

20741/04
R/161849

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)**Certificate No. 2005/501****Council**

Pittwater

Determination

date of determination

15 February 2005

Subject land

Address

32 Nullaburra Road, Newport

Lot No, DP No.

Lot 2A DP 409743

Applicant

Name

Ms L Clothier

Address

32 Nullaburra Road, Newport NSW 2106

Contact No. (phone)

9999 0635

Owner

Name

Ms Lisa Clothier

Address

32 Nullaburra Road, Newport NSW 2106

Contact No. (phone)

9999 0635

Description of Development

Type of Work

Cabana & Carport

Builder or Owner/Builder

Name

Waterview Constructions Pty Ltd

Contractor Licence No/Permit

164540C

Value of Work

Building

\$94,776.00

Attachments**COUNCIL
COPY**

1. Pittwater Council receipt no. 16077, dated 31 January 2005, for payment of Long Service Levy

Plans & Specification**approved**

List plans no(s) & specifications
Reference

1. Architectural Details & Construction Specifications, reference no. SA 3627-1, 2, 3 & 4, prepared by Trish Carpenter Pty Ltd, dated September 2004
2. Copy of Sydney Water approval dated 22 December 2004
3. Structural Details & Sediment Control Plan, reference no. 22364-C1, prepared and endorsed by Jack Hodgson Consultants Pty Ltd, dated 10 February 2005

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed



**Date of endorsement
Certificate No.**

15 FEB 2005

2005/501

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority

Tom Bowden

93

Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)

(02) 9999 0003

Contact No.
Address

13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

NO741/04

15 December 2004

BCA Classification

10a

Pittwater Council

OFFICIAL RECEIPT

31/01/2005 . Receipt No 140746

To Mr Bullen Mrs Clothier

32 Mullaburns Road
NEWPORT 2106

Applic Reference	Amount
GL Ac GLSL-Buil	\$189.55
32 Mullaburns Road DA 074	

Total: \$189.55

Amounts Tendered	
Cash	\$0.00
Cheque	\$189.55
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$189.55
Rounding	\$0.00
Change	\$0.00
Nett	\$189.55

Printed 31/01/2005 1:23:00

Cashier PLewis

45 Crescent Rd
Newport 2106
0410640130
A.B.N 50105711448

Waterview Constructions Pty Ltd

Licence 164540C

Lisa Clothier

32 Nullaburra Rd, Newport

Cabana Construction.

Cabana Scope of works

Excavation

Excavate for cabana slab (11mx4mx0.5m approx)
Excavate for southern boundary retaining wall (18m approx)
Soil to be spread around site for landscaping

Concreting

Form and steel fixing slab & footings (engineers detail to follow)
Pour concrete and steel trowel finish inc bathroom step-down for tiles.
Slab detail (150mm thick + 400mm thick edge beam)
Pour Concrete Retaining wall footing 400mmx400mm

Carpentry

Timber wall framing to external/internal walls (90x45mm)
Timber trussed roof framing, fascia & fibre cement eaves
Timber wall and gable cladding to be Weathertex Primelok
Sliding door unit to bathroom
Entry door to store
90mm primed skirtings & 75mm primed architraves
Supply & install cedar bifold 4xdoor unit 3600Wx2100H
Supply and install cedar bathroom sliding window 800wx300h
Batten/ lay Brushbox strip floor
Sand and polish

Plumbing

Rough in bathroom toilet, basin, shower and external shower.
Fitoff toilet & basin and showers.
Exclusion:
All PC items (toilet, basin, tapware to be supplied by client)
All Sewer and stormwater connections to be made to Cabana

COUNCIL
COPY

Waterview Constructions

February 15, 2005

Page 2

Electrical

Rough in to cabana, bathroom and store

Fitoff: Supply and install

Cabana: 4 downlights and 1switch

Bathroom: 1downlight & 1switch

Store: 1downlight & 1switch

Exclusions: mains electrical connection to be made to cabana

Plastering

Plasterboard linings set/sand to internal walls and ceilings

Villaboard wall lining to bathroom

90mm cove cornice to all rooms

Tiling

Acrylic waterproof membrane to bathroom

Cement bed and set angles to shower

Floor & wall tiling to 1800h in bathroom only

Supply chrome floor wastes

Exclusions: Client to supply all tiles

Roof Tiling

Roof Tiling to Cabana to match existing dwelling

Colourbond 115 quad gutter and downpipes

Painting

No allowances have been made for painting

Brickwork

No allowances have been made for retaining wall

Type of brick/blockwork to be advised

Surveyor

Survey setout and peg for Cabana & Carport

Final Height levels for occupation certificate

Pest Control

temite spray under slab

45 Crescent Rd
Newport 2106
0410640130
A.B.N 50105711448

Waterview Constructions Pty Ltd

Licence 164540C

Lisa Clothier

32 Nullaburra Rd, Newport

Carport Construction.

Carport Scope of works:

Excavation

Excavate for Pad Footings (6/600x600x400)
Soil to be spread on site

Concreting

Pour concrete pad footings

Carpentry

6/115x115 Galvanised steel posts
240x65 Primed timber beams
Timber trussed roof framing, fascia & fibrecement eaves
Gable end cladding Weathertex boards
Privacy screen Carport/Cabana treated pine posts 70x19 primed slats

Plumbing

Exclusion:
All Sewer and stormwater connections to be made to Cabana

Electrical

Rough in to Carport
Fitoff: Supply and install
carport: 4 downlights and 1 switch
Exclusions: mains electrical connection to be made to Carport

Plastering

Villaboard wall lining Carport ceiling set/sand

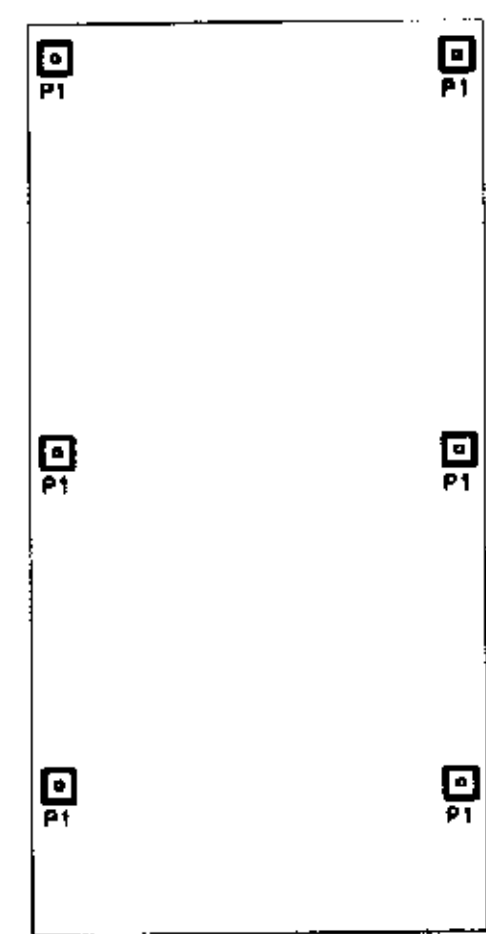
Roof Tiling

Roof Tiling to Carport to match existing dwelling
Colourbond 115 quad gutter and downpipes

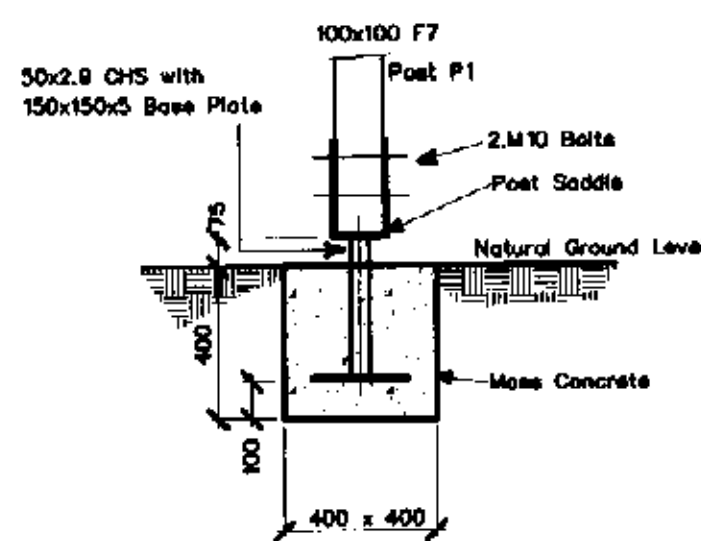
Painting

No allowances have been made for painting

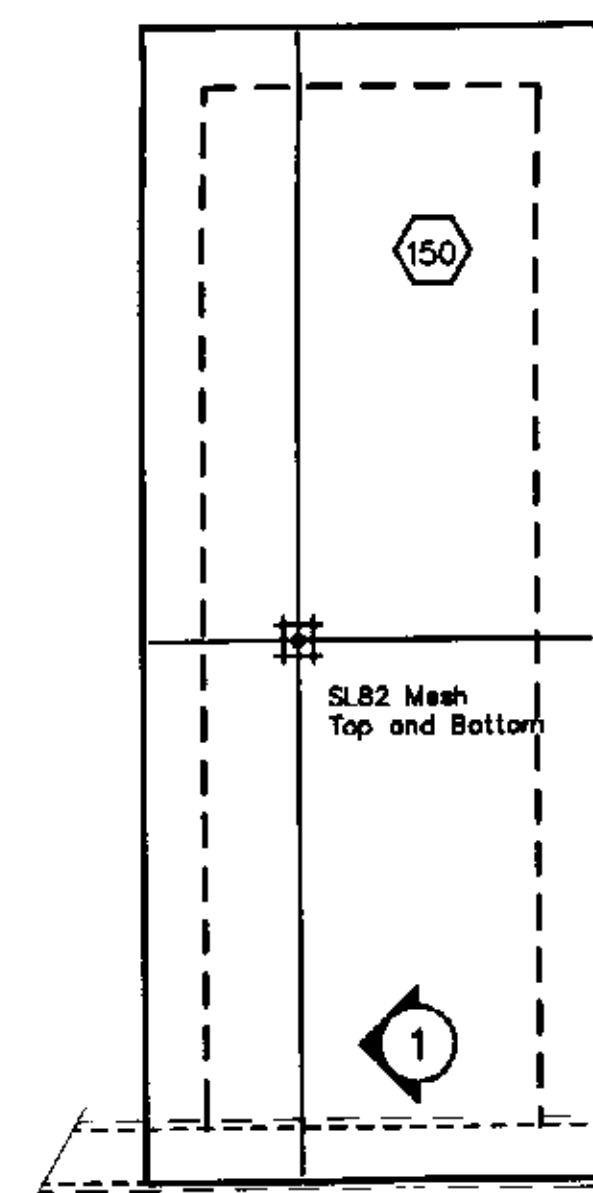
Waterview Constructions



CARPORT MARKING PLAN
Scale 1:50

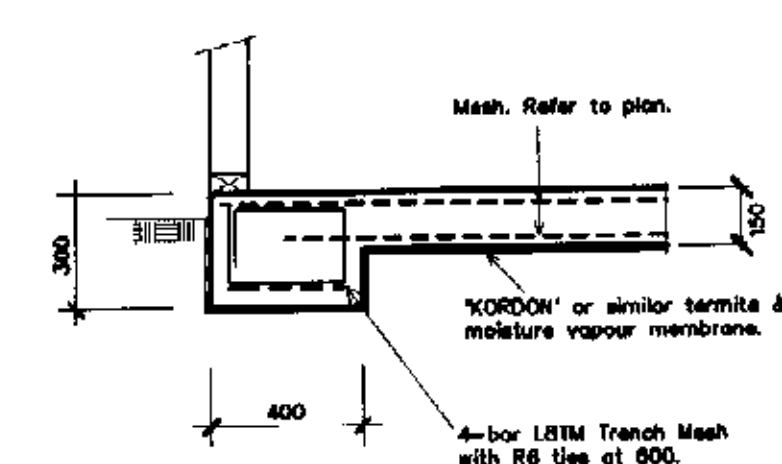


PAD FOOTING DETAIL-P1
Scale 1:20

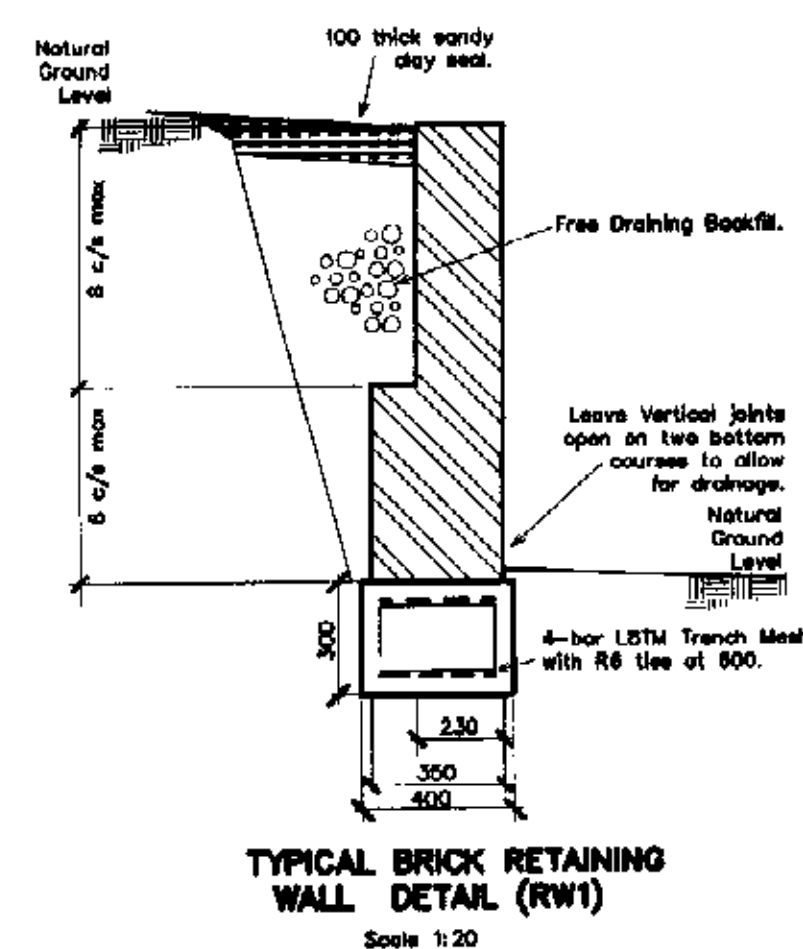


SLAB DETAIL
Scale 1:20

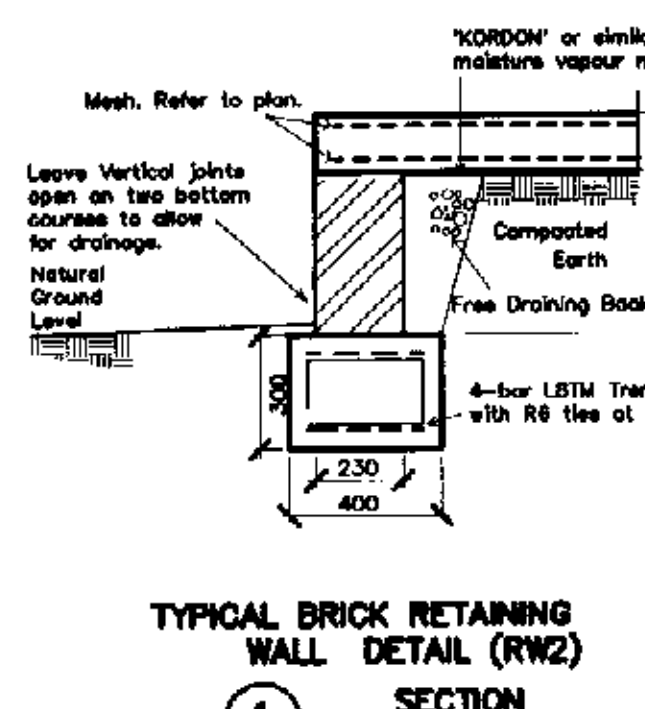
CABANA SLAB
Scale 1:50



TYPICAL SLAB EDGE DETAIL
Scale 1:20



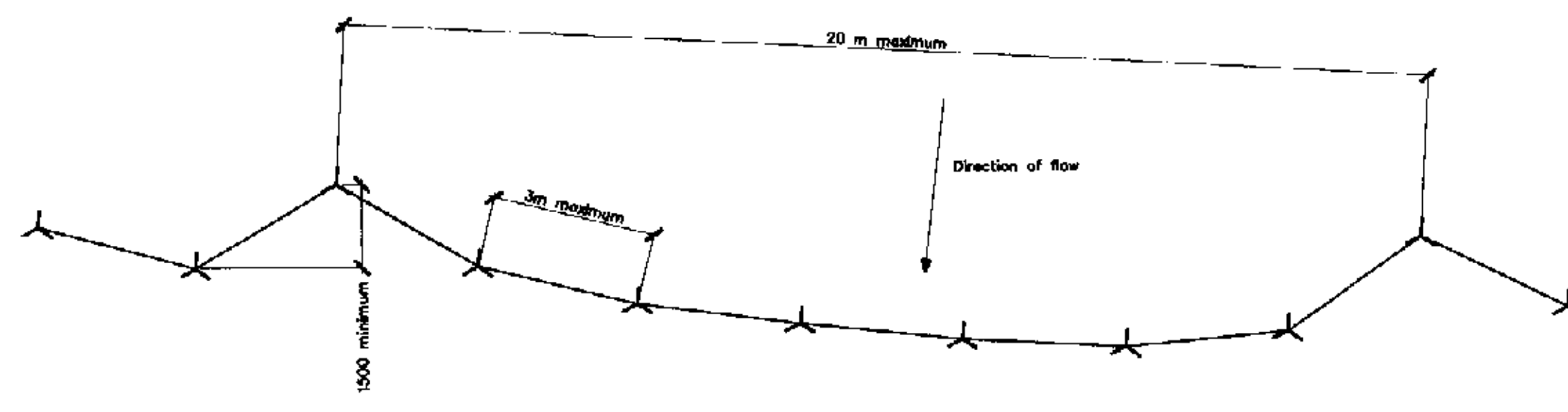
TYPICAL BRICK RETAINING WALL DETAIL (RW1)
Scale 1:20



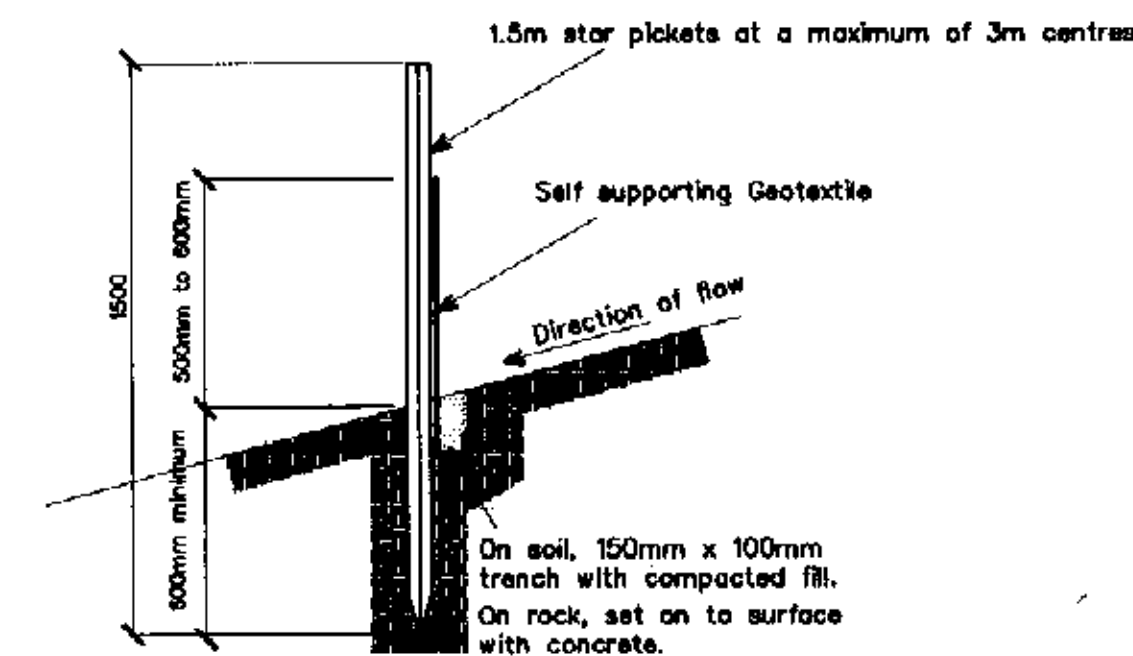
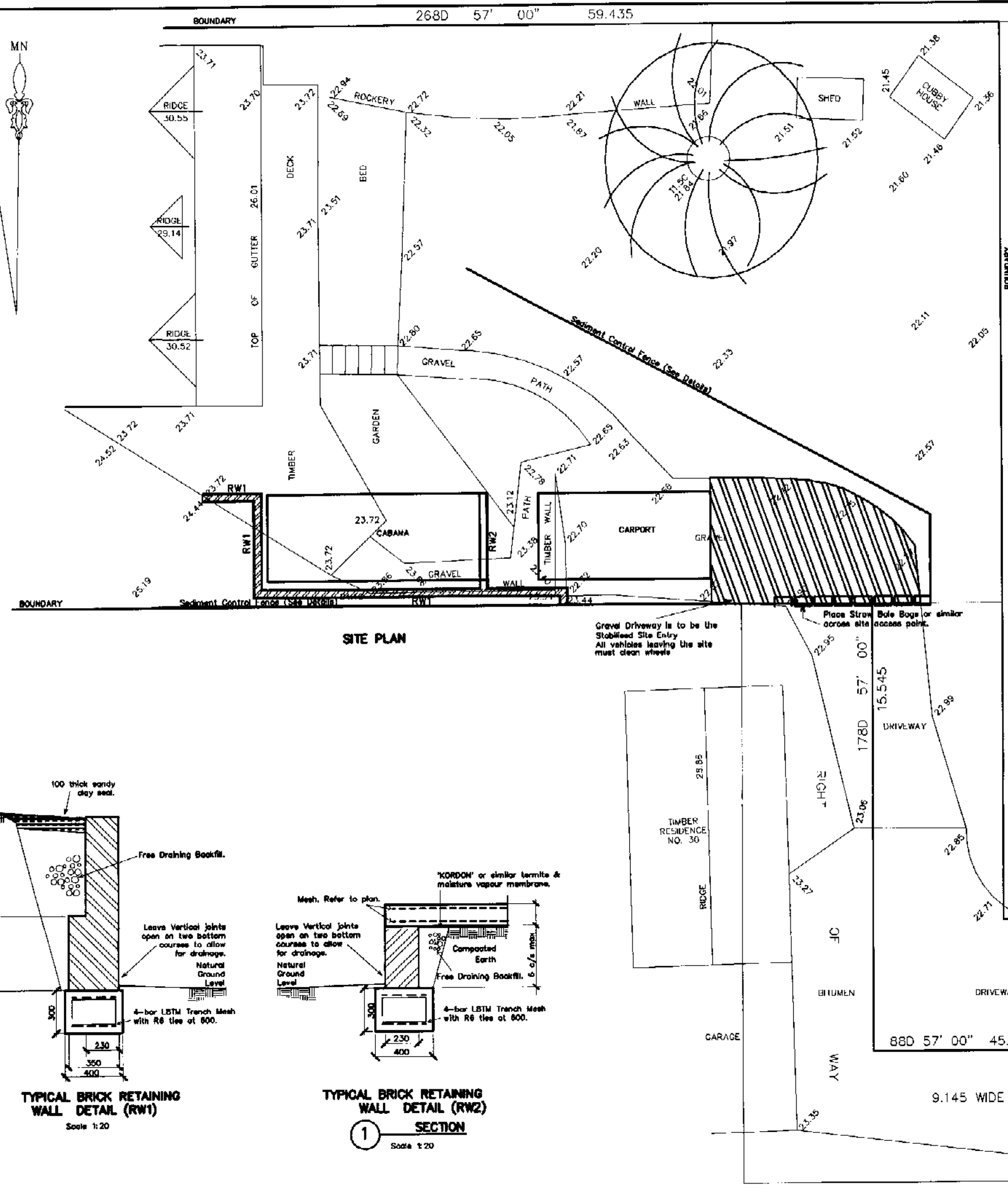
TYPICAL BRICK RETAINING WALL DETAIL (RW2)
Scale 1:20

Construction Notes:-

1. Construct sediment fence as close as possible to the contours of the site.
2. Drive 1.5 m long star pickets into ground, 3m apart maximum.
3. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
4. Backfill trench over base of fabric.
5. Fix self supporting geotextile to upslope side of post with wire ties or as recommended by geotextile manufacturer.
6. Join sections of fabric at a support post with a 150mm overlap.



TYPICAL SEDIMENT FENCE PLAN
Scale 1:100



SEDIMENT FENCE SECTION DETAIL
Scale 1:20

Erosion & Sediment Control Plan (ESCP)

This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's 'Urban Erosion and Sediment Control' manual. Any vehicle leaving the site must be washed down on the Gravel Driveway to remove any clay that may have become attached to the vehicle. The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

1. Site works will not start until the erosion and sediment control outlined in clauses 2 to 5, below, are installed and functional.
2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:
 - * Constructing a concrete driveway to the street.
 - * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.
3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).
4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.
5. Topsoil will be stripped and stockpiled for later use in landscaping the site.
6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work is necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.
9. Guttering will be connected to the stormwater system as soon as practicable.
10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

CONCRETE NOTES:

1. All concrete work to be in accordance with AS 3600.
2. F/c Refer to table.
3. Maximum aggregate size = 20 for footings, slabs & beams. = 10 for block filling.
4. Slump = 80.
5. All concrete, including block filling, to be vibrated.
6. Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
7. Bar Chairs to be no more than 800mm c/c to c/c spacing.
8. Reinforcing Steel to comply with AS/NZS 4671:2001, and to be 6500N unless noted otherwise. (where 650 = strength grade in megapascals & N = Normal ductility class).
9. Reinforcement to be tied at every other intersection minimum.
10. Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

Element	Cover (mm)	F/c at 28 Days
	Internal	External
Piers		
Footings	80	20 MPa
Block Filling		
Slab on Ground	30	25 MPa
Beams		
Columns		
Slabs		
Walls		

The minimum clear cover is to reinforcement ties and stirrups.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170.1, A.S.1170.2, A.S.1170.3, A.S.1884, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100 & A.S. 1163
Jack D. Hodgson 10/2/05
Name Date Signature

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

SEDIMENT CONTROL PLAN AND STRUCTURAL DETAIL PLAN PROPOSED CARPORT AND CABANA 32 NULLABURRA RD NEWPORT

LISA CLOTHIER AND MIKE BULLEN

Our drawings are based on the information provided by -
(Architects name or similar, Owners sketches etc.)
Drawing No. Date: ..
Amendment: - Date: -

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with the Drawing.
JACK HODGSON CONSULTANTS PTY. LTD.
Consulting Civil, Geotechnical, and Structural Engineers
11 Dungen Street, NEWPORT 2103, P.O. Box 392, NEWPORT
Telephone (02) 9979 8733, Facsimile (02) 9979 8732
Email: jack.hodgson@jhc.com.au

Designed JDH Drawn HS
Checked JDH Scale 1:100, 20:1
Date 10 February 2005

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.C. No. 2005/SD1

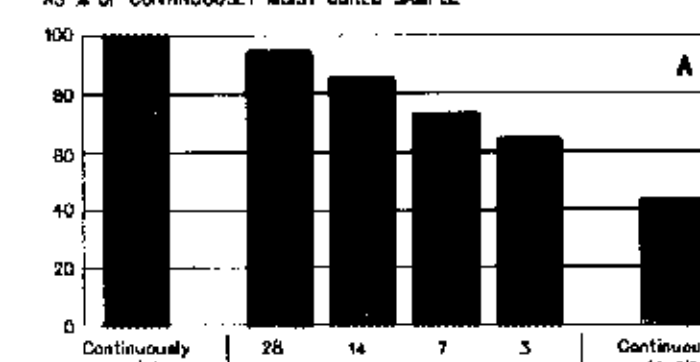
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

WARNING

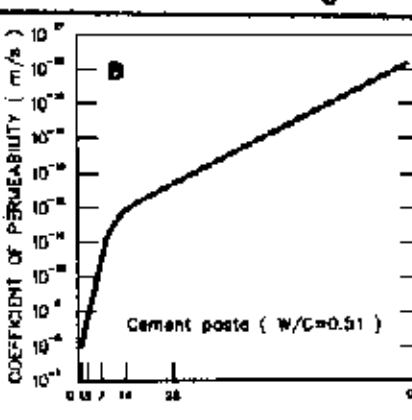
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
Dial Before You Dig 1100

IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS AS % OF CONTINUOUSLY MOIST CURED SAMPLE



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on Fig. 1.2 of Guide to Concrete Repair & Protection (SAA/MBR4:1996)



SITE COVERAGE CALCULATION

AREA OF BLOCK = 1424 sq m
 EXISTING:
 RESIDENCE = 136 sq m
 FRONT DECK = 55.00 sq m
 REAR TIMBER DECK = 26.6 sq m
 REAR CABIN = 25.7 sq m
 REAR STEPS & PATHS = 65 sq m
 FRONT STEPS = 3 sq m
 CUBBY = 3.50 sq m
 NOTE: Driveway is gravel
 EXISTING COVERED = 314.8sq m = 22%

PROPOSED:
 NEW CABANA = 25 sq m
 NEW CARPORT = 18 sq m
 NEW ENTRY AREA = 8.5 sq m
 LESS DECK AREA = (19.5 sq m)
 LESS FRONT STEPS = (3 sq m)

TOTAL COVERED = 343.8 sq m = 24 %

SYDNEY WATER APPROVED

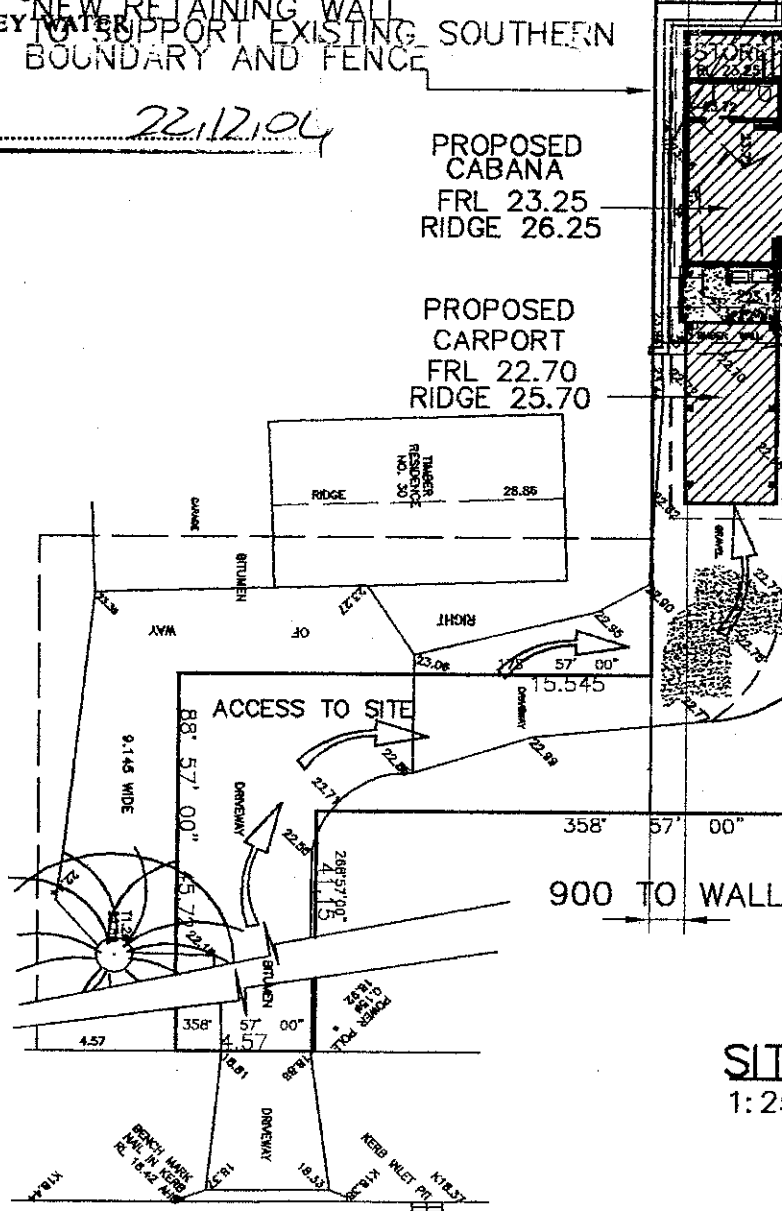
1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer services may only be made following the issue of a permit to a licensed plumber/drainlayer.
3. It is the owner's responsibility to ensure all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work carried out in accordance with the Plumbing Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary markers shall not be placed under any Roof, Eave, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 4752996

Reece, Mona Vale

Quick Check Agent on behalf of

SYDNEY WATER SUPPORT EXISTING SOUTHERN BOUNDARY AND FENCE

Per. Reece 22/12/04



NULLABURRA ROAD

SITE PLAN
1:250

WARNING

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.

Dial Before You Dig 1100

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

CONSENT NO. 741/04 DATE 15/12/04

CONSTRUCTION CERT. NO. 2005/501

CONSTRUCTION CERTIFICATE PLANS

15 FEB 2005

T. Bowden Accreditation No. 93

SITE PLAN/SITE ANALYSIS FOR PROPOSED CABANA & CARPORT FOR LISA CLOTHIER & MIKE BULLEN 32 NULLABURRA ROAD NEWPORT

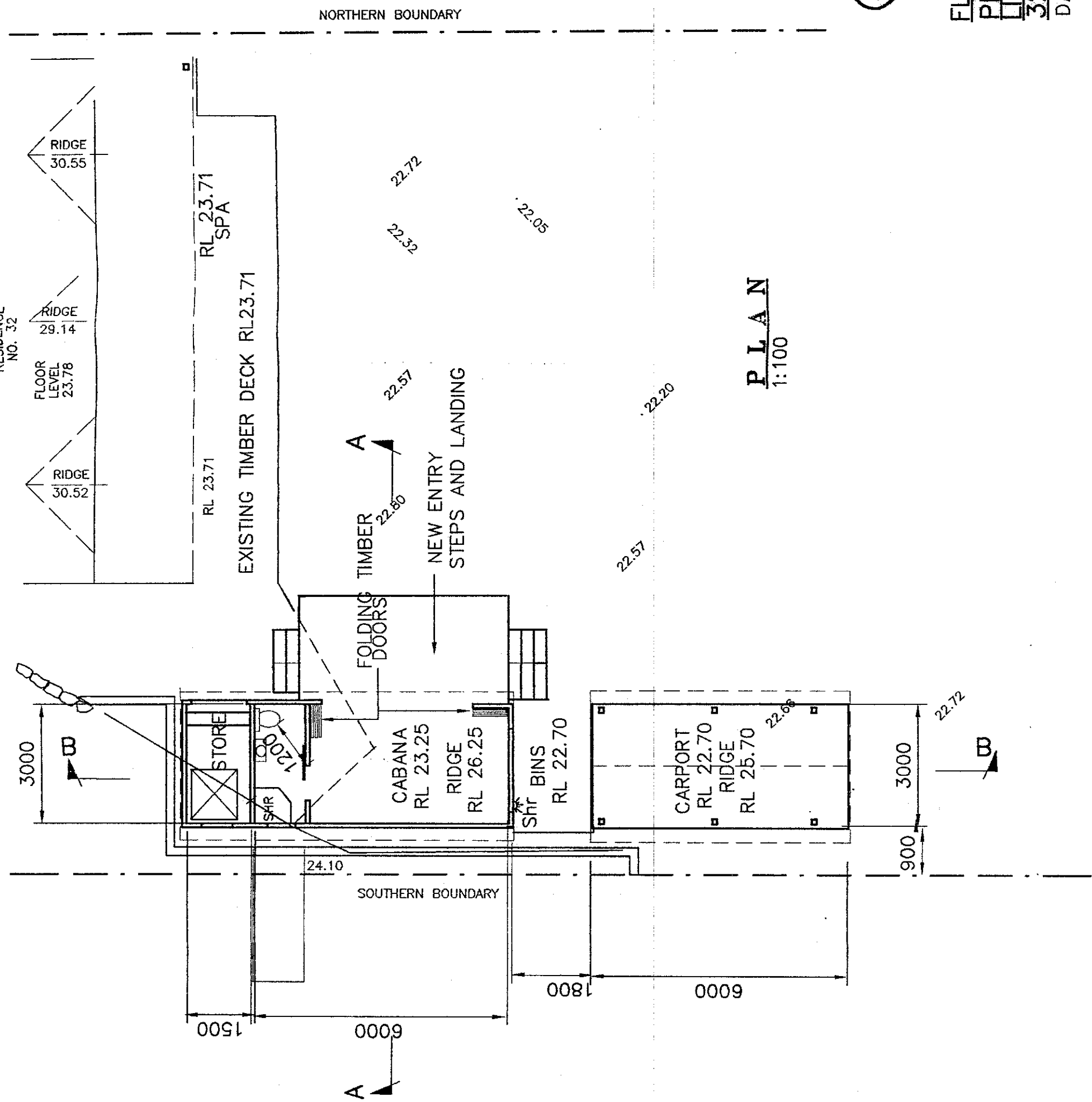
DATE: SEPT 2004 Dwg No: SP 3527-1



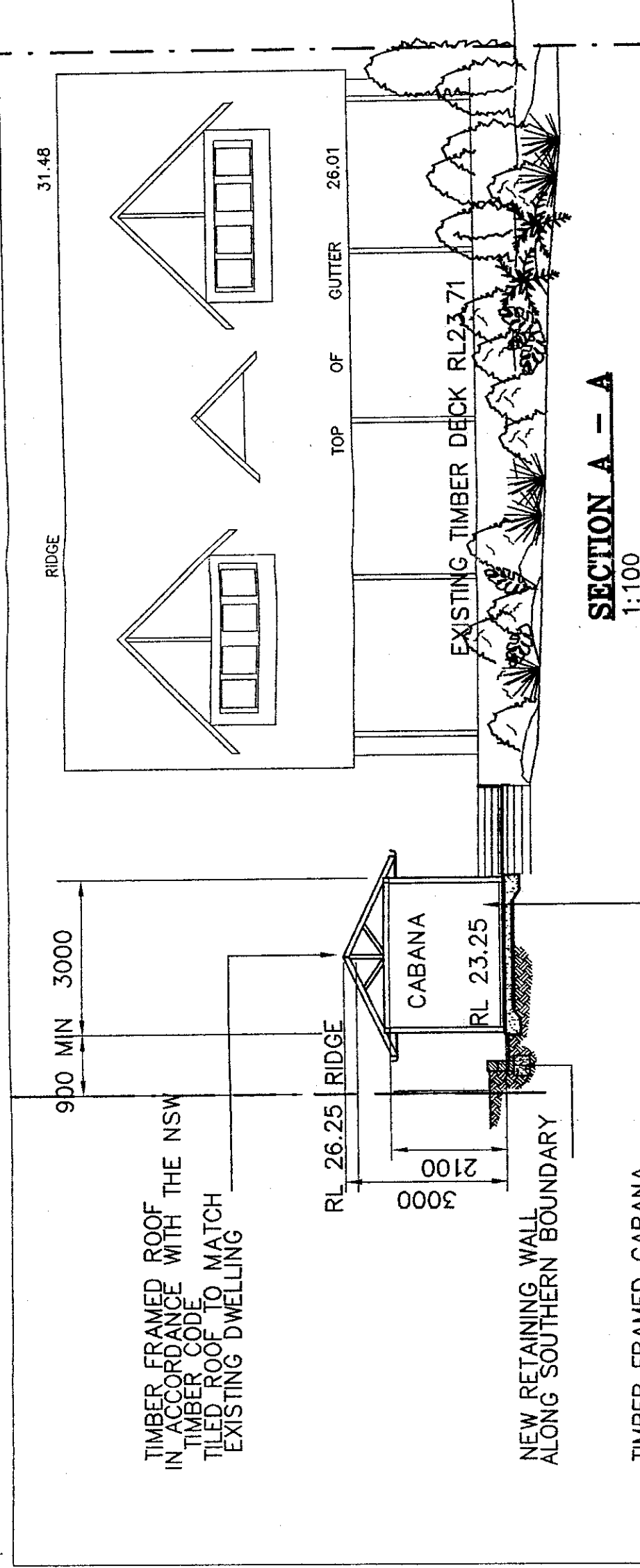
PROPOSED CABANA & CARPORT FOR
LISA CLOTHIER & MIKE BULLEN
32 NULLABURRA ROAD NEWPORT
DATE: SEPT 2004 Dwg No: SA 3627-2

Trish Carpenter Pty Ltd
Pool and Landscape Design
19 Brooker Avenue BEACON HILL 2100
Ph/Fax 02 9452 2924 Mob 0410 609 122

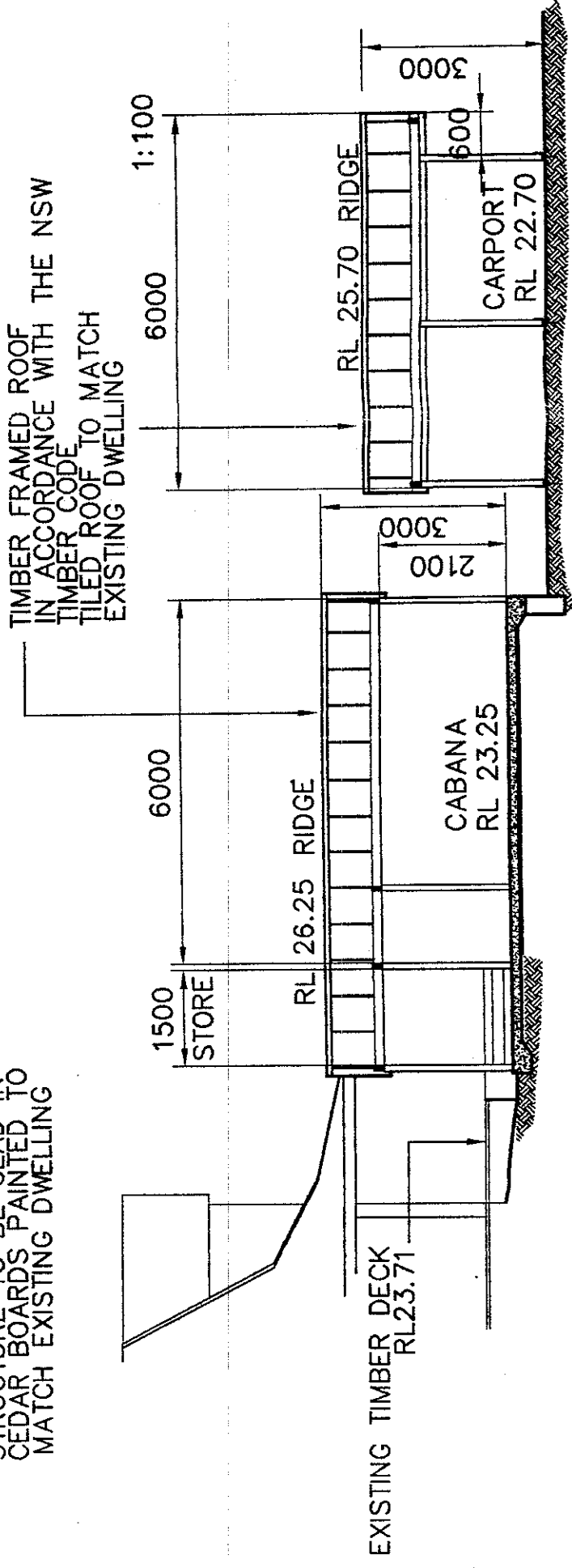
FLOOR PLANS FOR
PROPOSED CABANA & CARPORT FOR
LISA CLOTHIER & MIKE BULLEN
32 NULLABURRA ROAD NEWPORT
DATE: SEPT 2004 Dwg No: SA 3627-2



P L A N
1:100



SECTION A - A
1:100

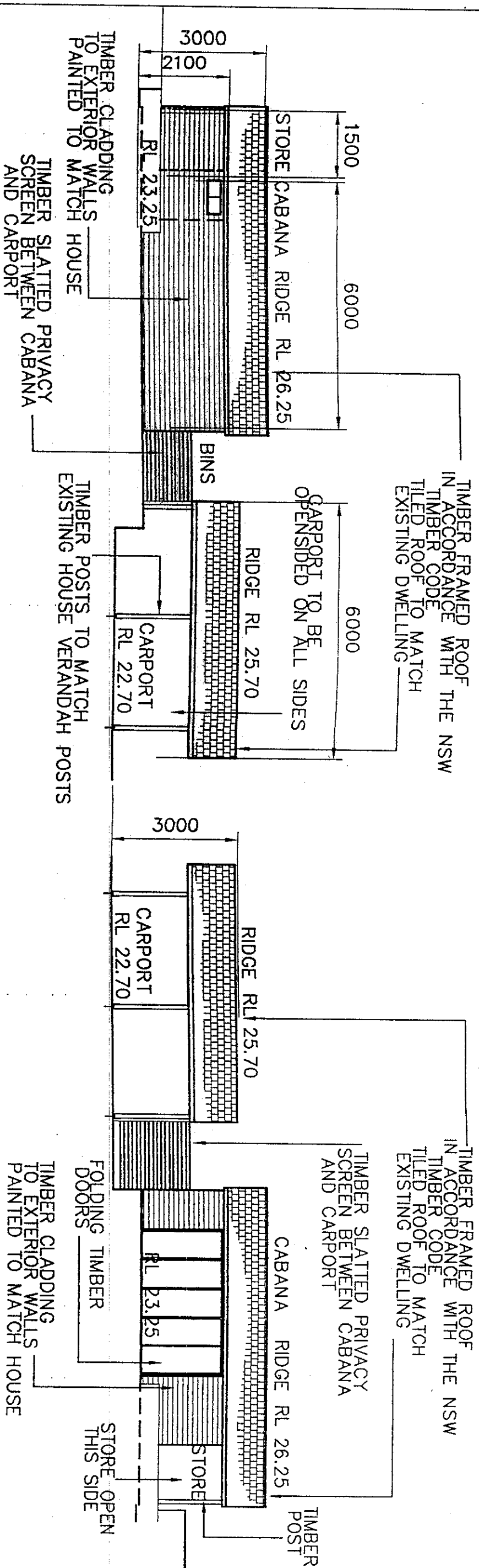


SECTION B - B
1:100

APPROVED DEVELOPMENT
NOTE: THESE PLANS MUST BE USED IN CONJUNCTION WITH THE SITE SPECIFIC DEVELOPMENT APPLICATION

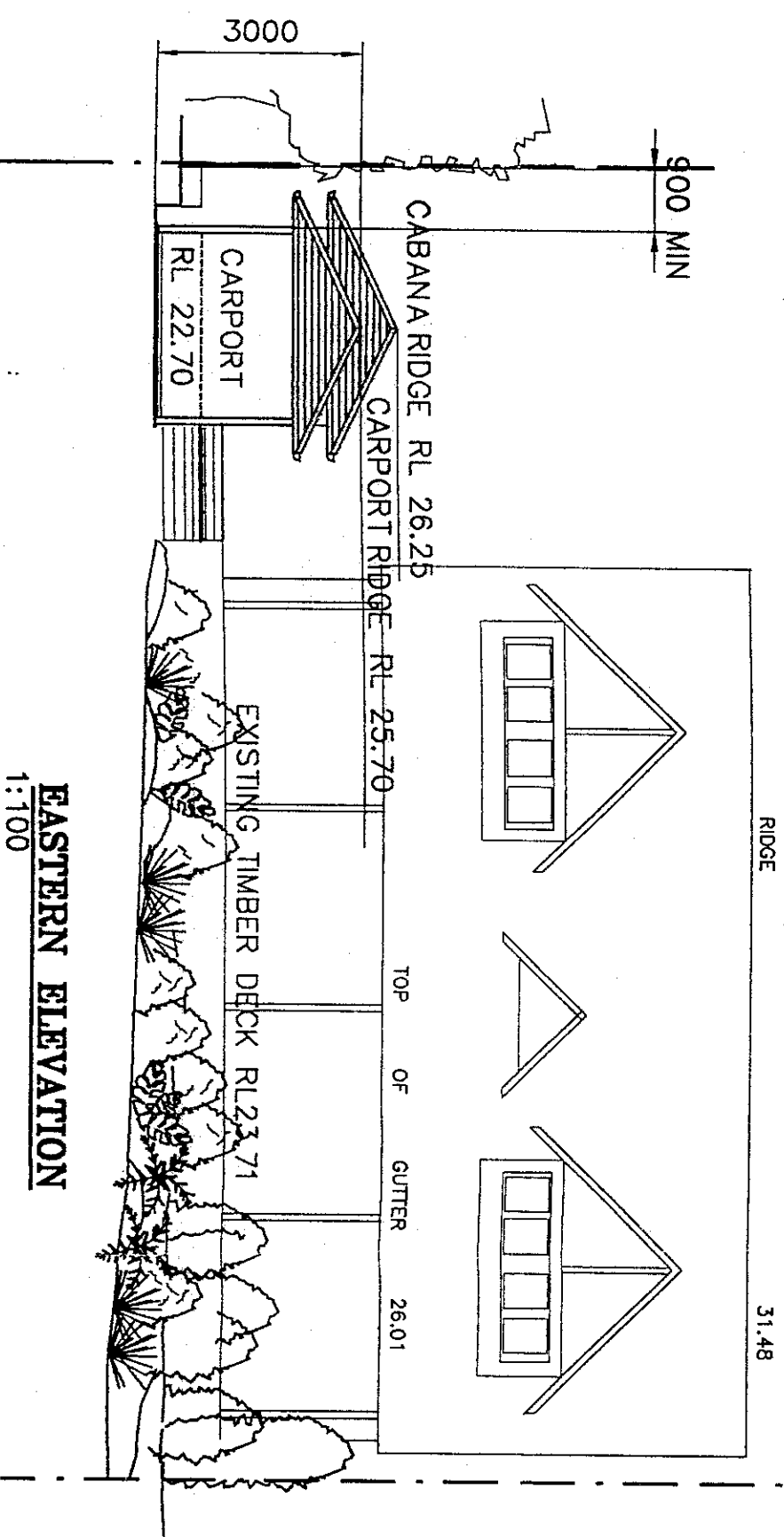
Trish Carpenter Pty Ltd
Pool and Landscape Design
19 Brooker Avenue BEACON HILL 2100
Ph/Fax 02 9452 2924 Mob 0410 609 122

TYPICAL SECTIONS FOR
PROPOSED CABANA & CARPORT FOR
LISA CLOTHIER & MIKE BULLEN
32 NULLABURRA ROAD NEWPORT
DATE: SEPT 2004 Dwg No: SA 3627-3



SOUTHERN ELEVATION

NORTHERN ELEVATION



EASTERN ELEVATION


Irish Carpenter Pty Ltd
Pool and Landscape Design
 19 Brookier Avenue BEACON HILL 2100
 Ph/Fax 02 9452 2924 Mob 0410 609 122

ELEVATIONS FOR

PROPOSED CABANA & CARPORT FOR
ISA CLOTHIER & MIKE BULLEN
32 NULLABURRA ROAD NEWPORT
 DATE: SEPT 2004 Dwg No: SA 3627-4