

SEDIMENT CONTROL NOTES:

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

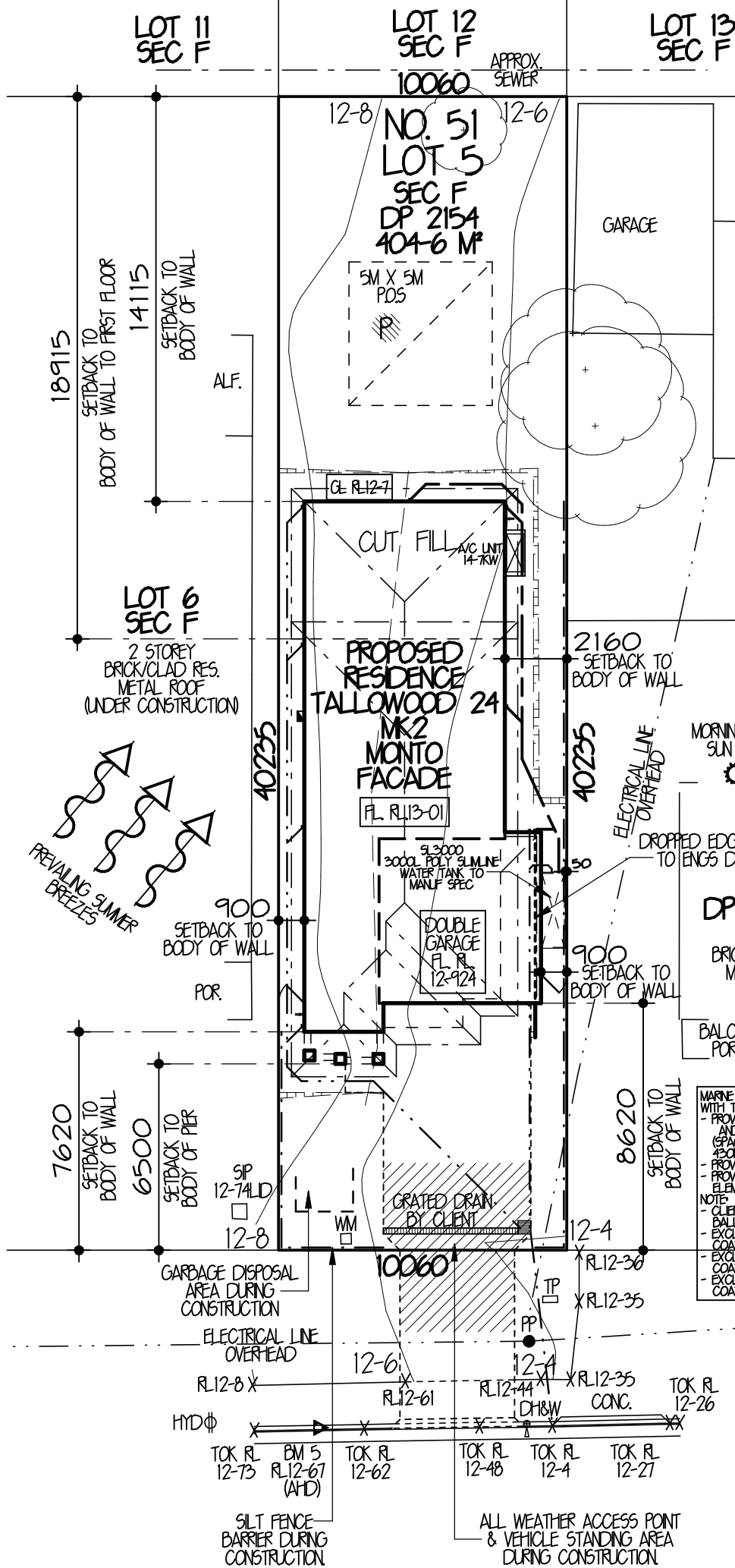
SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES), FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

GENERAL NOTES:

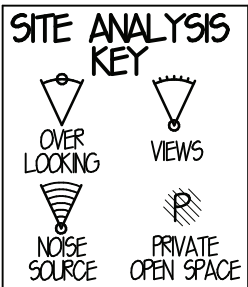
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS.
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL12-7 GARAGE TO RL12-7.
- HOUSE FLOOR LEVEL RL13-01, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL12-924, 224MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 160.9 M²

REFER TO HYDRAULICS ENGINEERS PLAN FOR FULL DETAILS INCLUDING FINISHED GROUND LEVELS. SITE PLAN TO BE CROSSED REFERENCED WITH HYDRAULIC PLANS. ANY DISCREPANCIES ARE TO BE VARIED BEFORE PROCEEDING.



MARINE ENVIRONMENT TO COMPLY WITH THE BCA REQUIREMENTS:

- PROVIDE STAINLESS STEEL BRICK HARDWARE AND AVOID FIXING POSITIONS (SPACED AT 600MM HORIZONTAL AND 450MM VERTICAL COURSES VERTICALLY) TO SUIT.
- PROVIDE A MARINE ENVIRONMENT MORTAR MIX (M1) EXCLUDES GALVANISED FINISH TO STRUCTURAL STEEL ELEMENTS TO ANY EXPOSED STEEL.
- CLIENT TO SELECT AN EXPOSURE GRADE BRICK BALUSTRADE FOR MARINE ENVIRONMENT.
- EXCLUDES UPGRADED ALUMINUM WINDOW/FLYSCREENS COATING FINISH.
- EXCLUDES UPGRADED FASCIA AND GUTTERING COATING FINISH.
- EXCLUDES COLORBOND ROOF MARINE UPGRADE COATING FINISH IF A COLORBOND ROOF IS REQUESTED.



SITE ANALYSIS & SITE PLAN 1:200

(STORMWATER CONCEPT PLAN)

- DENOTES EXISTING TREE'S TO REMAIN
- DENOTES EXISTING TREE'S TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- DENOTES SILT FENCE BARRIER
- DENOTES DROPPED EDGE BEAM
- DENOTES LINE OF BATTER TO CUT OR FILL

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED AS PER HYDRAULIC ENGS PLANS.

SITE DATA

SITE AREA = 404.6 M²

LANDSCAPE AREA
REQUIRED = 40% OR 161.8 M²
PROVIDED = 44.8% OR 181.3 M²

PRINCIPLE PRIVATE OPEN SPACE
REQUIRED = 60 M² (5X5)
PROVIDED = 142.0 M²

FLOOR AREAS

GROUND FLOOR AREA = 100.1 M² (EXCLUDING GARAGE)

GARAGE FLOOR AREA = 32.6 M²

PORCH FLOOR AREA = 3.0 M²

FIRST FLOOR AREA = 93.0 M²

BALCONY FLOOR AREA = 3.0 M²

TOTAL FLOOR AREA = 231.7 M² OR 24.9 SQS

Eden brae homes
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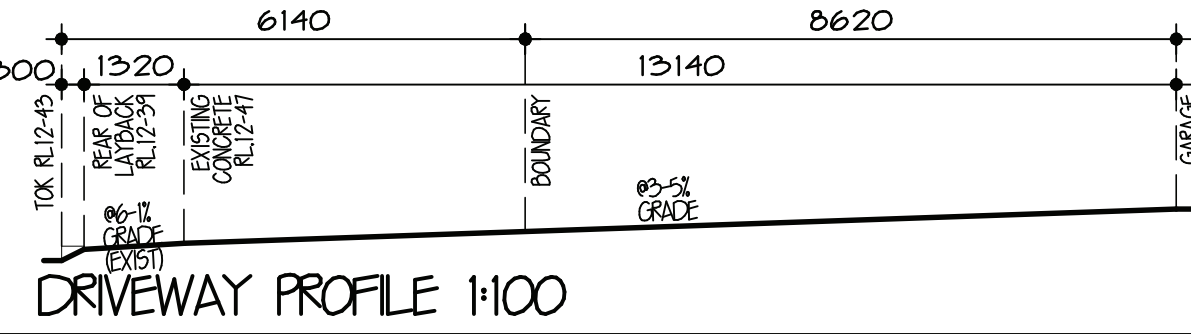
FOR **MR P. COLLINS** UBD AREA 51D REVISIONS 3, MAP 177 REF 13

AT **LOT 5, 51 AMOURN STREET, NORTH MANLY** DP 2154 (SECTION F)

TYPE **TALLOWOOD 24 MK2** JOB NO. **0023885**

FACADE **MONTO (ADVANTAGE SERIES)** HAND **R1**

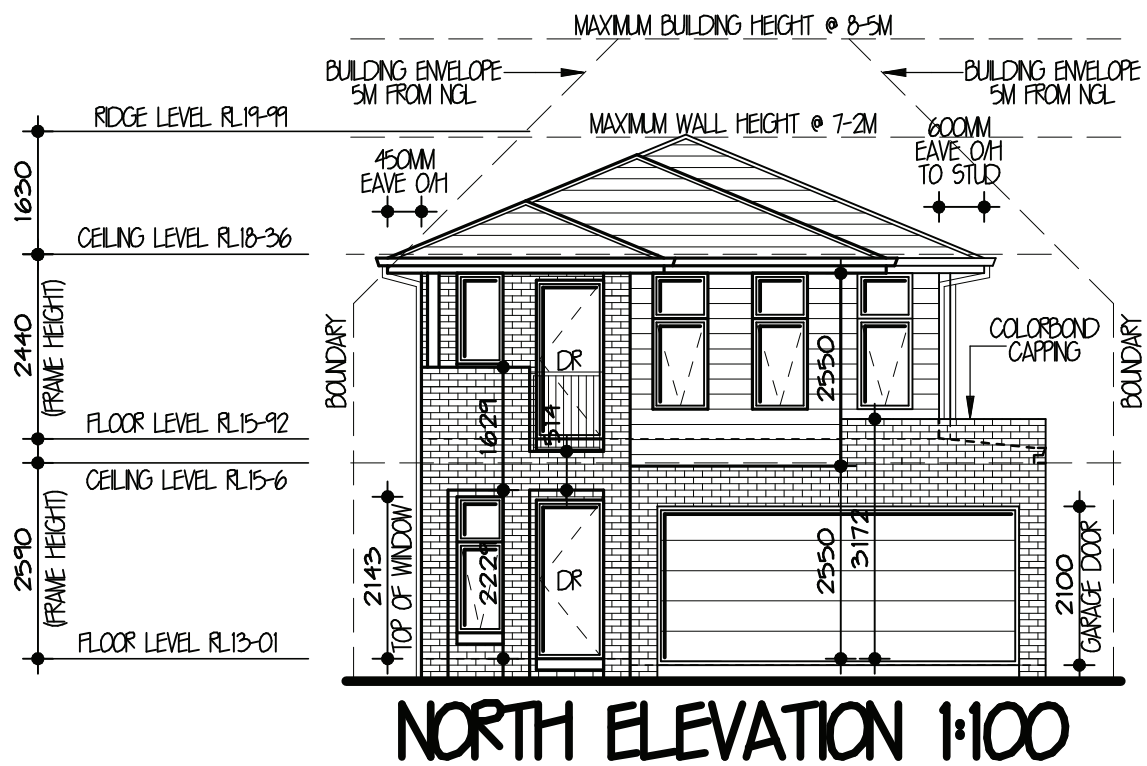
MASTER **AND-31134** DWG NO. **AND-31006** PAGE NO. **1 OF 9**



A&N DESIGN GROUP SYDNEY LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CIRCUIT BULLHORN HILLS PD BOX 6410 BULLHORN HILLS BUSINESS CENTRE NSW, 2153 PHONE: 02 8824 3535 FAX: 02 8824 3544 WWW.AANDDESIGN.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	25-6-19	SITE PLAN	HS
B	23-7-19	CC PLANS	AL
C	27-8-19	AMENDMENTS/BASIX	JZ
D	30-9-19	AMENDMENT/HYDRAULICS	ED

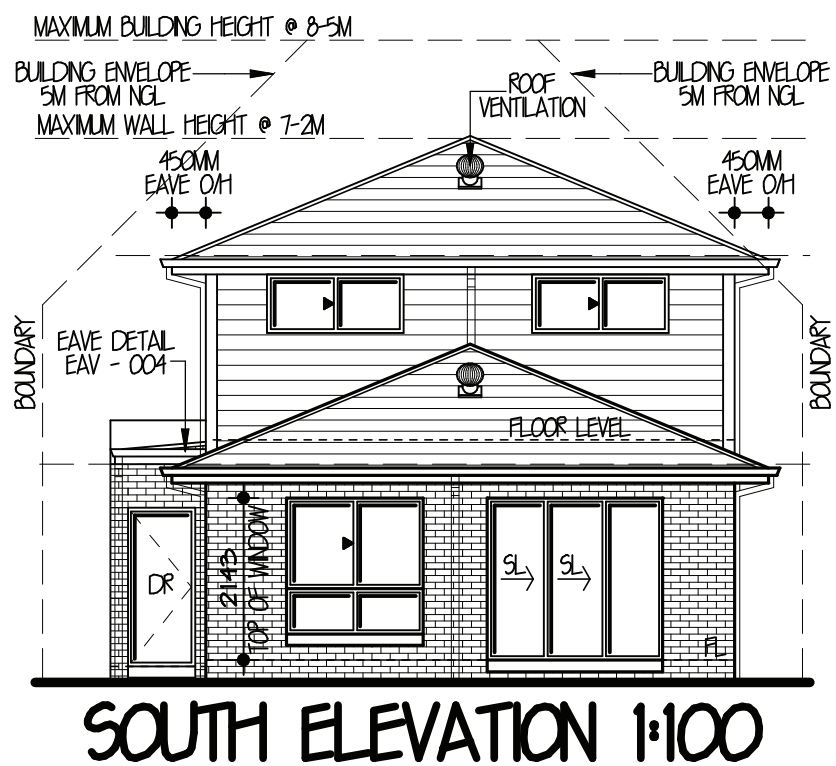
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NORTH ELEVATION 1:100



WEST ELEVATION 1:100



SOUTH ELEVATION 1:100



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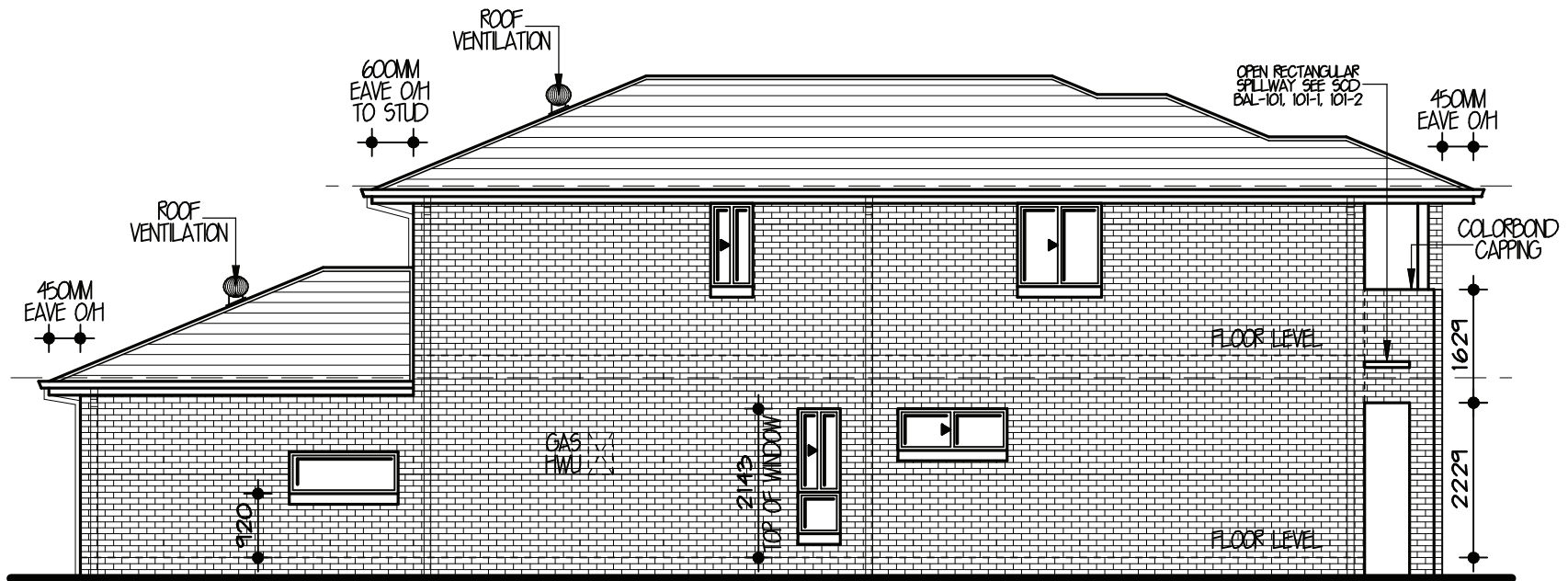
FOR	MR P. COLLINS	UBD AREA51D REVISIONS3 MAP177 REF113
AT	LOT 5, 51 AMOURN STREET, NORTH MANLY	DP2154 (SECTION F)
TYPE	TALLOWOOD 24 MK2	JOB NO. 0023885
FACADE	MONTO (ADVANTAGE SERIES)	HAND RH
MASTER	AND-31134	DWG NO. AND-31006
		PAGE NO. 4 OF 9



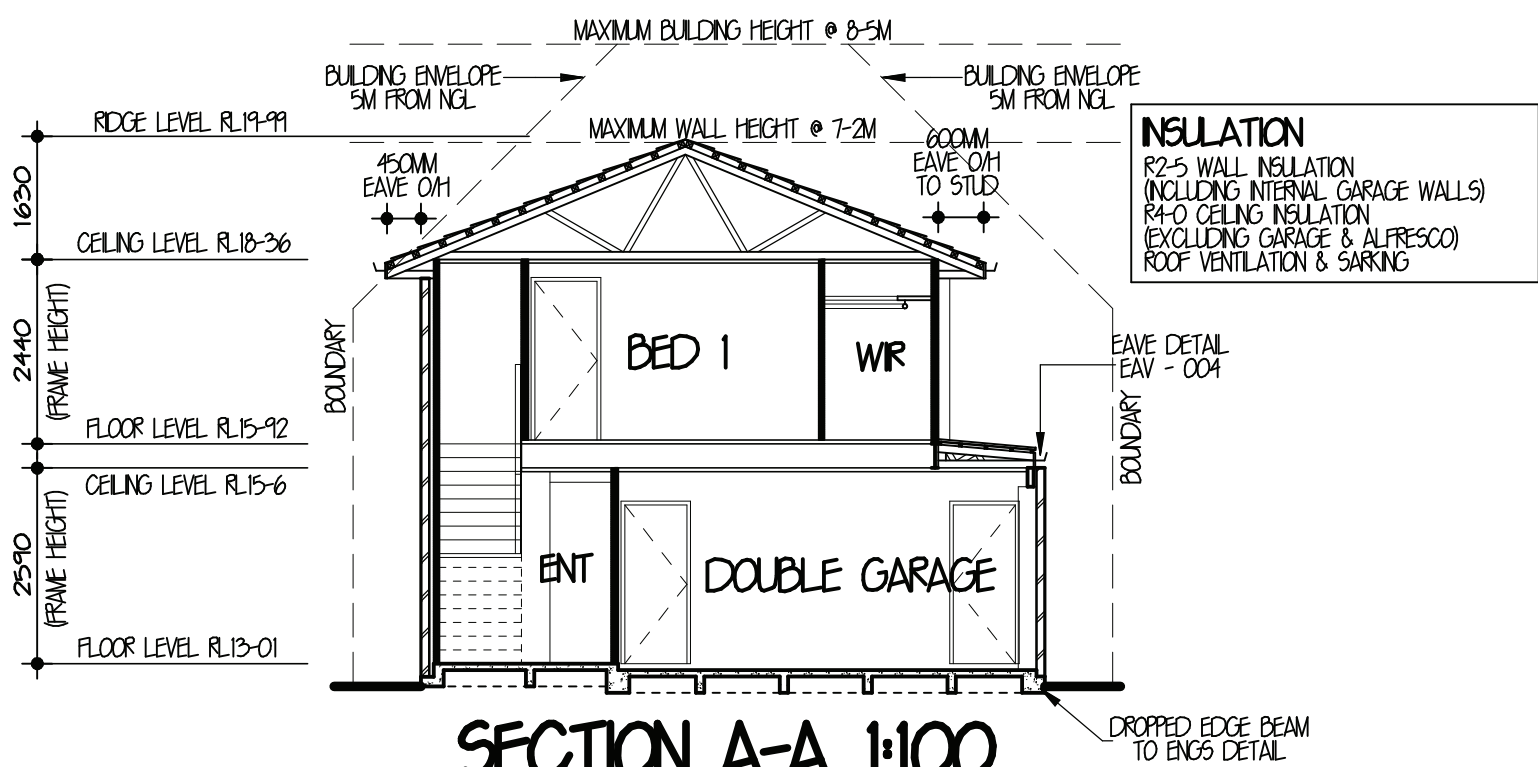
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D	30-9-19	AMENDMENT/HYDRAULICS	ED

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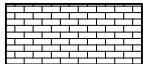
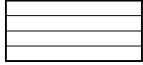


EAST ELEVATION 1:100



SECTION A-A 1:100

SUMMARY OF MATERIALS

- 22-5° ROOF PITCH CONCRETE ROOF TILES TO UPPER ROOF
- 22-5° ROOF PITCH CONCRETE ROOF TILES TO LOWER REAR ROOF
- 5° ROOF PITCH COLORBOND ROOF SHEETING TO GARAGE
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED TREATED TIMBER FRAMES & TREATED TIMBER ROOF TRUSSES TO MANUFACTURE SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- FACE BRICKWORK 
- CLADDING FINISH 
- TIMBER POST TO BE PAINT GRADE
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE
- SECTIONAL OVERHEAD GARAGE DOOR



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FOR	MR P. COLLINS	UBD AREA51D REVISION53 MAP477 REF113
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