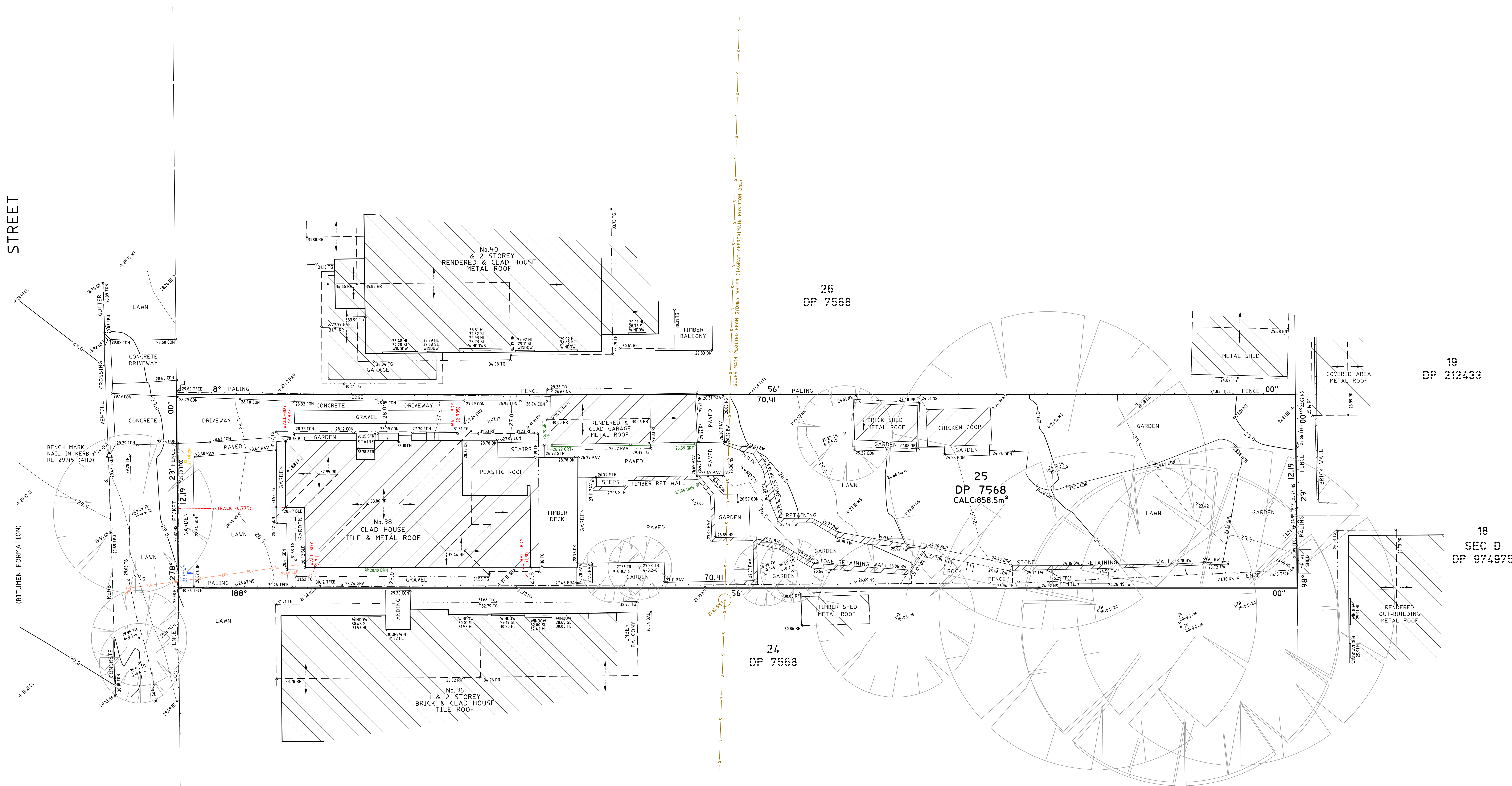


STREET

KING

TITLE INDICATES THAT LOT 25 IN D.P.7568 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS.



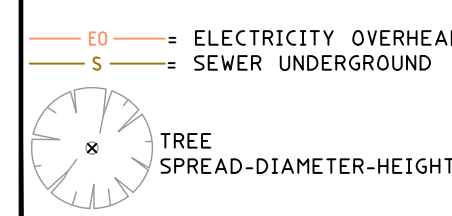
NOTES:

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES, THE BOUNDARIES OF THE LAND MUST BE MARKED ON THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JESS MILLEN & TOM TARENTO.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGNOSTIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DIG AUSTRALIA (www.beyda.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGNOSTIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2023.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462

LEGEND:

- BAL = BALCONY
- BLD = EXTERNAL BUILDING
- BOR = BOTTOM OF ROCK
- BW = BOTTOM WALL
- CHT = CHIMNEY
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- ELO = ELECTRICITY LINE OVERHEAD
- FCE = FENCE
- FL = FLOOR LEVEL
- GAPL = GARAGE FLOOR LEVEL
- GDN = GARDEN
- GP = GUTTER LEVEL
- GR = GRAVEL
- GRV = GRAVEL
- HL = HOOD LEVEL
- NS = NATURAL SURFACE
- PAY = PAVING
- RF = ROOF RIDGE
- RR = ROOF RIDGE
- SL = SEWER MAIN HOLE
- STR = STAIRS
- TB = TOP OF BANK
- TCE = TOP OF FENCE
- TC = TOP OF GUTTER
- TKE = TOP OF KERB
- TOR = TOP OF ROCK
- TR = TREE
- TW = TOP OF WALL
- WT = WATER METER



1 FIRST ISSUE

27/11/2023



SCALE 1:100

HORIZONTAL DATUM:

COORDINATE SYSTEM ASSUMED

MARKS ADOPTED: N/A

VERTICAL DATUM:

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)

B.M. ADOPTED: PM 510

R.L. 30.602 (CLASS LB)

SOURCE: S.C.I.M.S. (07/11/2023)

CLIENT:

JESS MILLEN & TOM TARENTO

LGA: NORTHERN BEACHES

**BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 25 IN DP7568
No.38 KING STREET
MANLY VALE, NSW, 2093**

CMS SURVEYORS PTY LTD
ACN 096 240 201
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(02) 9971 4802
info@cmsurveyors.com.au
www.cmsurveyors.com.au

SURVEYED	DRAWN	CHECKED	APPROVED
LP	MC	LP	RM
SURVEY INSTRUCTION	SCALE	DATE OF SURVEY	
22964	1:100@A0	16/11/2023	
DRAWING NAME	SHEET	ISSUE	
22964detail	1 OF 1	1	
CAD FILE			
22964detail 1.dwg			