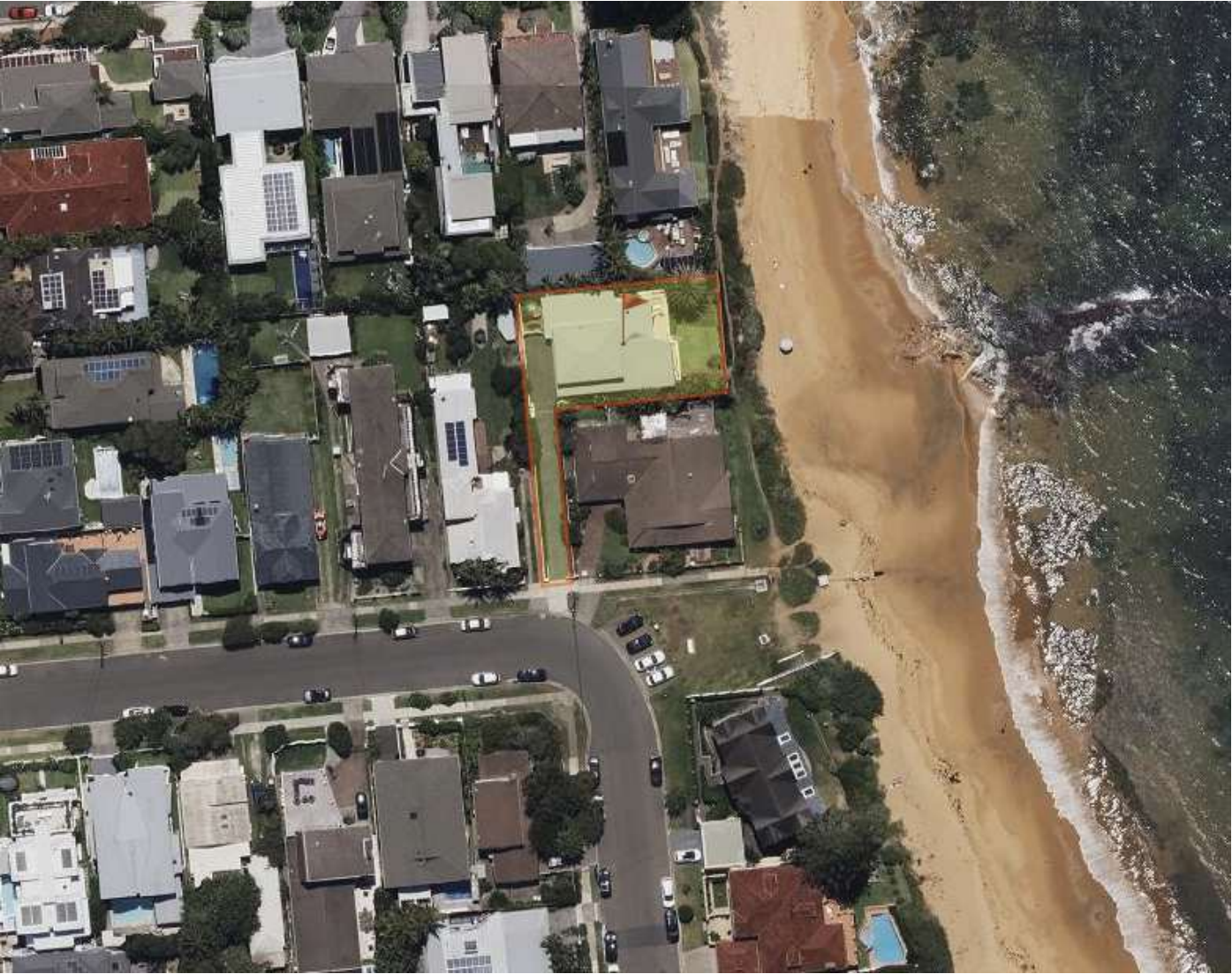


3 OCEAN GROVE

COLLARROY, NSW 2097

DEVELOPMENT APPLICATION



DRAWING LIST

A001	COVER SHEET	19.08.25
A002	BASIX COMMITMENTS	19.08.25
A007	SITE ANALYSIS PLAN	19.08.25
A008	SITE PLAN	19.08.25
A100	EXISTING / DEMOLITION PLAN - GF	19.08.25
A101	EXISTING / DEMOLITION PLAN - FF	19.08.25
A102	LOWER GROUND PLAN	19.08.25
A103	GROUND FLOOR PLAN	19.08.25
A104	FIRST FLOOR PLAN	19.08.25
A105	ROOF PLAN	19.08.25
A106	CONCEPT STOMWATER DESIGN	19.08.25
A200	ELEVATIONS	19.08.25
A201	ELEVATIONS	19.08.25
A202	ELEVATIONS	19.08.25
A203	ELEVATIONS	19.08.25
A300	SECTIONS	19.08.25
A400	FINISHES SCHEDULE	19.08.25

DEVELOPMENT APPLICATION

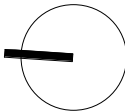
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO	Checked: JO	w. www.arkhdesignstudio.com e. jon@arkhdesignstudio.com p. +61 450 446 299
-----------	-------------	--

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title COVER SHEET			
NOT FOR CONSTRUCTION			
Scale	@A3	Date: 19.08.25	3
2405	DA	A001	
Project no.	Drawing Phase.	Drawing No.	

Project address	
Project name	3 Ocean Grove, Collaroy
Street address	3 OCEAN - COLLAROY 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP211132
Lot number	1
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Mr Jon Ormaza	
ABN (if applicable):	

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor above garage: framed (R0.7).	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D1	N	2	0	0	eave/ verandah/ pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
D2	W	2	0	0	eave/ verandah/ pergola/balcony ≥600 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)

Notes

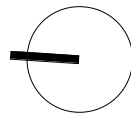
- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Ark Design.

Rev	Description
1	ISSUED TO CLIENT FOR REVIEW
2	ISSUED TO CLIENT FOR REVIEW
3	ISSUED TO COUNCIL FOR DA

Date
17.10.24
05.08.25
19.08.25



arkh design



True North

Project

**2405
3 OCEAN GROVE**

Client

GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLAROY NSW 2097

Drawing Title

BASIX COMMITMENTS

NOT FOR CONSTRUCTION

Scale	@A3	Date:	19.08.25	3
2405 Project no.	DA Drawing Phase.	A002 Drawing No.	Rev	

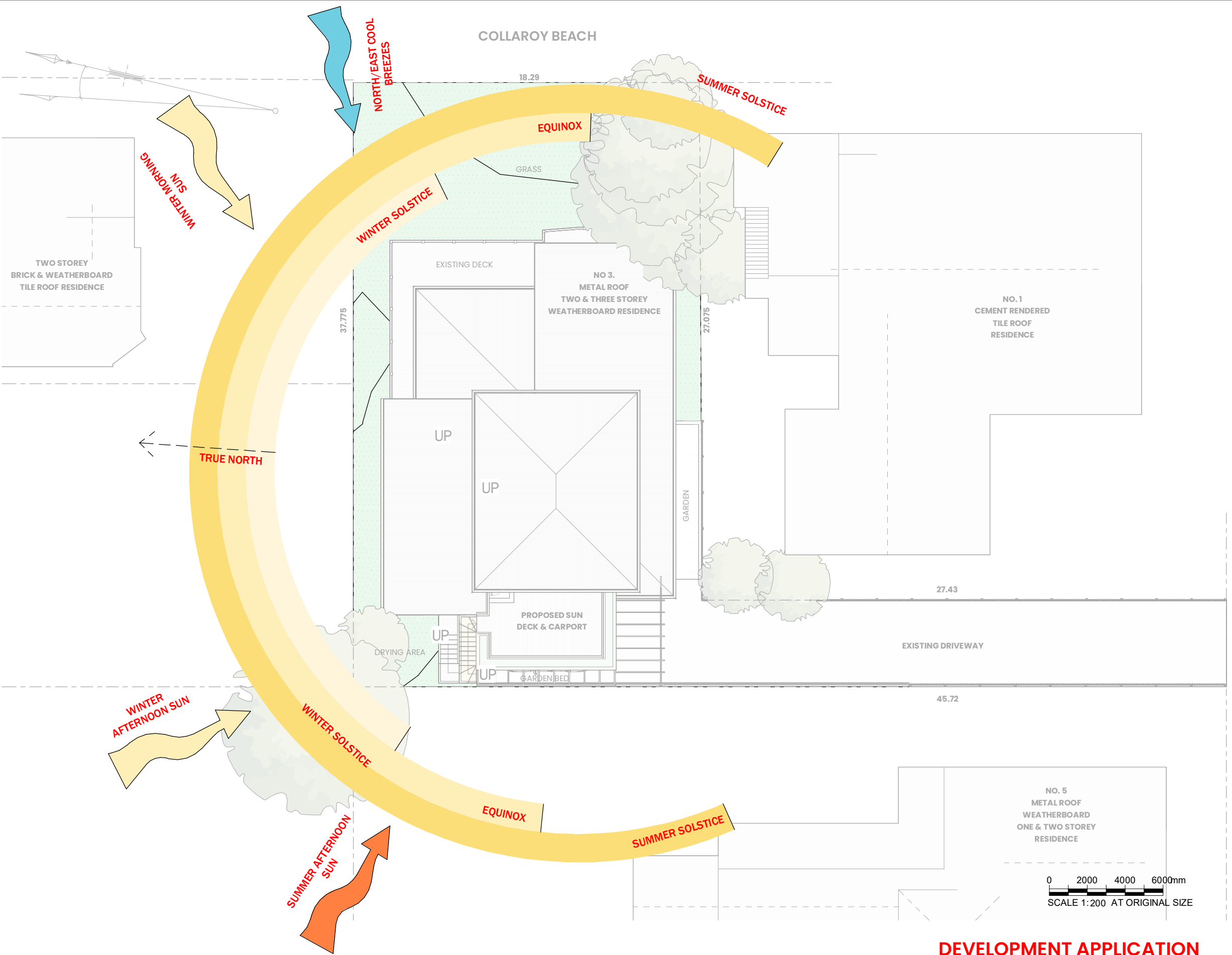
3

Rev

DEVELOPMENT APPLICATION

SITE SUMMARY

NORTHERN BEACHES COUNCIL		
SITE AREA	710m ²	
GROSS FLOOR AREA		
	EXISTING	PROPOSED
LOWER GROUND FLOOR	117m ²	117m ²
GROUND FLOOR	127m ²	127m ²
FIRST FLOOR	46m ²	46m ²
GARAGE	45m ²	45m ²
TOTAL	188.5m ²	188.5m ²
LANDSCAPING		
	MIN. REQUIRED 40% / 284m ²	
EXISTING	UNCHANGED	
PROPOSED	UNCHANGED	



SITE ANALYSIS PLAN

scale 1:200

DEVELOPMENT APPLICATION

Notes

1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.

Ark Design is to be immediately notified of any discrepancies.

2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.

3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.

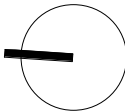
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.

4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



True North

Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

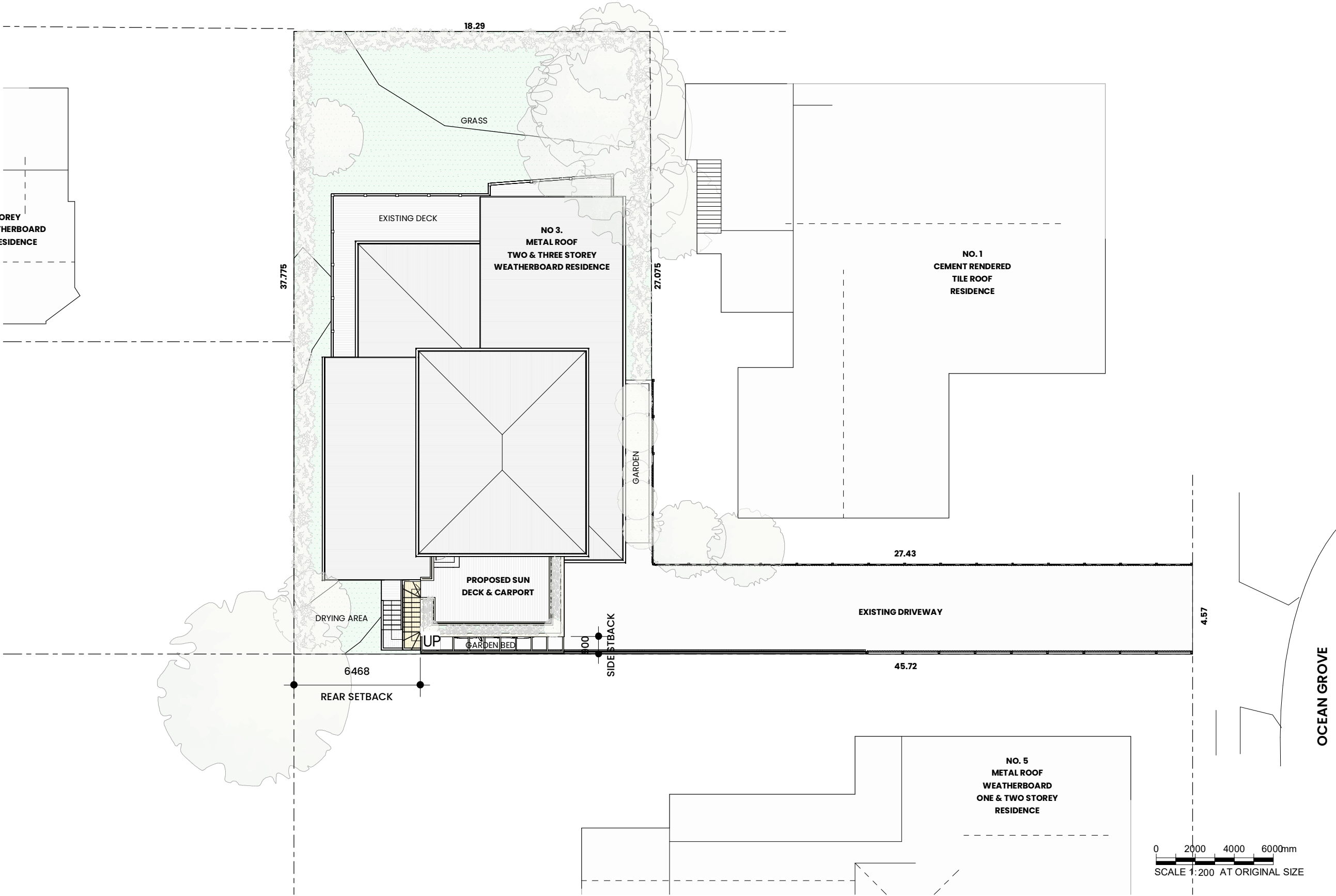
Drawing Title SITE ANALYSIS PLAN			
NOT FOR CONSTRUCTION			
Scale 1:200	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A007 Drawing No.	3 Rev

SITE SUMMARY

NORTHERN BEACHES COUNCIL		
SITE AREA	710m²	
GROSS FLOOR AREA		
	EXISTING	PROPOSED
LOWER GROUND FLOOR	117m²	117m²
GROUND FLOOR	127m²	127m²
FIRST FLOOR	46m²	46m²
GARAGE	45m²	45m²
TOTAL	188.5m²	188.5m²
LANDSCAPING		
	MIN. REQUIRED 40% / 284m²	
EXISTING	UNCHANGED	
PROPOSED	UNCHANGED	

TWO STOREY
BRICK & WEATHERBOARD
TILE ROOF RESIDENCE

COLLARROY BEACH



SITE PLAN

scale 1:200

DEVELOPMENT APPLICATION

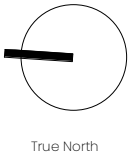
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



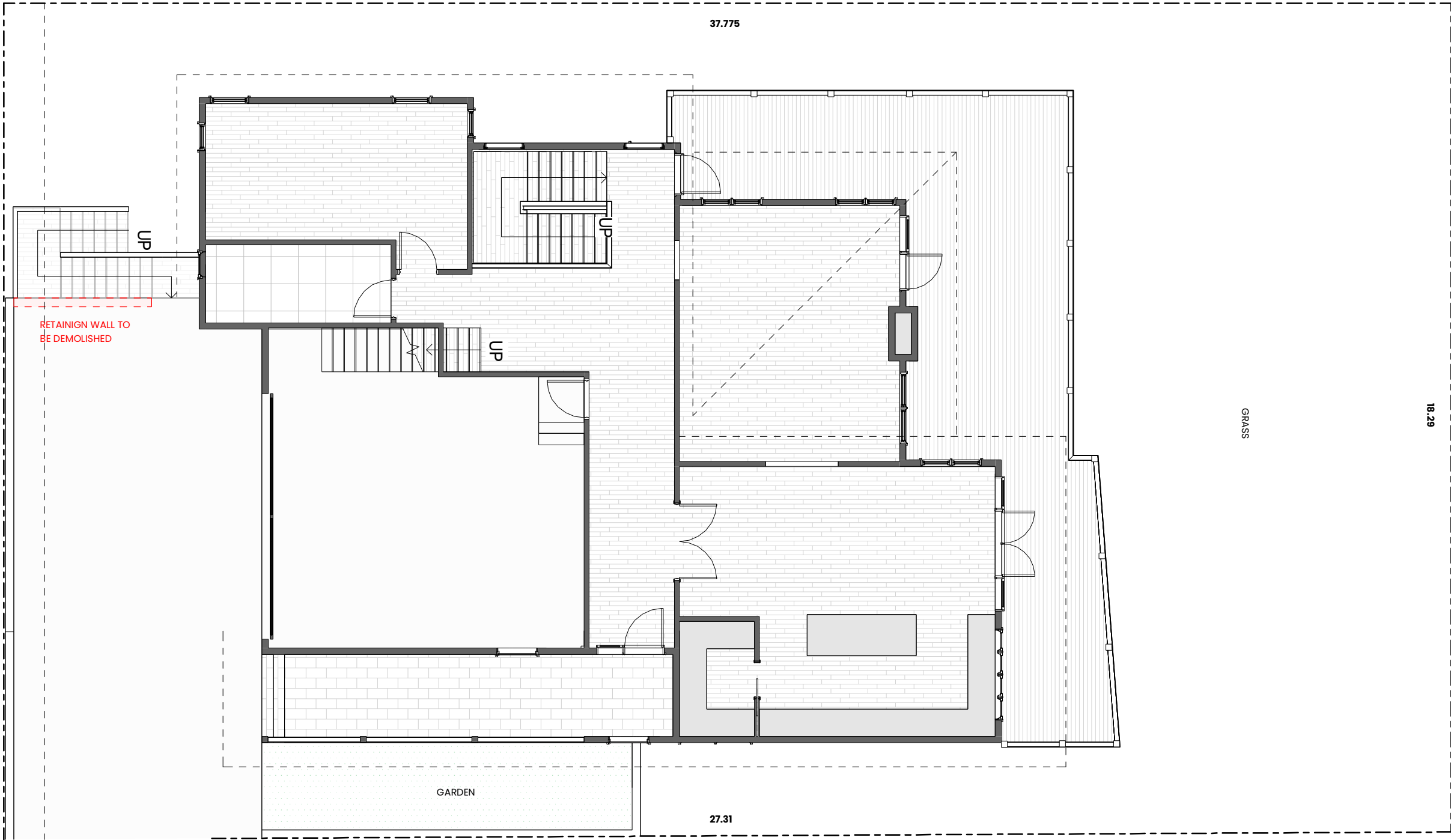
arkh design



Drawn: JO
Checked: JO
w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title SITE PLAN			
NOT FOR CONSTRUCTION			
Scale	1:200	@A3	Date: 19.08.25
2405	DA	A008	3
Project no.	Drawing Phase.	Drawing No.	



LEGEND

Existing walls removed

Existing walls to remain

EXISTING DAMAGE REPORT

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

DEMOLITION

Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

TREE PROTECTION

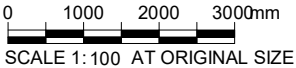
Protect all tree's to remain in accordance with councils notice of determination

HAZARDOUS MATERIALS

Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

BUILDING PROTECTION

Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage. Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.



DEVELOPMENT APPLICATION

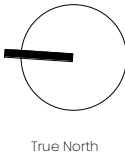
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation. Arkh Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards. Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design

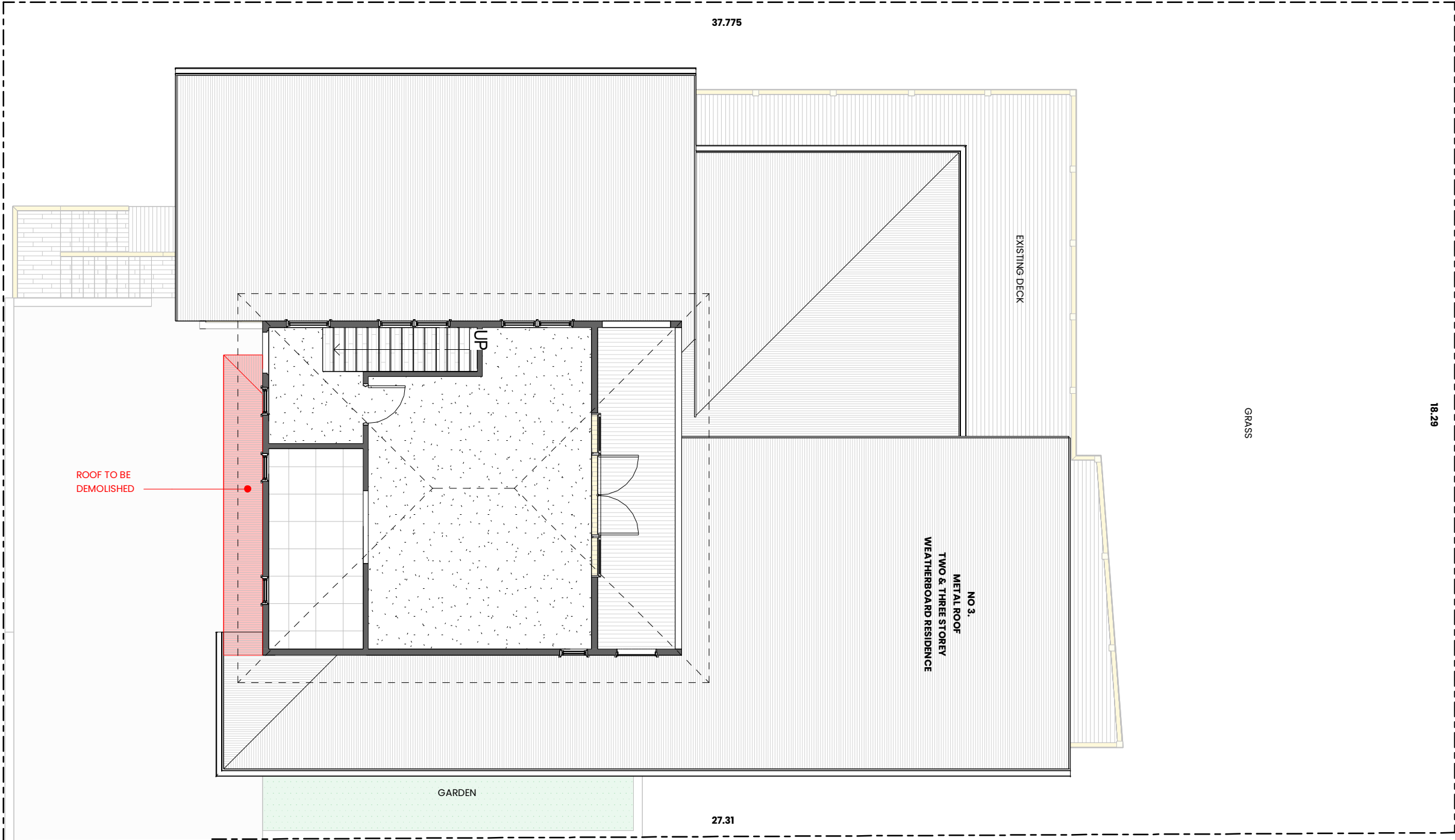


Drawn: **JO** Checked: **JO** w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title
EXISTING / DEMOLITION PLAN - GF

NOT FOR CONSTRUCTION			
Scale	1:100	@A3	Date: 19.08.25
2405 Project no.	DA Drawing Phase.	A100 Drawing No.	3 Rev



LEGEND

Existing walls removed

Existing walls to remain

EXISTING DAMAGE REPORT

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

DEMOLITION

Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

TREE PROTECTION

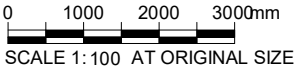
Protect all tree's to remain in accordance with councils notice of determination

HAZARDOUS MATERIALS

Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

BUILDING PROTECTION

Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage. Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.



DEVELOPMENT APPLICATION

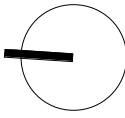
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



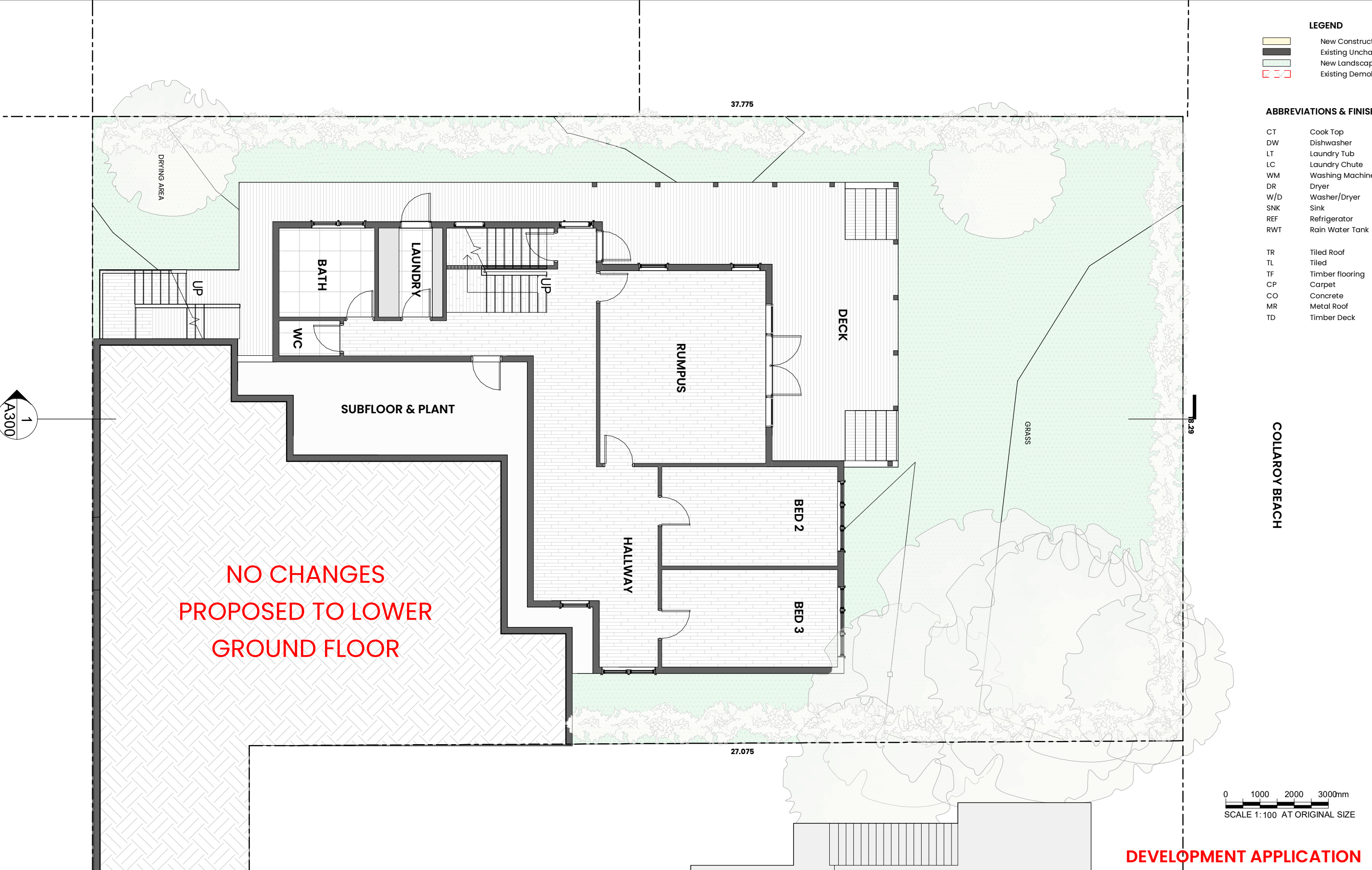
arkh design



Drawn: JO
Checked: JO
w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title EXISTING / DEMOLITION PLAN - FF			
NOT FOR CONSTRUCTION			
Scale 1:100	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A101 Drawing No.	3 Rev



- LEGEND**
- New Construction
 - Existing Unchanged
 - New Landscaping
 - Existing Demolished
- ABBREVIATIONS & FINISHES**
- | | |
|-----|-----------------|
| CT | Cook Top |
| DW | Dishwasher |
| LT | Laundry Tub |
| LC | Laundry Chute |
| WM | Washing Machine |
| DR | Dryer |
| W/D | Washer/Dryer |
| SNK | Sink |
| REF | Refrigerator |
| RWT | Rain Water Tank |
| TR | Tiled Roof |
| TL | Tiled |
| TF | Timber flooring |
| CP | Carpet |
| CO | Concrete |
| MR | Metal Roof |
| TD | Timber Deck |

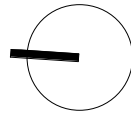
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation. Arkh Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards. Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title LOWER GROUND PLAN			
NOT FOR CONSTRUCTION			
Scale 1:100	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A102 Drawing No.	3 Rev

- LEGEND**
- New Construction
 - Existing Unchanged
 - New Landscaping
 - Existing Demolished

ABBREVIATIONS & FINISHES

- | | |
|-----|-----------------|
| CT | Cook Top |
| DW | Dishwasher |
| LT | Laundry Tub |
| LC | Laundry Chute |
| WM | Washing Machine |
| DR | Dryer |
| W/D | Washer/Dryer |
| SNK | Sink |
| REF | Refrigerator |
| RWT | Rain Water Tank |
| TR | Tiled Roof |
| TL | Tiled |
| TF | Timber flooring |
| CP | Carpet |
| CO | Concrete |
| MR | Metal Roof |
| TD | Timber Deck |



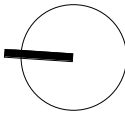
Notes

- Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation. Arkh Design is to be immediately notified of any discrepancies.
- Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards. Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title
GROUND FLOOR PLAN

NOT FOR CONSTRUCTION

Scale **1:100** @A3 Date: **19.08.25**

2405

Project no.

DA

Drawing Phase.

A103

Drawing No.

3

Rev

LEGEND

New Construction

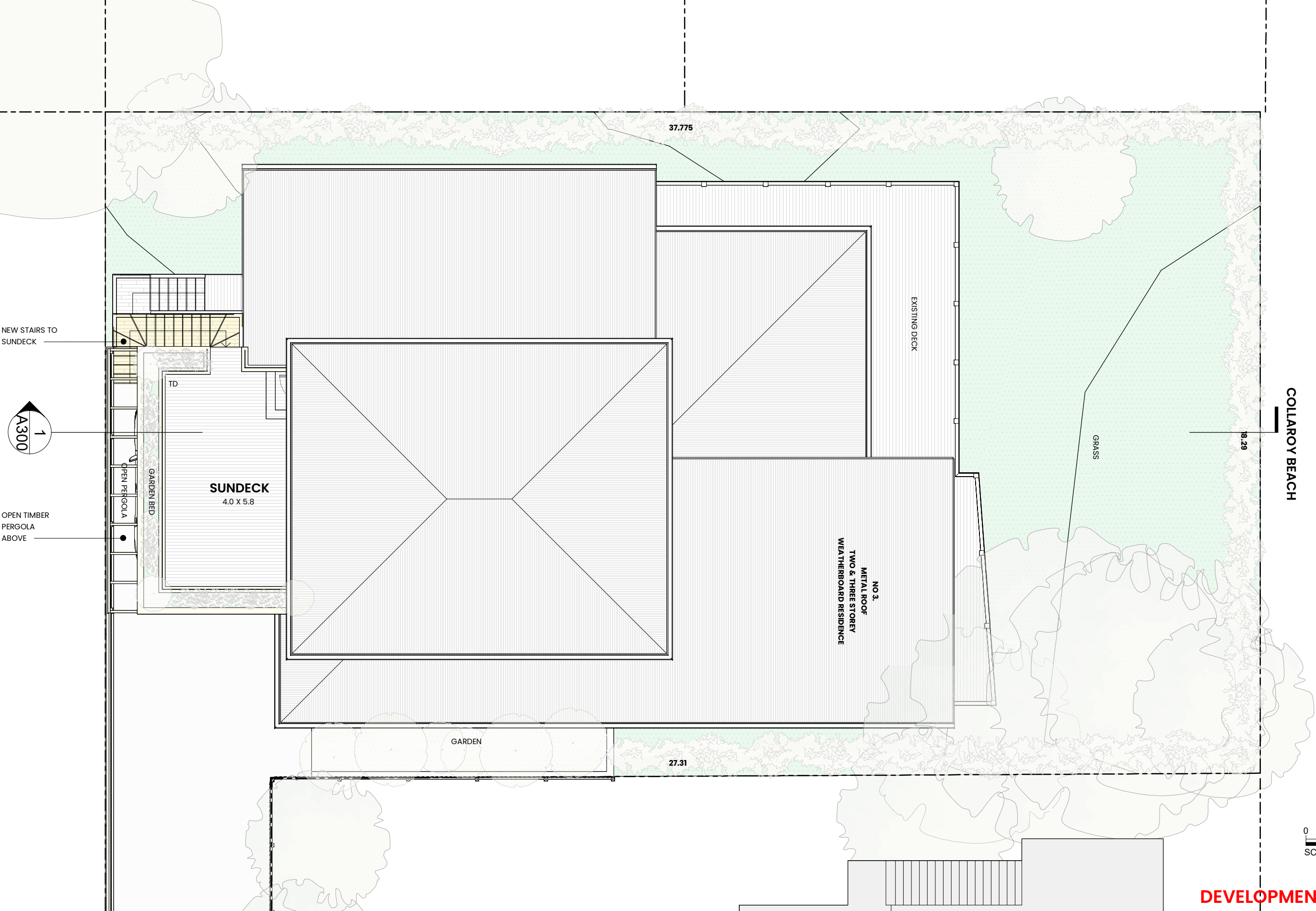
Existing Unchanged

New Landscaping

Existing Demolished

ABBREVIATIONS & FINISHES

CT	Cook Top
DW	Dishwasher
LT	Laundry Tub
LC	Laundry Chute
WM	Washing Machine
DR	Dryer
W/D	Washer/Dryer
SNK	Sink
REF	Refrigerator
RWT	Rain Water Tank
TR	Tiled Roof
TL	Tiled
TF	Timber flooring
CP	Carpet
CO	Concrete
MR	Metal Roof
TD	Timber Deck



DEVELOPMENT APPLICATION

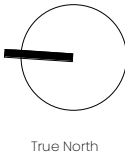
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO
Checked: JO
w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title ROOF PLAN			
NOT FOR CONSTRUCTION			
Scale 1:100	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A105 Drawing No.	3 Rev

DRAINAGE LEGEND

Existing Drainage

Proposed Drainage

DP

New Downpipe

DP

Existing Downpipe

DEVELOPMENT APPLICATION

Notes

1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.

Arkh Design is to be immediately notified of any discrepancies.

2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.

3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.

Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.

4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25

arkh design

Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project

2405

3 OCEAN GROVE

Client

GRAHAM DICKSON

Address

3 OCEAN GROVE

COLLARROY NSW 2097

Drawing Title

CONCEPT STOMWATER DESIGN

NOT FOR CONSTRUCTION

Scale 1:100

@A3

Date: 19.08.25

2405

DA

A106

Project no.

Drawing Phase.

Drawing No.

3

Rev



SOUTH ELEVATION
scale 1 : 100

DEVELOPMENT APPLICATION

Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design

True North

Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com

e. jon@arkhdesignstudio.com

p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title ELEVATIONS			
NOT FOR CONSTRUCTION			
Scale 1:100	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A200 Drawing No.	3 Rev

LEGEND

New construction

Existing unchanged

New landscaping

Existing demolished

EXTERNAL FINISHES

EF-01

Weatherboard Cladding

EF-02

Timber Glazing

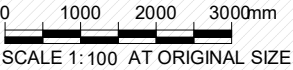
EF-03

Glass Balustrade



NORTH ELEVATION

scale 1:100



DEVELOPMENT APPLICATION

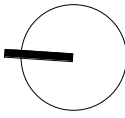
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
- Arkh Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
- Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com

e. jon@arkhdesignstudio.com

p. +61 450 446 299

Project

2405

3 OCEAN GROVE

Client

GRAHAM DICKSON

Address

3 OCEAN GROVE

COLLARROY NSW 2097

Drawing Title			
ELEVATIONS			
NOT FOR CONSTRUCTION			
Scale	1:100	@A3	Date: 19.08.25
2405	DA	A201	3
Project no.	Drawing Phase.	Drawing No.	Rev

LEGEND

New construction

Existing unchanged

New landscaping

Existing demolished

EXTERNAL FINISHES

EF-01Weatherboard Cladding

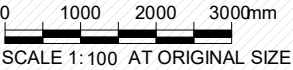
EF-02Timber Glazing

EF-03Glass Balustrade



EAST ELEVATION

scale 1:100



DEVELOPMENT APPLICATION

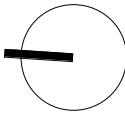
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO

Checked: JO

w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE

Client
GRAHAM DICKSON

Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title ELEVATIONS			
NOT FOR CONSTRUCTION			
Scale 1:100	@A3	Date: 19.08.25	
2405 Project no.	DA Drawing Phase.	A202 Drawing No.	3 Rev

New construction

Existing unchanged

New landscaping

Existing demolished

EXTERNAL FINISHES

EF-01

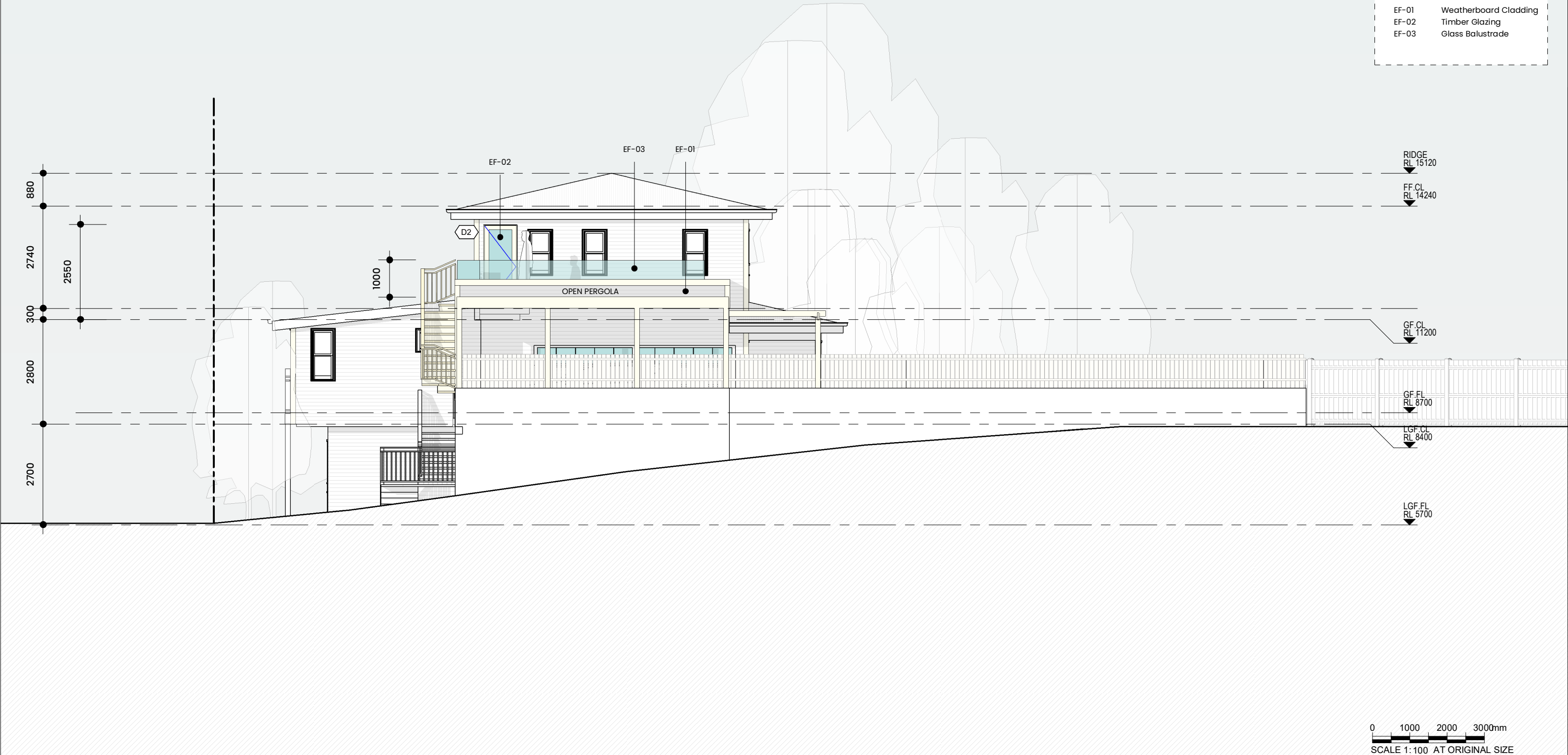
EF-02

EF-03

Weatherboard Cladding

Timber Glazing

Glass Balustrade



DEVELOPMENT APPLICATION

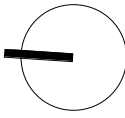
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



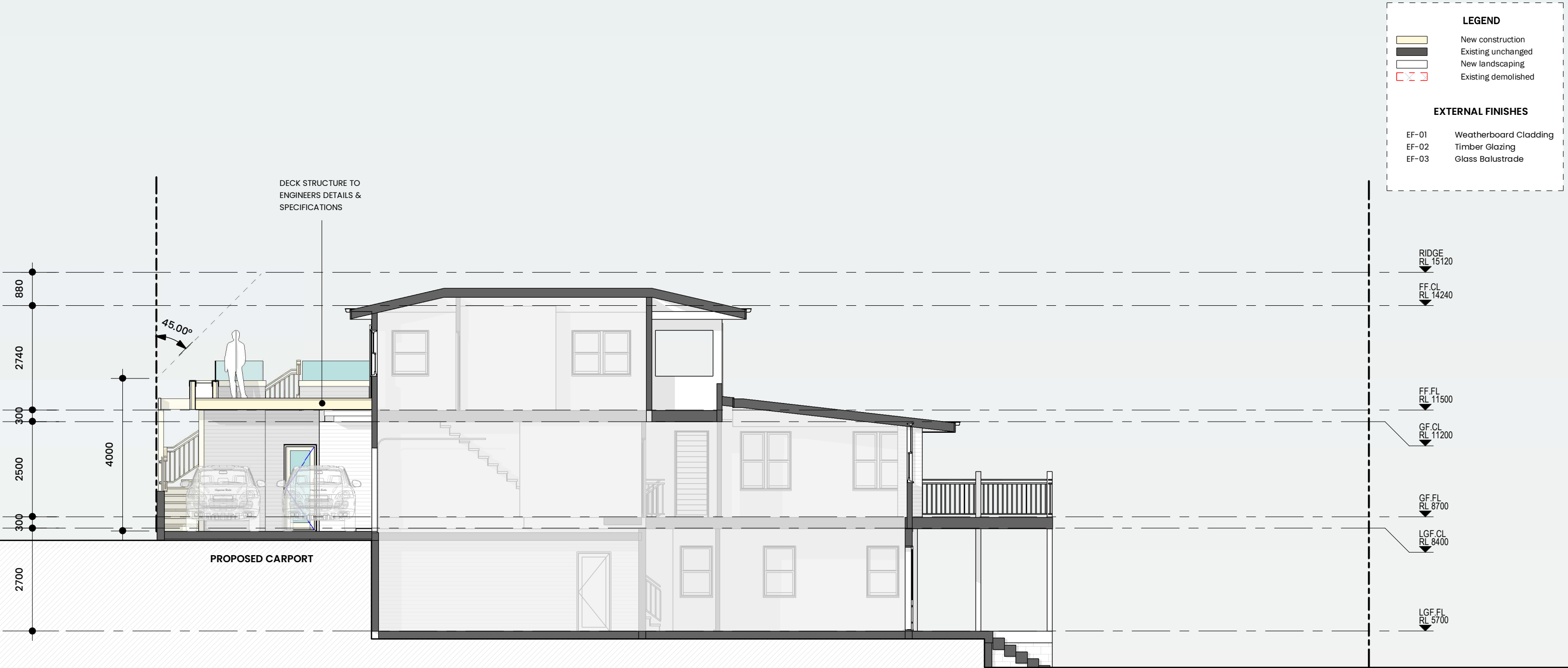
arkh design



Drawn: JO Checked: JO w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

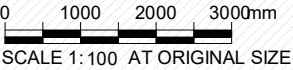
Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLAROY NSW 2097

Drawing Title ELEVATIONS			
NOT FOR CONSTRUCTION			
Scale	1:100	@A3	Date: 19.08.25
Project no.	2405	Drawing Phase.	DA
Drawing No.	A203	Rev	3



SECTION AA

scale 1 : 100



DEVELOPMENT APPLICATION

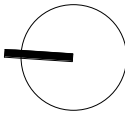
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Ark Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Ark Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO Checked: JO w. www.arkhdesignstudio.com
e. jon@arkhdesignstudio.com
p. +61 450 446 299

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title			
SECTIONS			
NOT FOR CONSTRUCTION			
Scale	1 : 100	@A3	Date: 19.08.25
2405	DA	A300	3
Project no.	Drawing Phase.	Drawing No.	



EF-01 – Weatherboard Cladding
COLOUR – Matching existing cladding

EF-02 – Timber Glazing
COLOUR – Painted to match existing home

EF-03 – Glass Balustrade
COLOUR – Clear

DEVELOPMENT APPLICATION

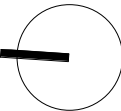
Notes

- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
Arkh Design is to be immediately notified of any discrepancies.
- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards.
Arkh Design is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by Arkh Design.

Rev	Description	Date
1	ISSUED TO CLIENT FOR REVIEW	17.10.24
2	ISSUED TO CLIENT FOR REVIEW	05.08.25
3	ISSUED TO COUNCIL FOR DA	19.08.25



arkh design



Drawn: JO	Checked: JO	w. www.arkhdesignstudio.com e. jon@arkhdesignstudio.com p. +61 450 446 299
------------------	--------------------	---

Project
2405
3 OCEAN GROVE
Client
GRAHAM DICKSON
Address
3 OCEAN GROVE
COLLARROY NSW 2097

Drawing Title FINISHES SCHEDULE			
NOT FOR CONSTRUCTION			
Scale @A3	Date: 19.08.25		
2405 Project no.	DA Drawing Phase.	A400 Drawing No.	3 Rev