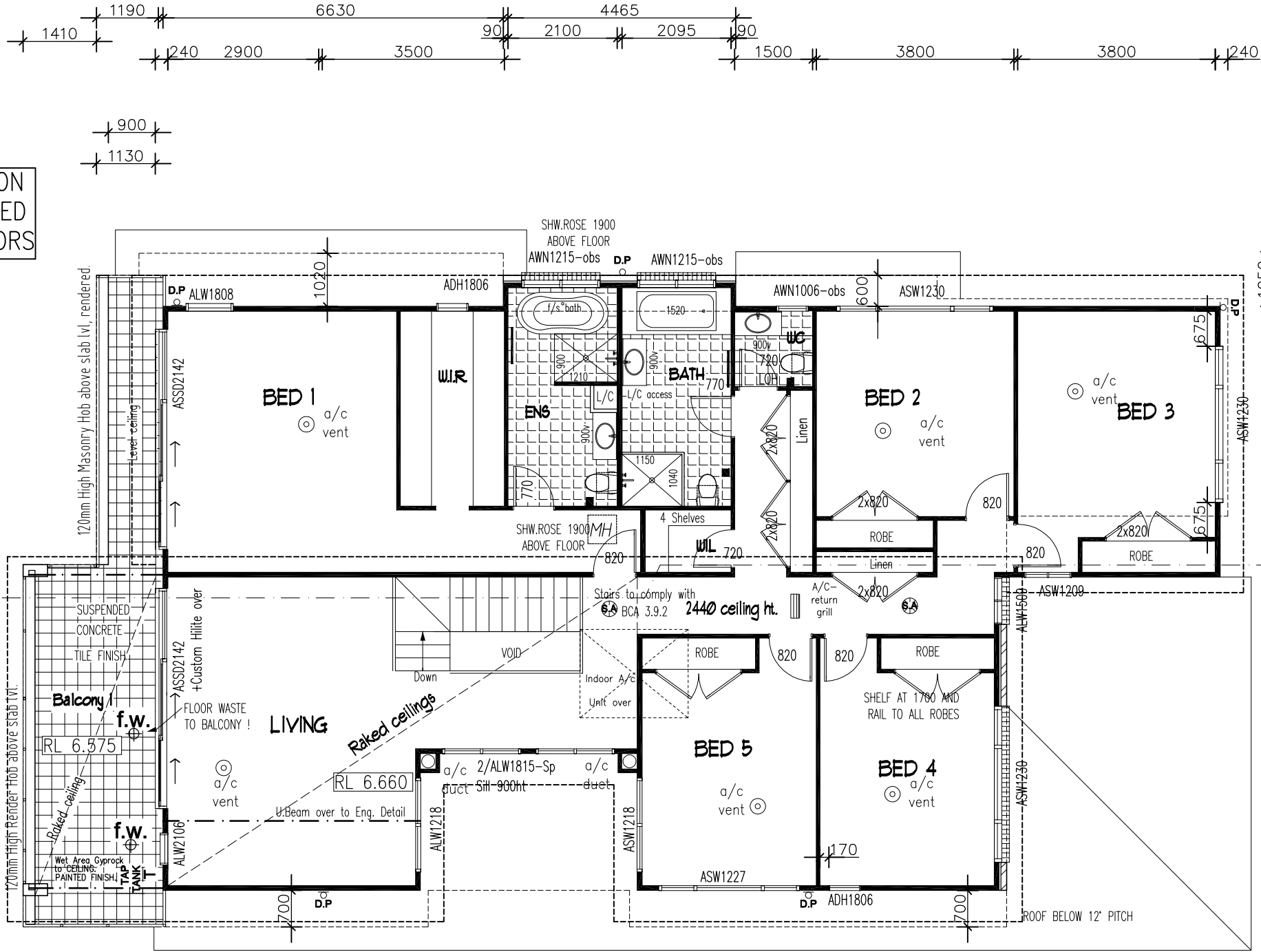
R4.0 BULK INSULATION  
TO BED 1, WIR & BED  
3 CANTILEVERED FLOORS



R2.5 HIGH DENSITY  
INSULATION TO ALL  
EXTERNAL WALLS

R4.0 BULK INSULATION TO  
ALL CEILINGS OVER LIVING  
AREAS (EXCL. CARPORT)

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.



FIRST FLOOR PLAN  
SCALE 1:100

5.2  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
www.nathers.gov.au

Certificate no.: 0004683960  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW 2101

CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.			
SHEET	DATE	DWG No.	
4 of 15	23/03/2020	7292-wd8	

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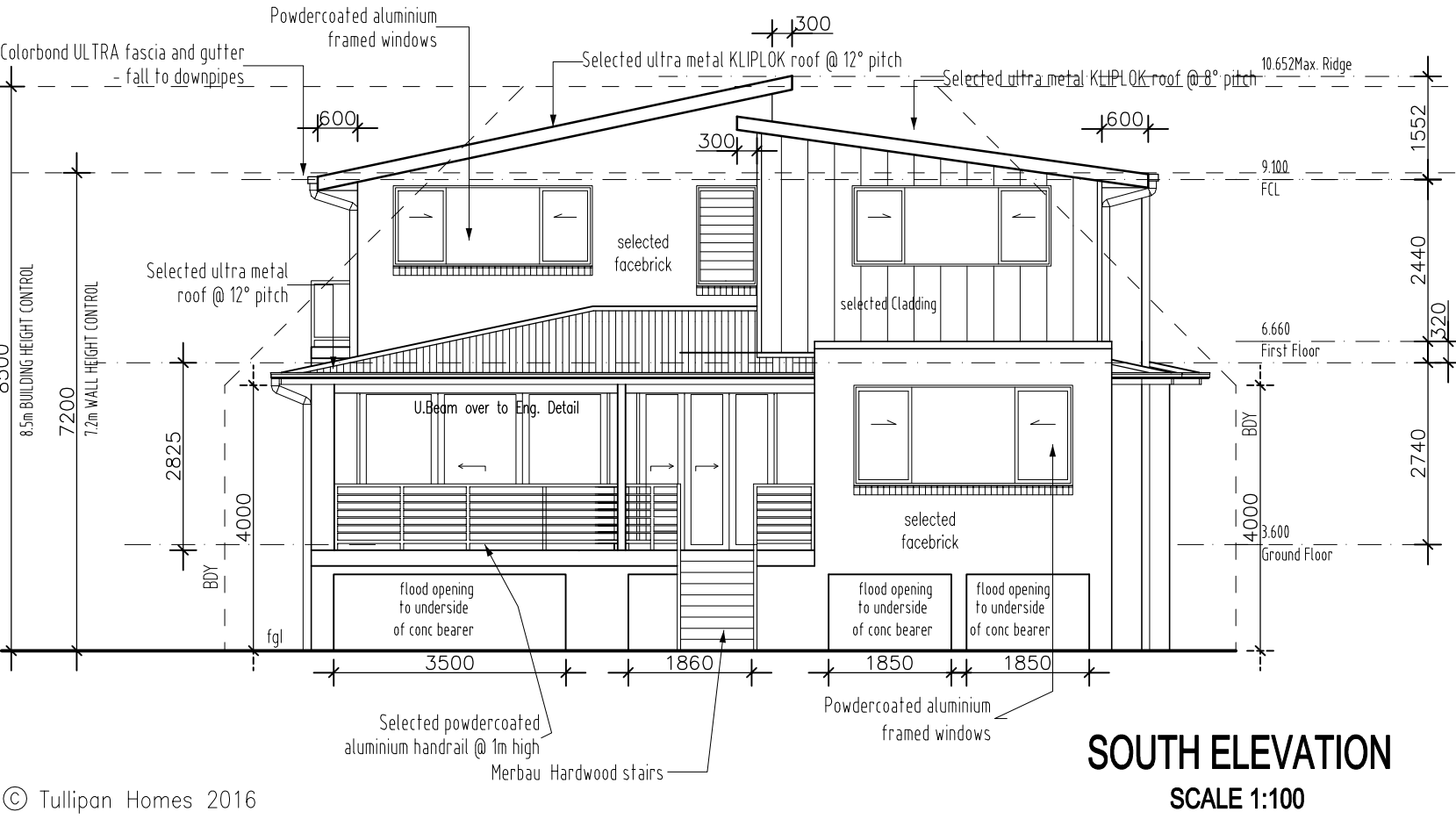
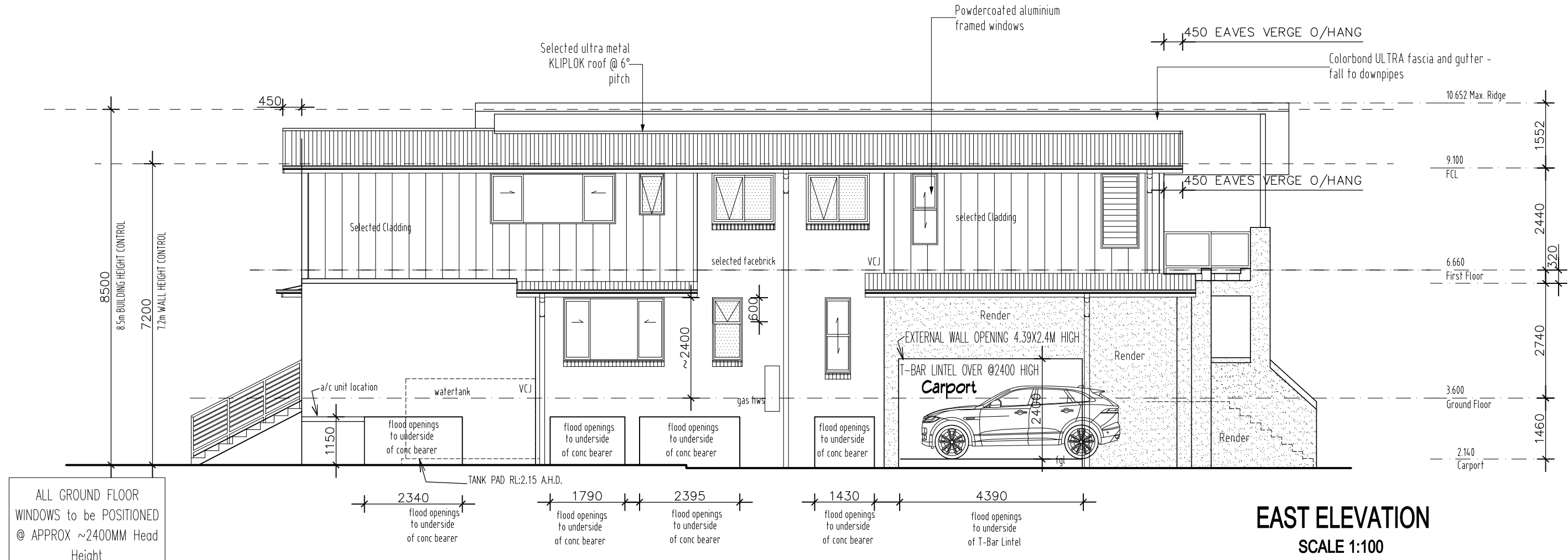
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**NORTH ELEVATION**  
**SCALE 1:100**



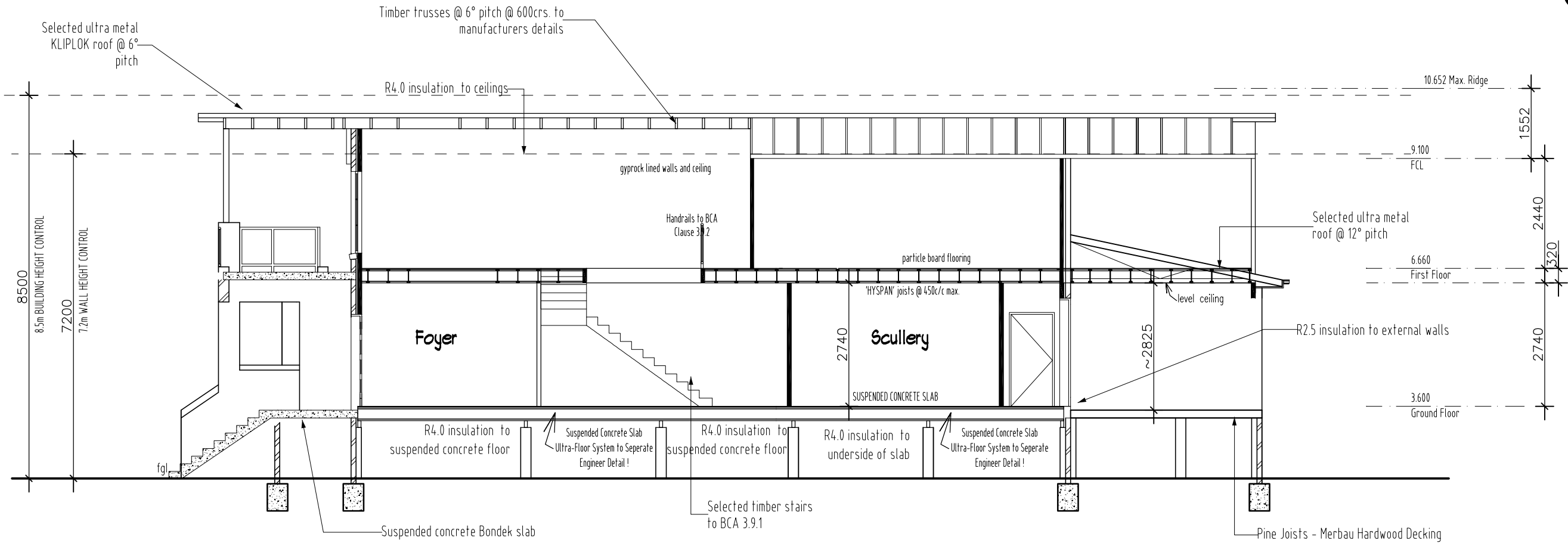
CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.			
SHEET	DATE	DWG No.	
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Stainless steel collars to all slab penetrations permanent exposed slab edge termimesh treatment as per spec.

Where applicable structural concrete piers through fill to engs. details

R4.0 BULK INSULATION TO UNDERSIDE OF SLAB

R4.0 BULK INSULATION TO BED 1, WIR & BED 3 CANTILEVERED FLOORS

R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

SECTION A-A  
SCALE 1:100

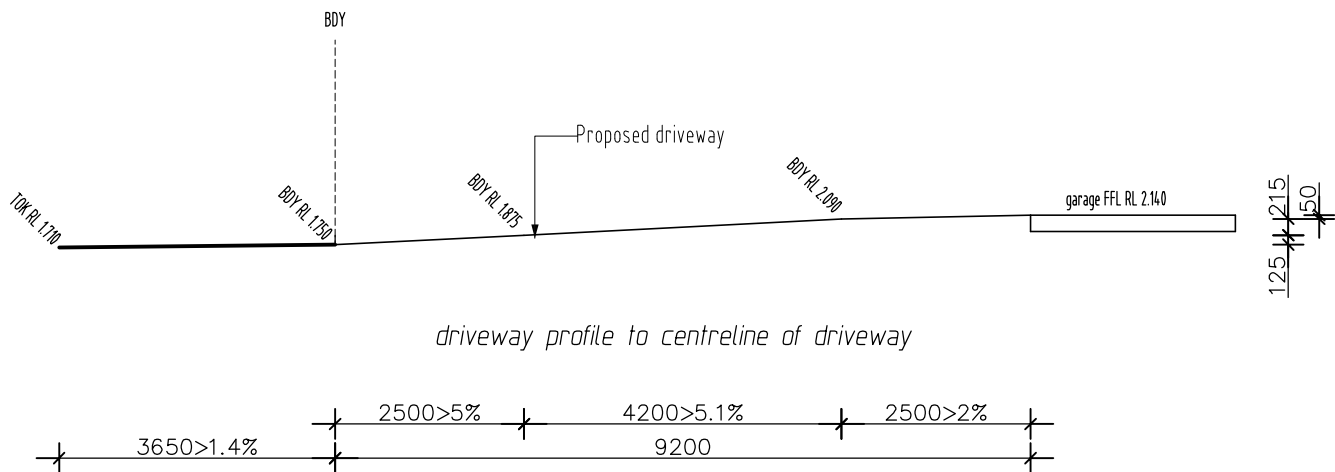
BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION. BCA 3.3.1.8

- (b) Articulation joints must have a width not less than 10mm and be provided
- (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and
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  - (v) at control or construction joints in footing slabs; and
  - (vi) at junctions of walls constructed of different masonry materials; and
  - (vii) at deep chases (rebates) for service pipes.

ENGINEER

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEERS CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING PRECEDENCE.



DRIVEWAY PROFILE  
SCALE 1:100



Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street Narrabeen, NSW 2101  
www.nathers.gov.au



CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.			
SHEET	DATE	DWG No.	
7 of 15	23/03/2020	7292-wd8	

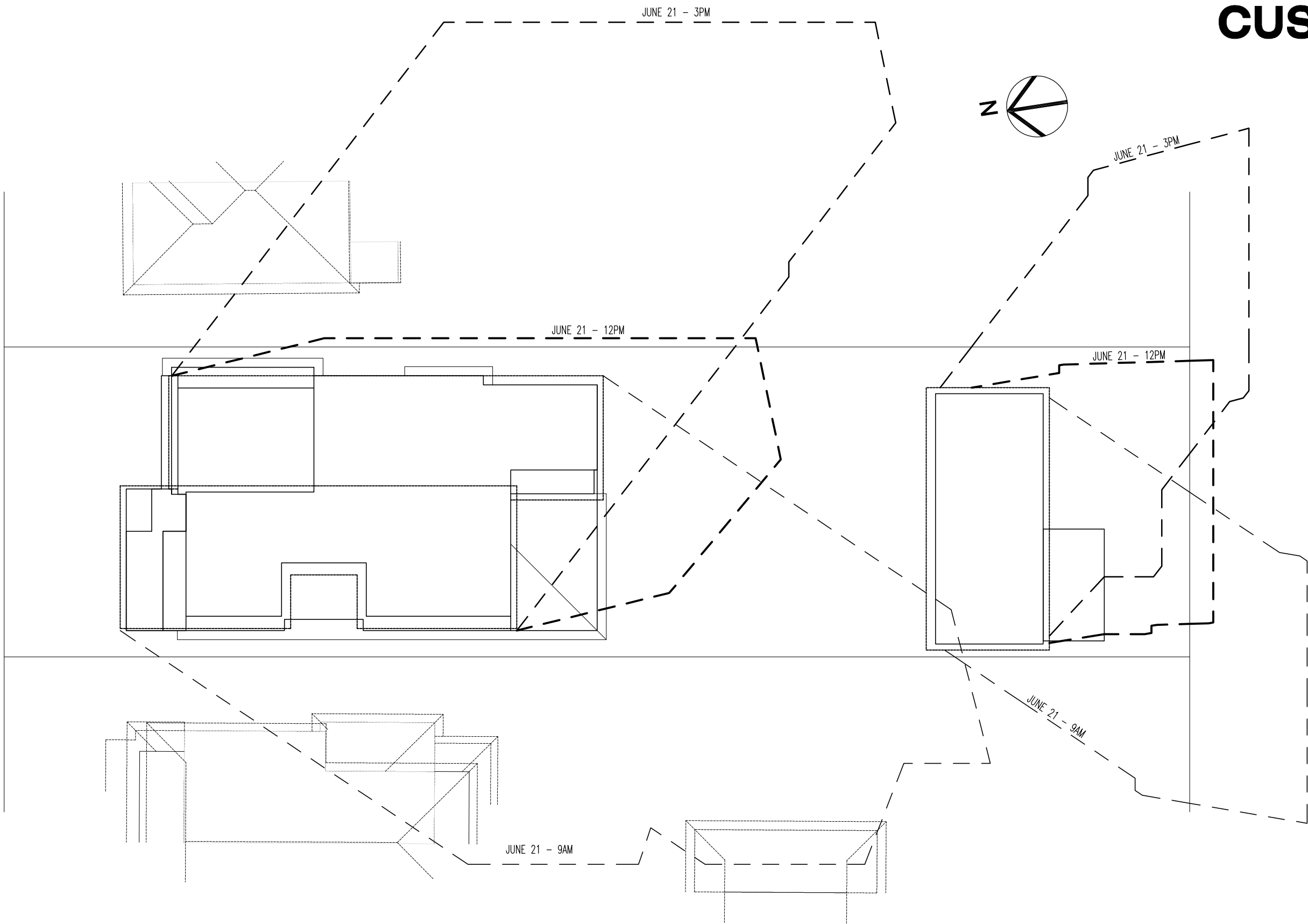
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MACTIER STREET

177 M  
30 M



SHADOW DIAGRAM  
SCALE 1:200



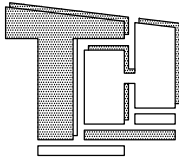
5.2  
Average star rating  
NATIONWIDE  
HOUSE  
ENERGY RATING  
www.nathurs.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW 2101  
www.nathurs.gov.au



CLIENT <b>A &amp; M POPOVSKI</b>		
JOB <b>PROPOSED RESIDENCE</b>		
LOCATION <b>62 Mactier St Narrabeen</b>		
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SHEET 8 of 15	DATE 23/03/2020	DWG No. <b>7292-wd8</b>

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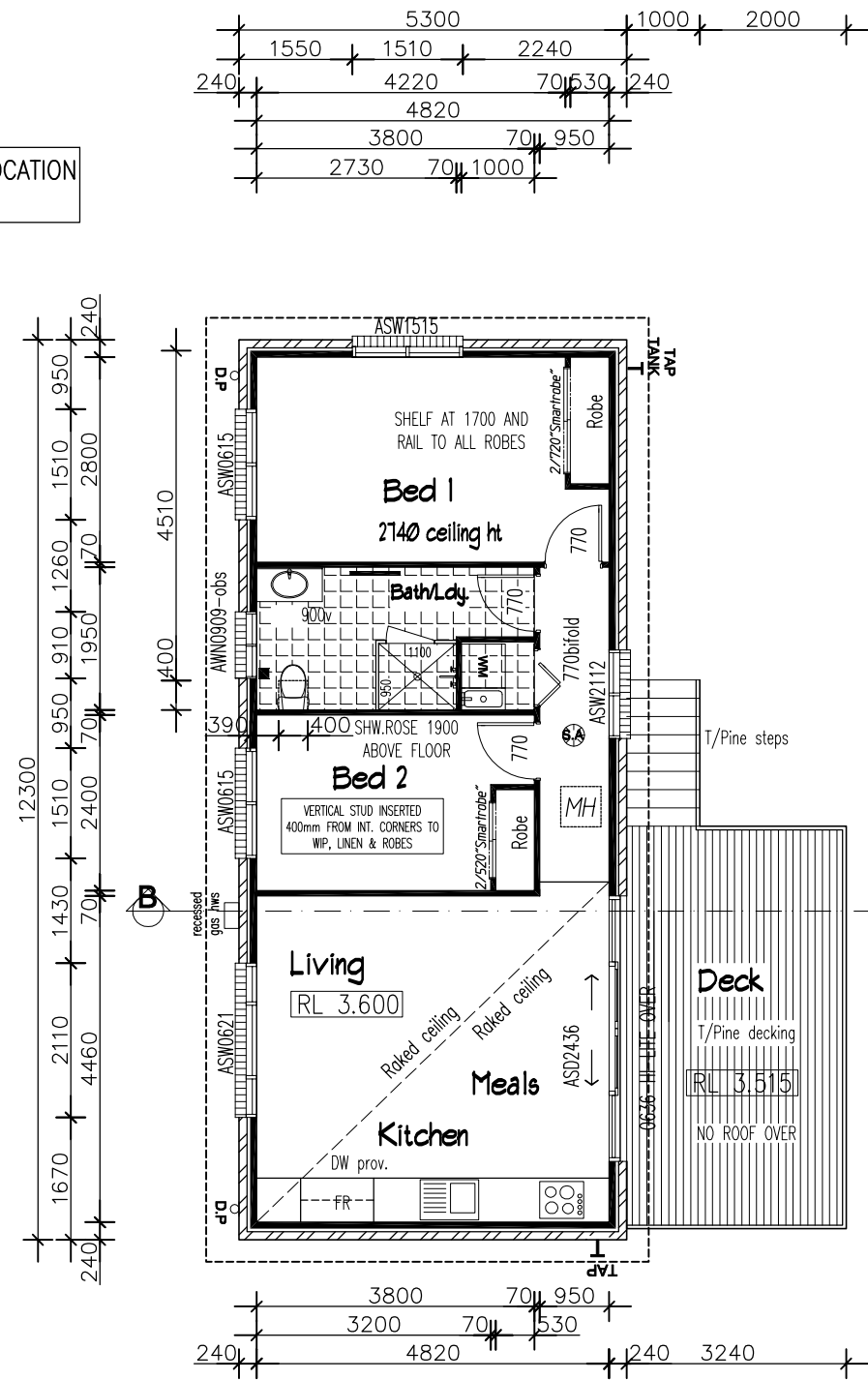
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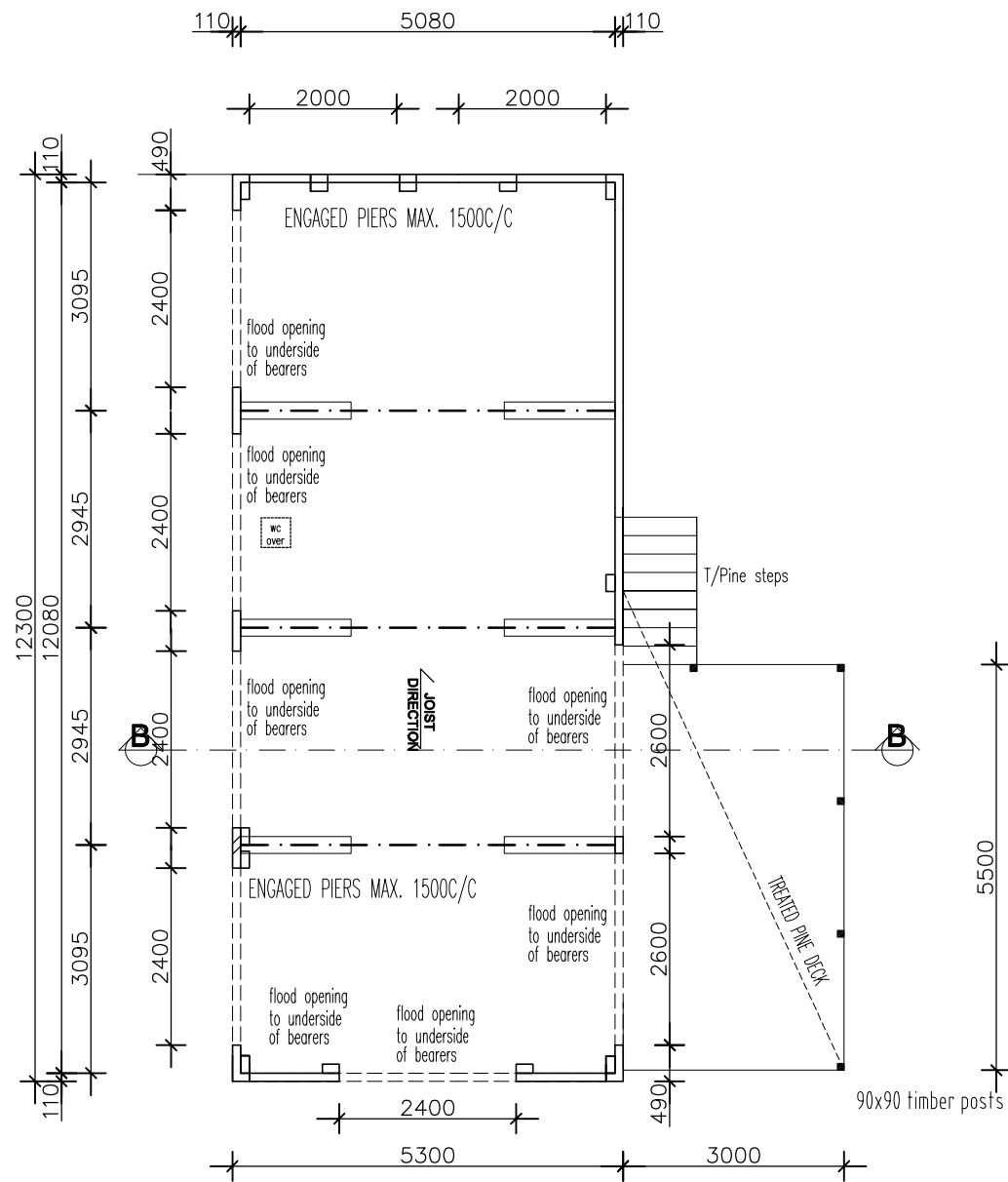
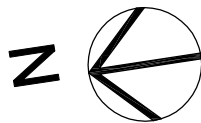
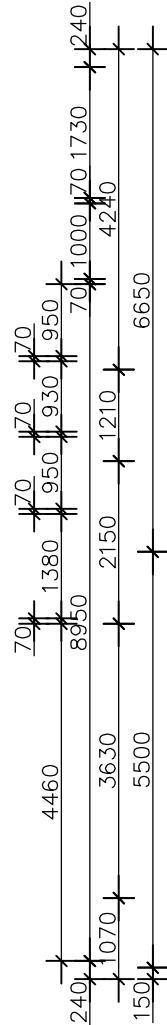
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FIXING LEGEND  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION



GROUND FLOOR PLAN (secondary dwelling)  
SCALE 1:100



SUB-FLOOR PLAN (secondary dwelling)  
SCALE 1:100

AREAS:	
Secondary Dwelling:	60.0m <sup>2</sup>
Deck:	17.5m <sup>2</sup>
TOTAL:	77.5m <sup>2</sup>



CLIENT	A & M POPOVSKI	
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SHEET	DATE	DWG No.
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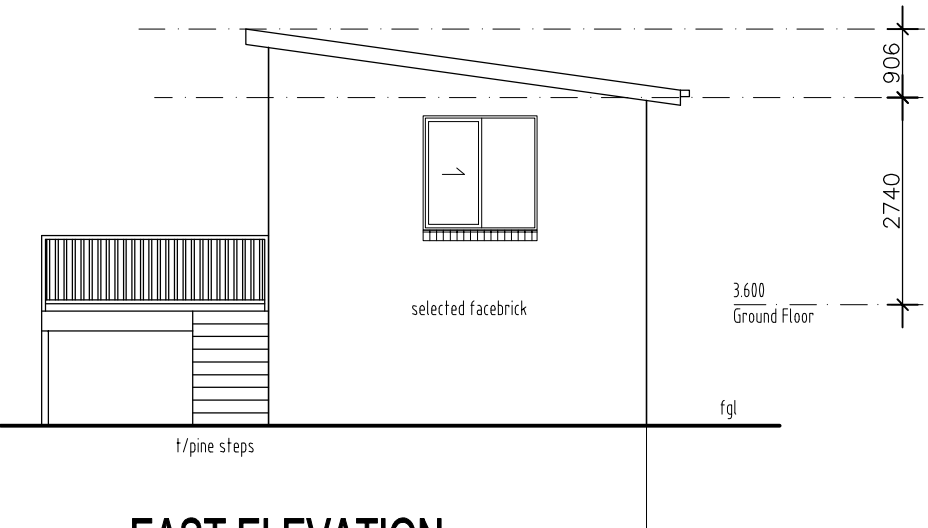


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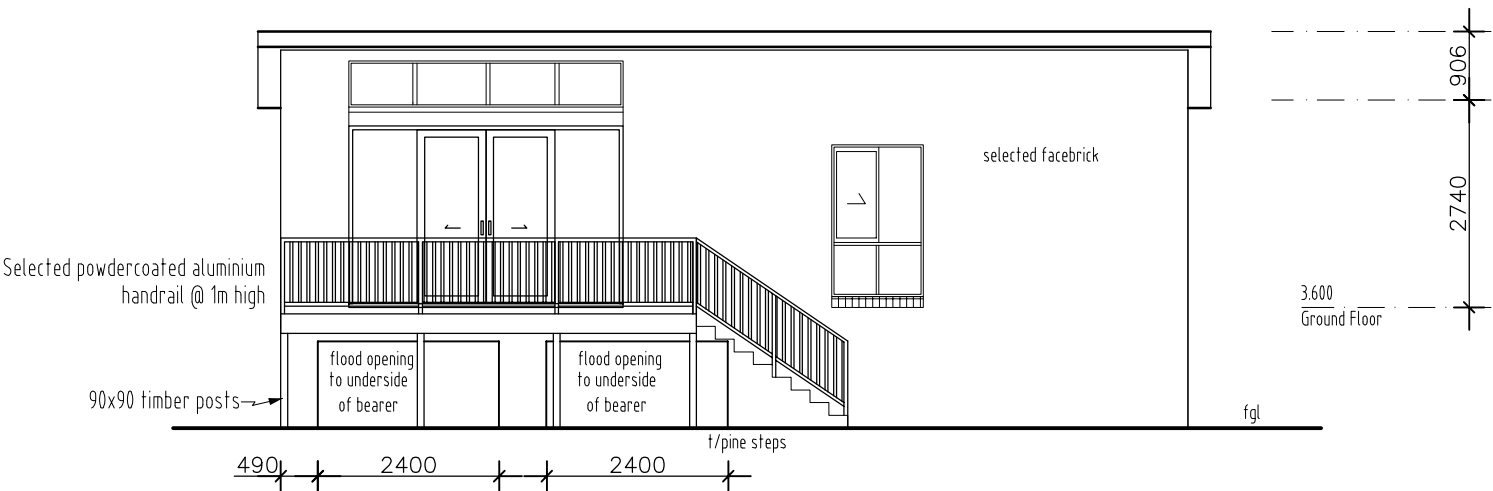
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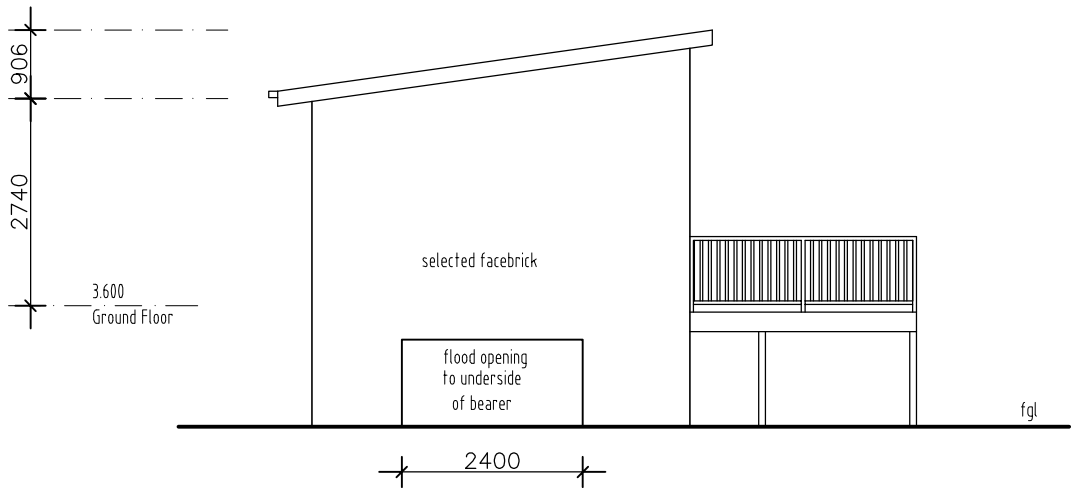
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EAST ELEVATION  
SCALE 1:100



SOUTH ELEVATION  
SCALE 1:100

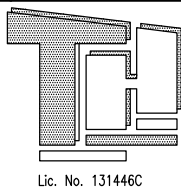


WEST ELEVATION  
SCALE 1:100



CLIENT <b>A &amp; M POPOVSKI</b>		
JOB <b>PROPOSED RESIDENCE</b>		
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SHEET 10 of 15	DATE 23/03/2020	DWG No. <b>7292-wd8</b>

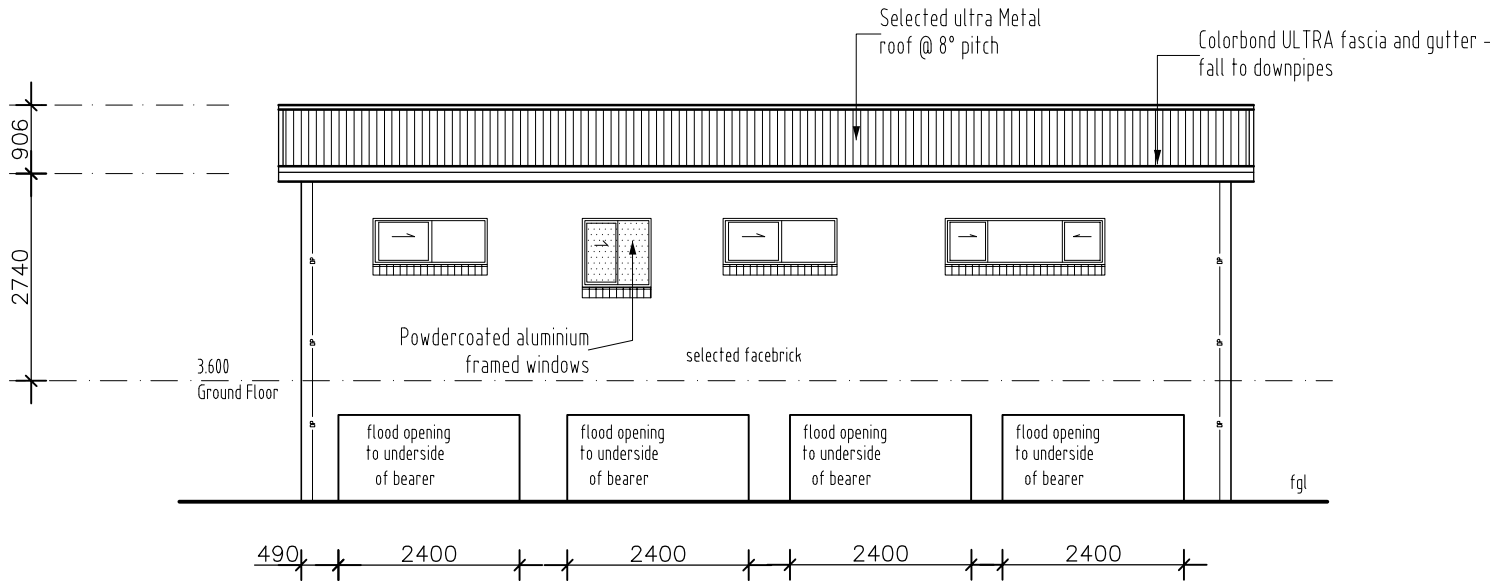
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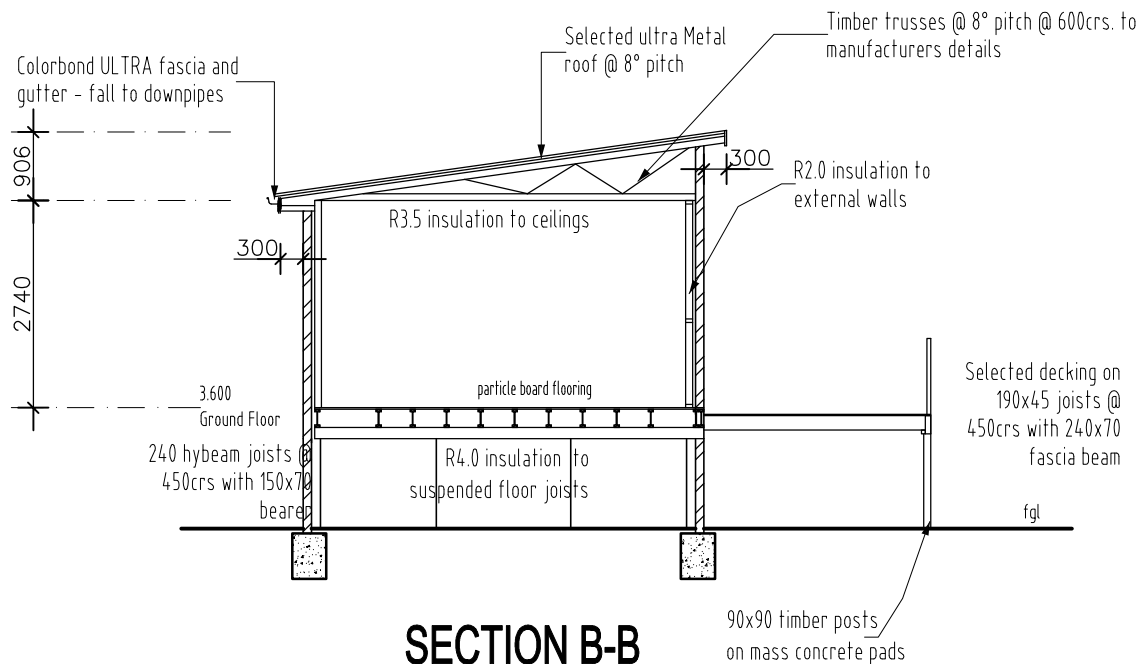
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NORTH ELEVATION  
SCALE 1:100



SECTION B-B  
SCALE 1:100

- SUSPENDED TIMBER FLOORS  
\* GALVANISED ANT  
CAPPING TO BRICK PIERS  
& FOUNDATION WALLS  
\* REINF.CONC. FOUNDATIONS  
TO ENGINEER'S DETAIL
- BULKHEAD AND STACK  
LOCATION TO BUILDERS  
DISCRETION
- BRACING, TIE DOWN AND  
GLAZING DETAILS TO  
ENGINEERS SPECIFICATIONS
- STAINLESS STEEL COLLARS TO ALL  
SLAB PENETRATIONS PERMANENT  
EXPOSED SLAB EDGE TERMIMESH  
TREATMENT AS PER SPEC.
- 19mm COMPRESSED FC SHEETING  
PLUS WET AREA  
WATERPROOFING INSTALLATION  
AS PER AS 3740 TO WET ROOMS
- HANDRAILS TO BCA 3.9.2
- STAINLESS STEEL WALL TIES &  
GALVANIZING TO ANY EXPOSED  
BEAMS
- NOTE:  
BLUE H2-F TIMBER FRAMING  
TO COMPLY WITH AS1684
- NOTE:  
Wet area waterproofing  
installation as per AS3740

Stainless steel collars to all slab  
penetrations permanent exposed slab  
edge termimesh treatment as per spec.

Where applicable structural concrete  
piers through fill to engs. details

### BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS  
GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.  
BCA 3.3.1.8

- (b) Articulation joints must have a width not less than 10mm and be provided
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PRECEDENCE.



CLIENT	A & M POPOVSKI	
JOB	PROPOSED RESIDENCE	
LOCATION	62 Mactier St Narrabeen	
<div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div>		
SHEET	DATE	DWG No.
11 of 15	23/03/2020	7292-wd8

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TULLIPAN HOMES

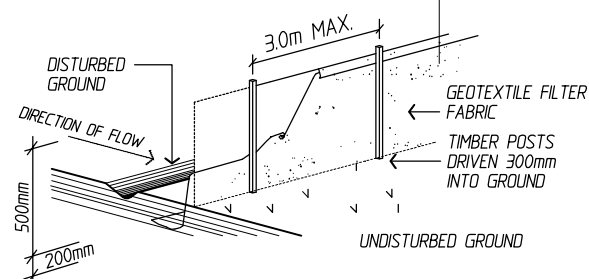
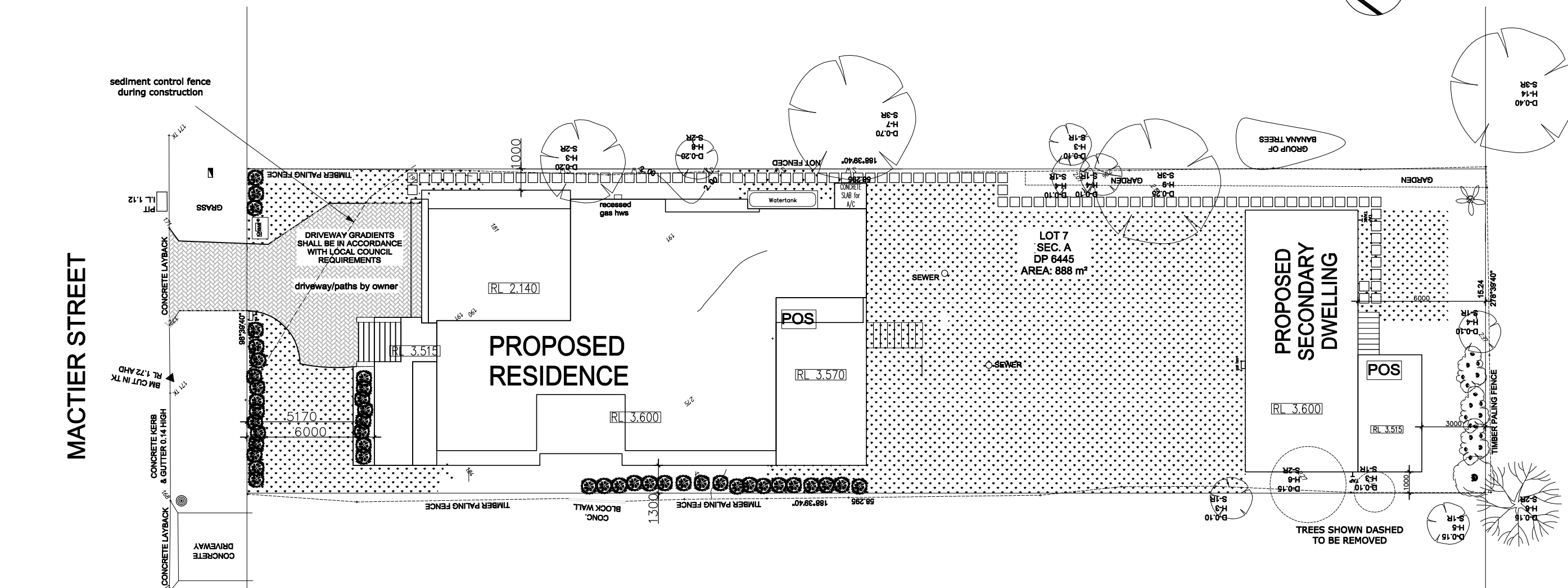
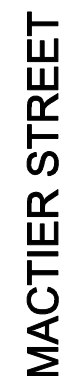
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FAX 02 4353 8655  
www.tullipanhomes.com.au  
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# SEDIMENT FENCE

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

## NOTES

**WEEDS**  
REMOVE ALL WEEDS PRIOR TO PLANTING WITH NON-RESIDUAL GLYPHOSATE HERBICIDE OR HAND REMOVAL.

**SUBSOIL**  
CULTIVATE 300MM DEPTH, DO NOT DISTURB SERVICES, IF NECESSARY CULTIVATE THESE AREAS BY HAND. REMOVE RUBBISH AND TRIM TO LEVELS.

**SOIL**  
DO NOT IMPORTED TOPSOIL TO DEPTH OF 300MM IN PREPARED GARDEN BEDS. FILL OF DELETEDERIOUS MATERIALS, BUILDERS RUBBLE OR OTHER MATERIAL TOXIC TO PLANTS.

**INSTALL SANDY LOAM TO DEPTH OF 100MM FOR TURFED AREAS.**

**ORGANIC MULCH**  
INSTALL FOREST MULCH FULCH SURROUNDING LEVELS 75MM THICK TO ALL PLANTED AREAS EXCEPT WHERE GRASS MULCH SPECIFIED.

**GRAVEL MULCH**  
INSTALL SELECTED GRAVEL MULCH OR PERLITE FULCH WITH SURROUNDING LEVELS 50MM THICK WHERE SPECIFIED.

**FERTILISER**  
INCORPORATE 6 MONTH SLOW RELEASE FERTILISER TO ALL PLANTED AREAS AFTER PLANTING AT MANUFACTURERS RECOMMENDED RATES.

**TURF**  
SIR WALTER BUFFALO  
FREE FROM MATERIAL  
PLANTS SHALL BE VIGOROUS, HARDENED OFF, WELL ESTABLISHED AND FREE FROM DISEASE AND PESTS WITH HEALTHY ROOT SYSTEM.

**GARDEN EDGING**  
1 X 100MM GALVANISED STEEL EDGE SECURED AT 1M INTERVALS

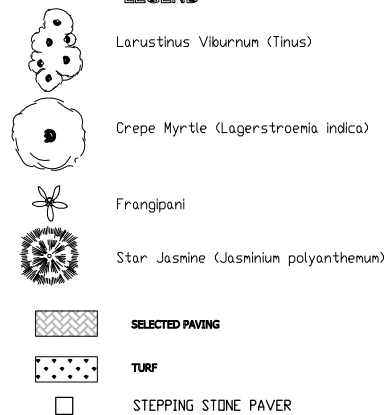
**PAVING**  
SELECTED PAVERS INSTALLED ONTO PREPARED SUB-BASE.

**DRIVEWAYS & PATHS**  
CONCRETE & INSTALLED BY OTHERS

**MAINTENANCE**  
12 WEEKS

**WATER**  
WATER DEEPLY AT PLANTING AND WEEKLY FOR SIX WEEKS AND THEN AS

## LEGEND



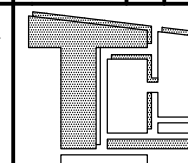
**STORMWATER DESIGN  
REFER SEPERATE  
DETAIL DRAWINGS**

# LANDSCAPING PLAN

SCALE 1:200

00/00/00	#	REVISION

plan prepared by  
**TULLIPAN HOMES**



Lic. No. 131446C

# TULLIPAN HOMES PTY LTD

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CAUTION:

1. UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY MAY NOT BE LOCATED. SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. \*\*\*\* DIAL BEFORE YOU DIG (CALL 1100) \*\*\*\*
2. THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. ANY CONSTRUCTION ACTIVITIES CARRIED OUT CLOSE PROXIMITY TO THE BOUNDARIES ARE STRONGLY DISCOURAGED. BOUNDARIES ARE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.



**DIAL 1100**  
BEFORE YOU DIG

CLIENT **A & M POPOVSKI**

JOB	PROPOSED RESIDENCE
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LOCATION **62 Mactier St  
Narrabeen**

— BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
— FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.

SHEET  
Landscaping

DATE	23/03/2020
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DWG No.  
**7292-wd8**