

IMPORTANT NOTES:
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- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is msl 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

REVISION NOTES

ISSUED FOR s4.55 LODGEMENT

NOT FOR CONSTRUCTION

CLIENT

C.G. & I.B. KOUTSOS

platform

ARCHITECTS

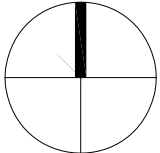
Level 1, 57 The Corso Manly 2095

p. 02 9976 6666 abn. 74602856157

nominated architect Bldg. Reg No. 8280

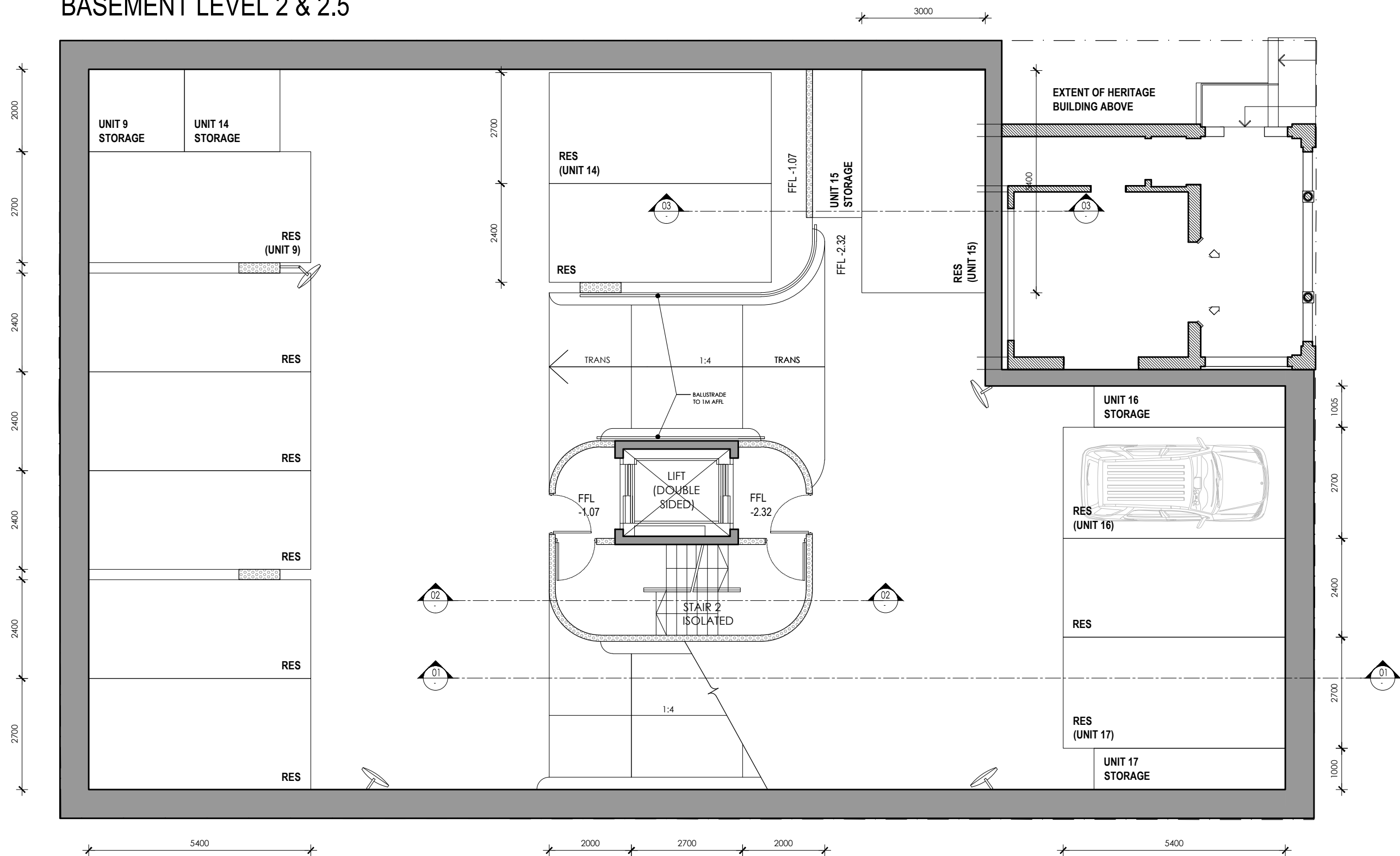
PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE	STATUS	NUMBER	REVISION
SITE PLAN	s4.55	A1.00	2
SCALE	1:200 @A3		
PROJECT	VPM		

BASEMENT LEVEL 2 & 2.5



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0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

REVISION NOTES

ISSUED FOR s4.55 LODGEMENT

NOT FOR CONSTRUCTION

CLIENT

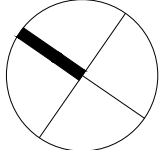
C.G. & I.B. KOUTSOS



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p. 02 9976 6666 abn. 74602856157
nominated architect under the NSW Act No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

SECOND BASEMENT PLAN

SCALE

1:100
@A3

STATUS

s4.55

NUMBER

A1.01a

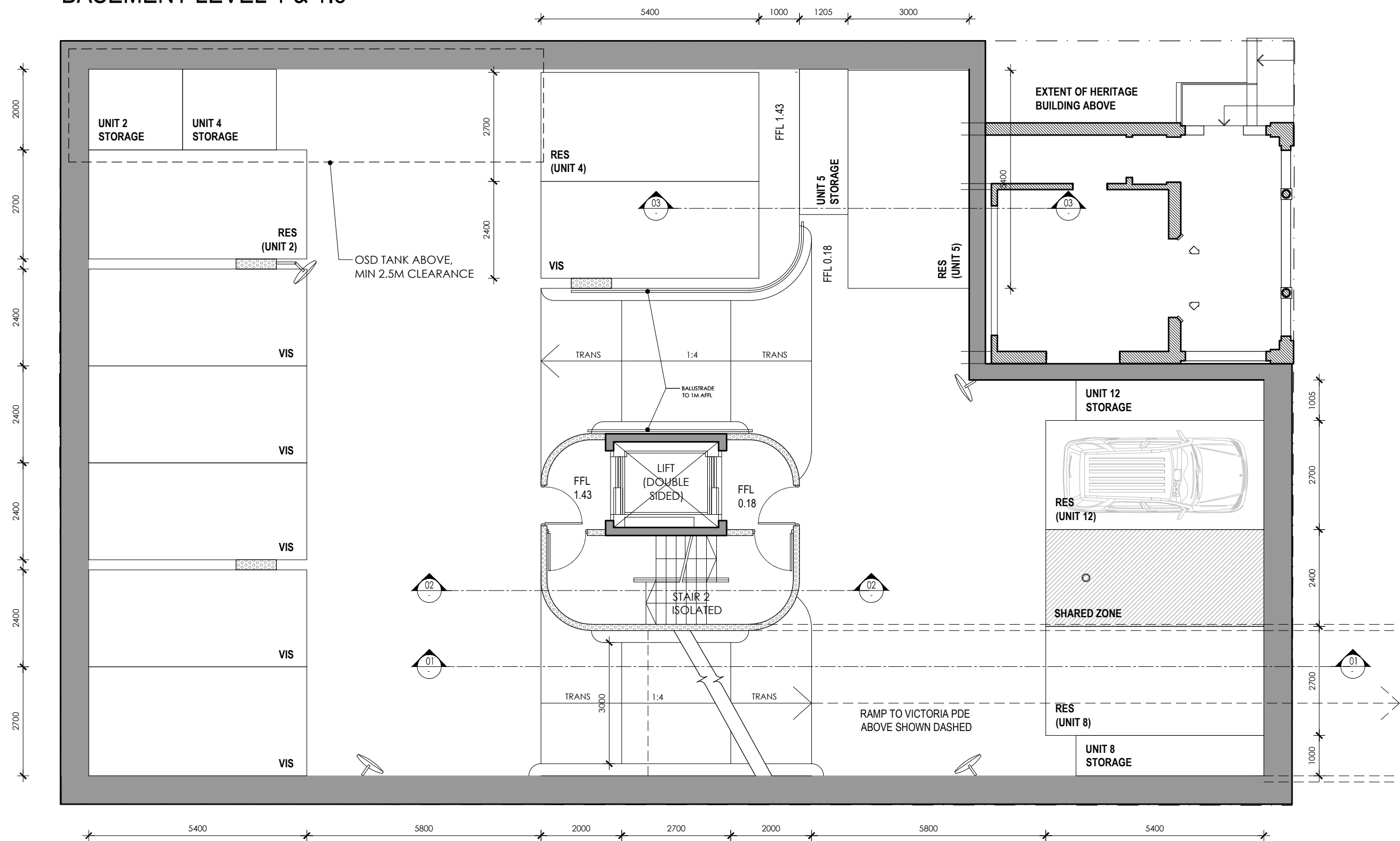
PROJECT

VPM

REVISION

2

BASEMENT LEVEL 1 & 1.5



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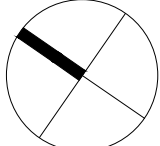
REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
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REVISION NOTES
ISSUED FOR s4.55 LODGEMENT
NOT FOR CONSTRUCTION

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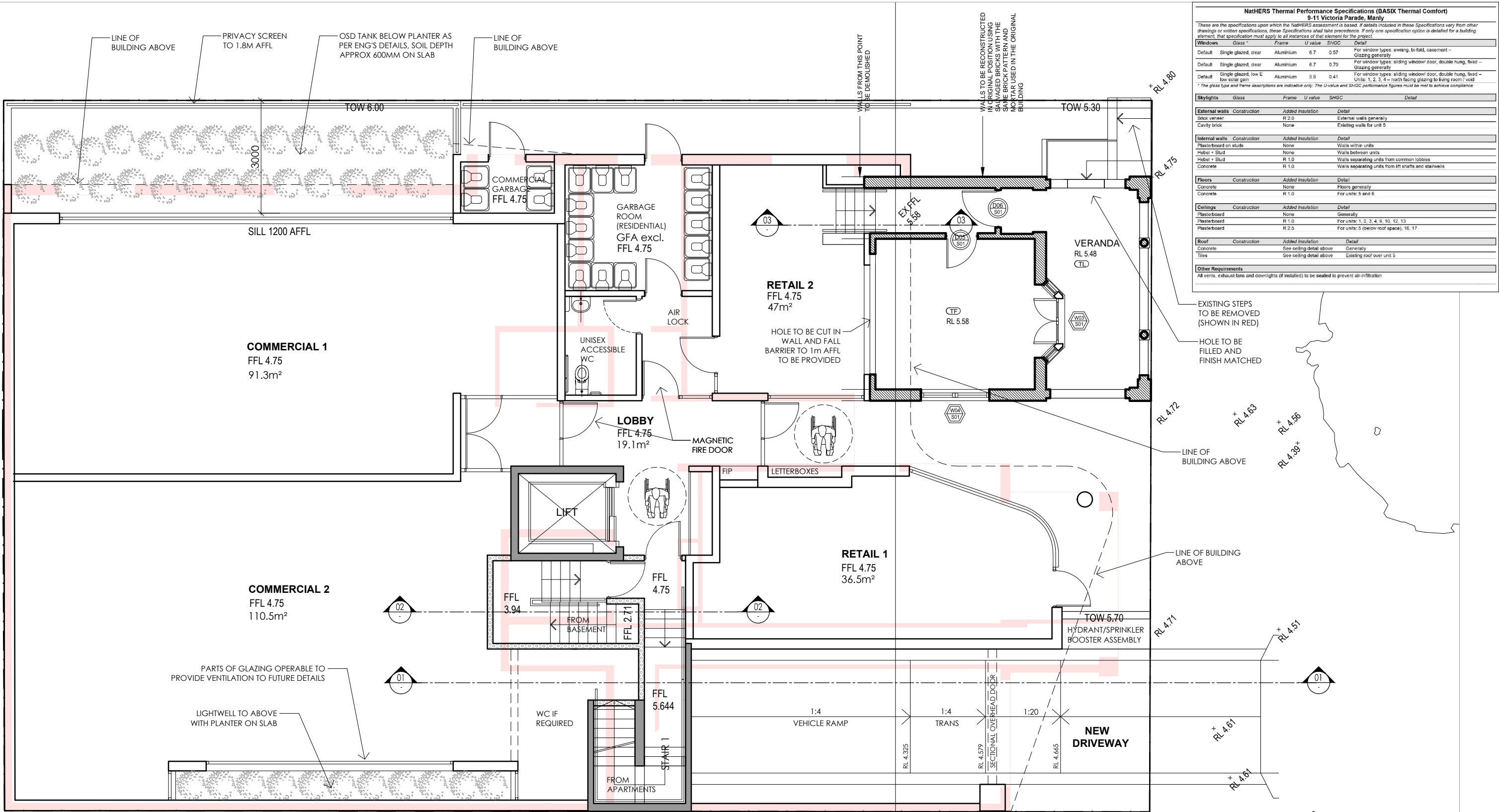
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Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING
9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE
FIRST BASEMENT PLAN
SCALE
1:100
@A3
STATUS
s4.55

PROJECT
VPM
NUMBER
A1.01b
REVISION
2



S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

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3	18.06.21	REVISIONS TO S4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO S4.55	BG/OH

REVISION NOTES

ISSUED FOR S4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

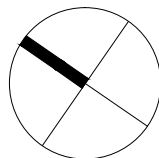
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p. 02 9976 6666 abn. 74602856157
nominated architect Bide Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

GROUND FLOOR PLAN

SCALE

1:100
@A3

STATUS

S4.55

NUMBER

A1.02

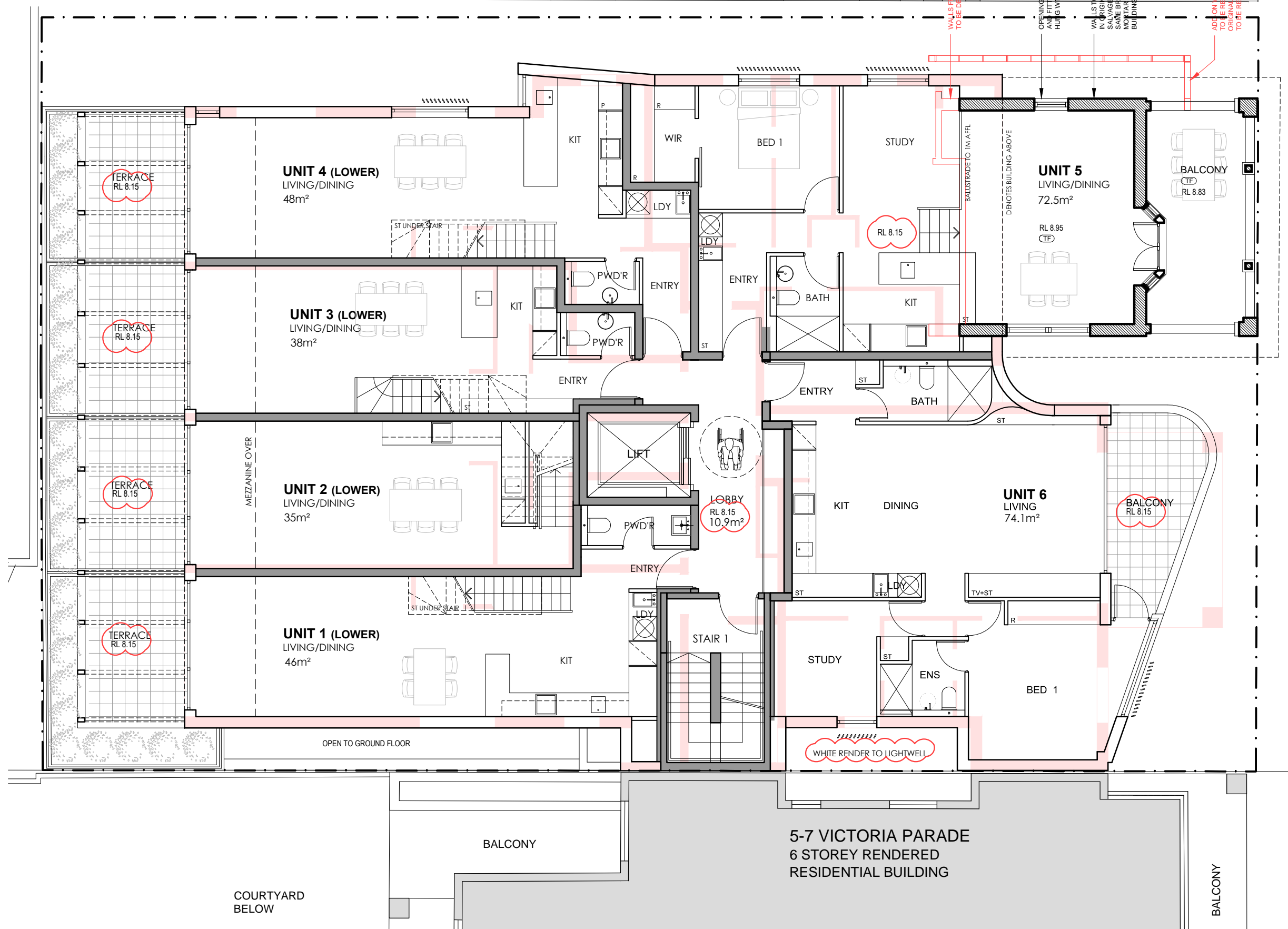
PROJECT

VPM

REVISION

4

13 DARLEY ROAD
3 STOREY BRICK
MIXED USE BUILDING



NATHERS Thermal Performance Specifications (BASIX Thermal Comfort)					
9-11 Victoria Parade, Manly					
These are the specifications upon which the NATHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.					
Windows	Glass *	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Units: 1, 2, 3, 4 – north facing glazing to living room / void
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.					
Skylights	Glass	Frame	U value	SHGC	Detail
External walls	Construction	Added Insulation		Detail	
Brick veneer		R 2.0		External walls generally	
Cavity brick		None		Existing walls for unit 5	
Internal walls	Construction	Added Insulation		Detail	
Plasterboard on studs		None		Walls within units	
Hebel + Stud		None		Walls between units	
Hebel + Stud		R 1.0		Walls separating units from common lobbies	
Concrete		R 1.0		Walls separating units from lift shafts and stairwells	
Floors	Construction	Added Insulation		Detail	
Concrete		None		Floors generally	
Concrete		R 1.0		For units: 5 and 6	
Ceilings	Construction	Added Insulation		Detail	
Plasterboard		None		Generally	
Plasterboard		R 1.0		For units: 1, 2, 3, 4, 9, 10, 12, 13	
Plasterboard		R 2.5		For units: 5 (below roof space), 16, 17	
Roof	Construction	Added Insulation		Detail	
Concrete		See ceiling detail above		Generally	
Tiles		See ceiling detail above		Existing roof over unit 5	
Other Requirements					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					

- \$4.55 REVISION SCHEDULE**
- REDUCED THE BUILDING HEIGHT BY 350MM
 - REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
 - REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
 - INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
 - DELETION OF RAISED PLANTER AT LOBBY ENTRY
 - AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
 - NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED DRAWINGS BY BLACKMORE DESIGN GROUP

REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR \$4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO \$4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO \$4.55	BG/OH

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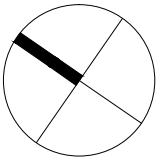
REVISION NOTES
ISSUED FOR \$4.55 LODGEMENT AS ADDITIONAL REVISION
NOT FOR CONSTRUCTION

CLIENT
C.G. & I.B. KOUTSOS



PROPOSED SHOP-TOP HOUSING WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE	PROJECT
FIRST FLOOR PLAN	VPM
SCALE	NUMBER
1:100 @A3	A1.03
STATUS	REVISION
\$4.55	4

BACK YARD
BELOW

13 DARLEY ROAD
3 STOREY BRICK
MIXED USE BUILDING

NATHERS Thermal Performance Specifications (BASIX Thermal Comfort)
9-11 Victoria Parade, Manly

These are the specifications upon which the NATHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.

Windows	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Units: 1, 2, 3, 4 – north facing glazing to living room / void

** The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.

Skylights	Glass	Frame	U value	SHGC	Detail
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External walls	Construction	Added Insulation	Detail
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Brick veneer	R 2.0	External walls generally
Cavity brick	None	Existing walls for unit 5

Internal walls	Construction	Added Insulation	Detail
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Plasterboard on studs	None	Walls within units
Hebel + Stud	None	Walls between units
Hebel + Stud	R 1.0	Walls separating units from common lobbies
Concrete	R 1.0	Walls separating units from lift shafts and stairwells

Floors	Construction	Added Insulation	Detail
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Concrete	None	Floors generally
Concrete	R 1.0	For units: 5 and 6

Ceilings	Construction	Added Insulation	Detail
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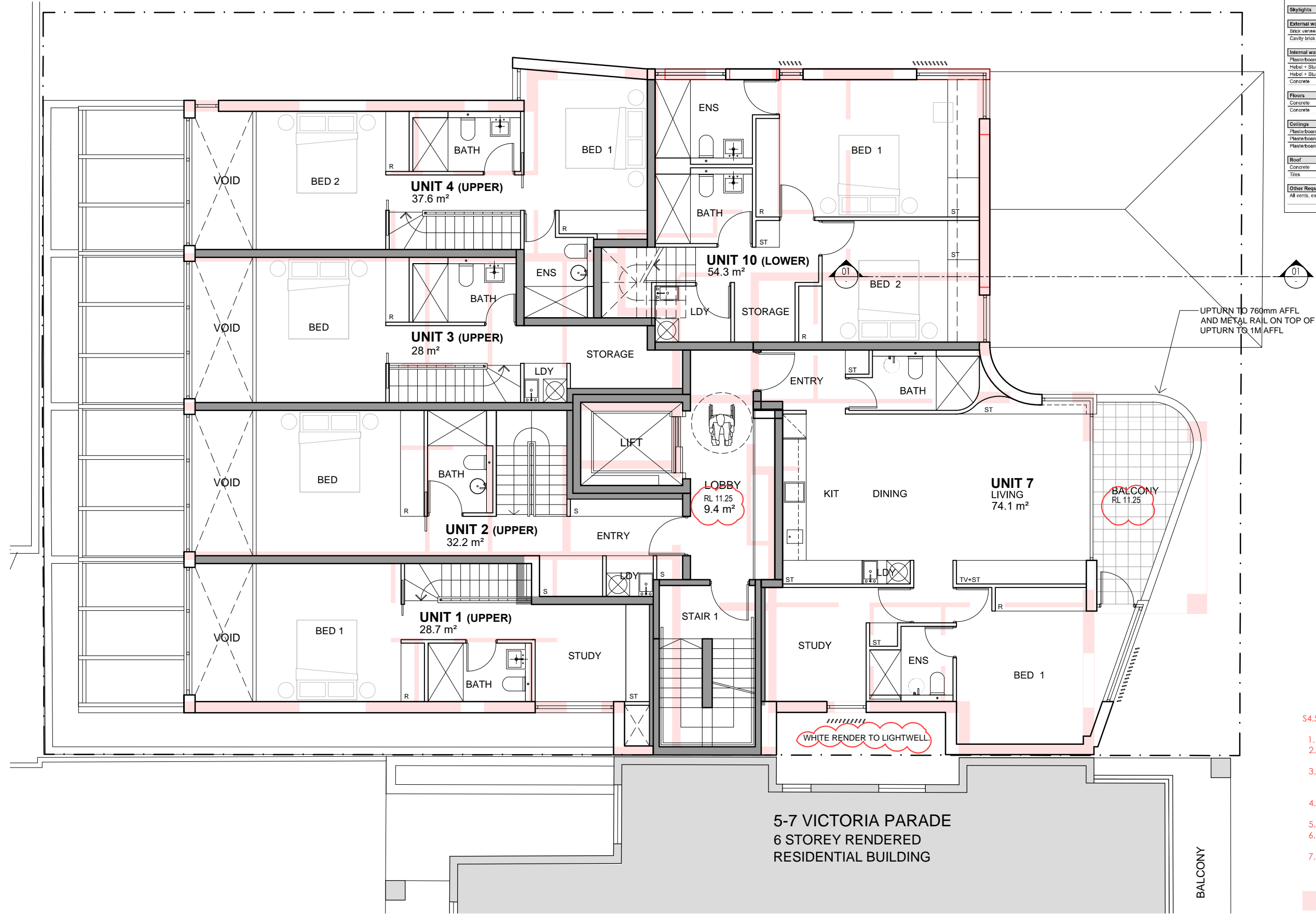
Plasterboard	None	Generally
Plasterboard	R 1.0	For units: 1, 2, 3, 4, 9, 10, 12, 13
Plasterboard	R 2.5	For units: 5 (below roof space), 16, 17

Roof	Construction	Added Insulation	Detail
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Concrete	See ceiling detail above	Generally
Tiles	See ceiling detail above	Existing roof over unit 5

Other Requirements

All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration.



S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED DRAWINGS BY BLACKMORE DESIGN GROUP

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0	Jan '18	COORDINATION	OH
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2	Jul '20	FOR S4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO S4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO S4.55	BG/OH

REVISION NOTES

ISSUED FOR S4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

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C.G. & I.B. KOUTSOS

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ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE

SECOND FLOOR PLAN

SCALE

1:100
@A3

STATUS

S4.55

NUMBER

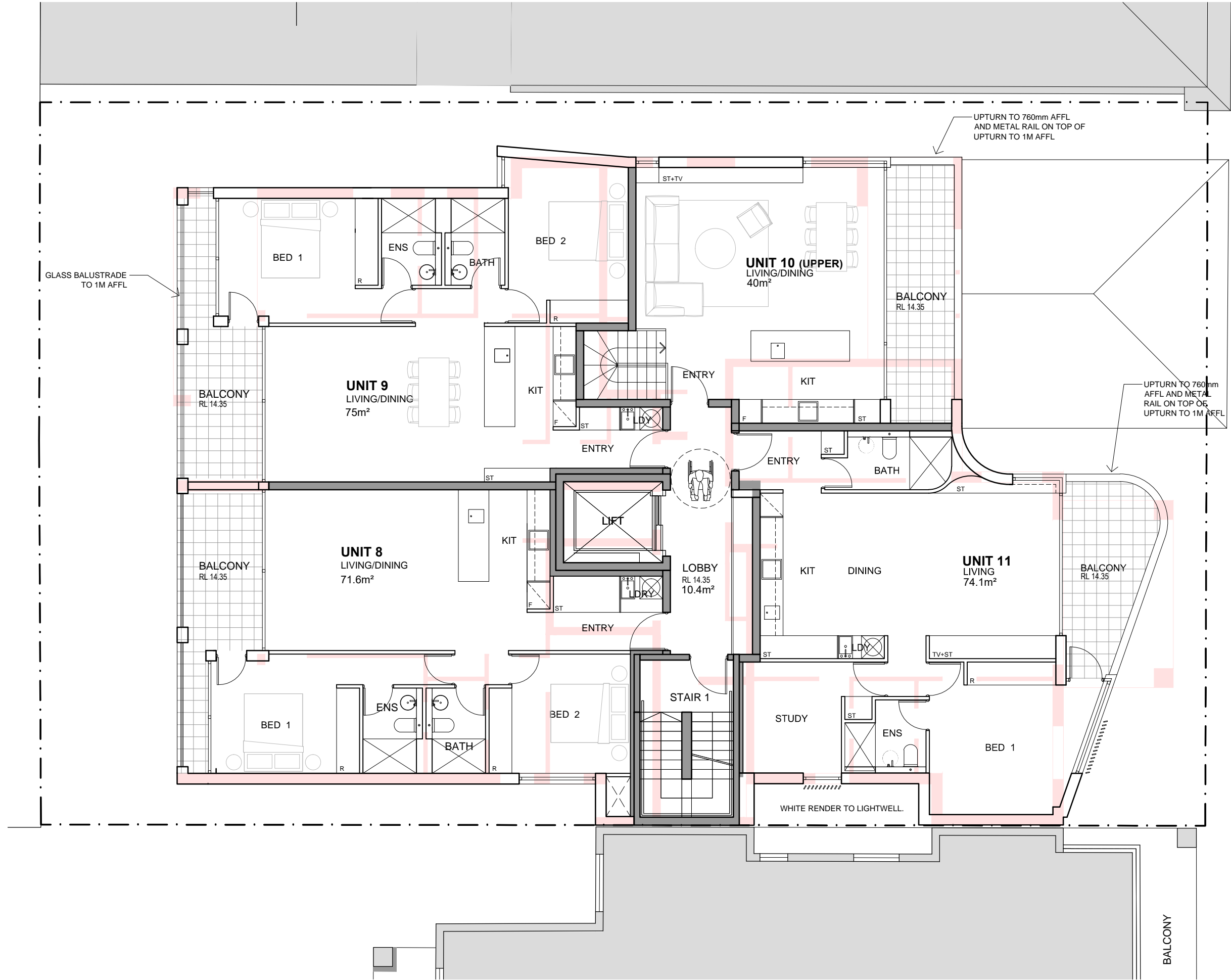
A1.04

PROJECT

VPM

REVISION

4



NatHERS Thermal Performance Specifications (BASIX Thermal Comfort) 9-11 Victoria Parade, Manly					
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Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Units: 1, 2, 3, 4 – north facing glazing to living room / void
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.					
Skylights	Glass	Frame	U value	SHGC	Detail
External walls	Construction	Added Insulation		Detail	
Brick veneer		R 2.0	External walls generally		
Cavity brick		None	Existing walls for unit 5		
Internal walls	Construction	Added Insulation		Detail	
Plasterboard on studs		None	Walls within units		
Hebel + Stud		None	Walls between units		
Hebel + Stud		R 1.0	Walls separating units from common lobbies		
Concrete		R 1.0	Walls separating units from lift shafts and stairwells		
Floors	Construction	Added Insulation		Detail	
Concrete		None	Floors generally		
Concrete		R 1.0	For units: 5 and 6		
Ceilings	Construction	Added Insulation		Detail	
Plasterboard		None	Generally		
Plasterboard		R 1.0	For units: 1, 2, 3, 4, 9, 10, 12, 13		
Plasterboard		R 2.5	For units: 5 (below roof space), 16, 17		
Roof	Construction	Added Insulation		Detail	
Concrete		See ceiling detail above		Generally	
Tiles		See ceiling detail above		Existing roof over unit 5	
Other Requirements					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					

- \$4.55 REVISION SCHEDULE**
1. REDUCED THE BUILDING HEIGHT BY 350MM
 2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
 3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
 4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
 5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
 6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
 7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED DRAWINGS BY BLACKMORE DESIGN GROUP

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2	Jul '20	FOR \$4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO \$4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO \$4.55	BG/OH

REVISION NOTES

ISSUED FOR \$4.55 LODGEMENT AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

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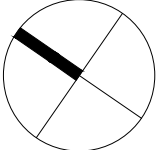
C.G. & I.B. KOUTSOS

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Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE		PROJECT	
THIRD FLOOR PLAN		VPM	
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	s4.55	A1.05	4

13 DARLEY ROAD
3 STOREY BRICK
MIXED USE BUILDING
TILE ROOF

NATHERS Thermal Performance Specifications (BASIX Thermal Comfort)

9-11 Victoria Parade, Manly

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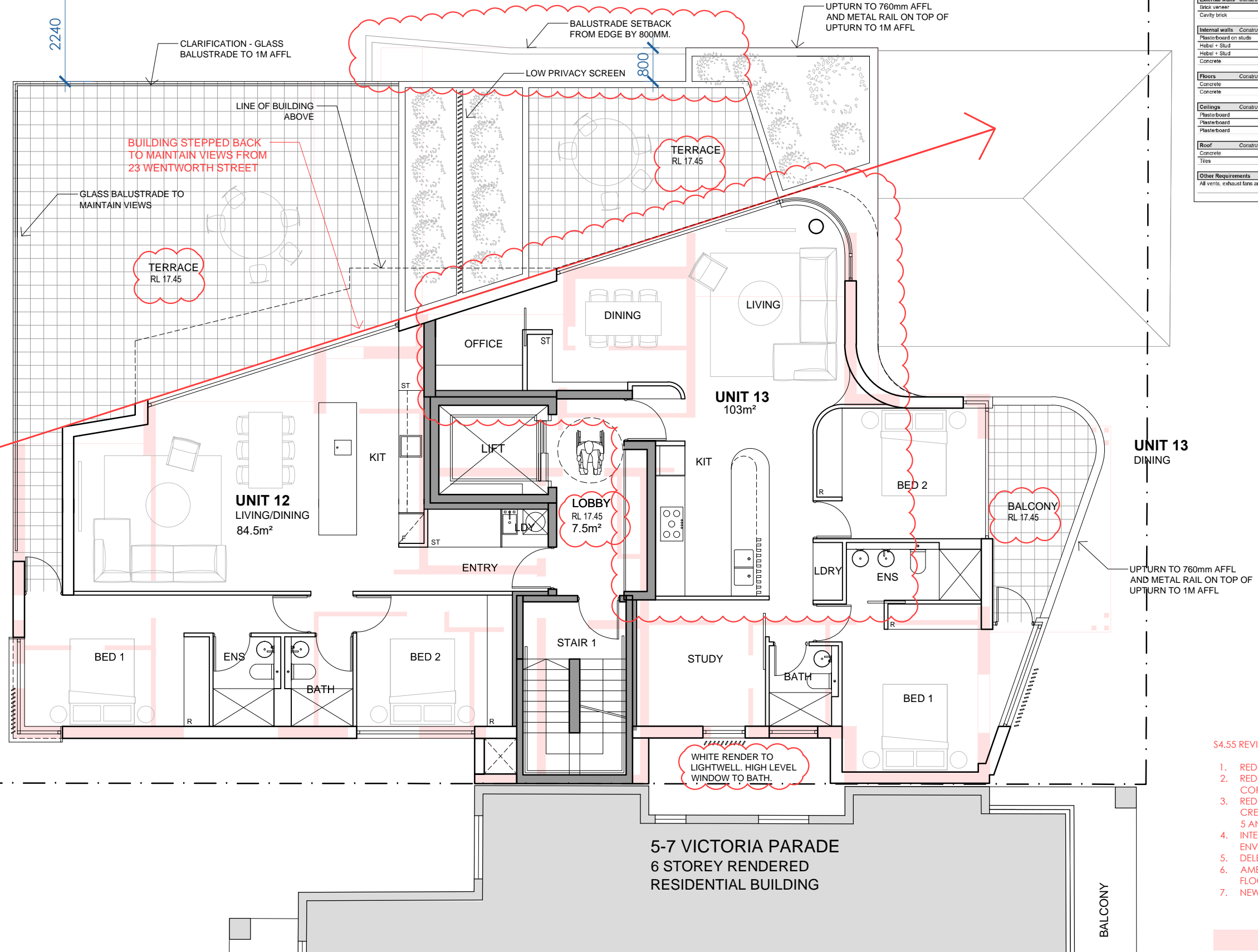
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Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.8	0.41	For window types: sliding window/ door, double hung, fixed – Units 1, 2, 3, 4 – north facing glazing to living room / void

* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.

Skylights	Glass	Frame	U-value	SHGC	Detail
External walls	Construction	Added Insulation	Detail		
Brick veneer		R 2.0	External walls generally		
Cavity brick		None	Existing walls for unit 5		
Internal walls	Construction	Added Insulation	Detail		
Plasterboard on studs		None	Walls within units		
Hebel + Stud		None	Walls between units		
Hebel + Stud		R 1.0	Walls separating units from common lobbies		
Concrete		R 1.0	Walls separating units from lift shafts and stairwells		
Floors	Construction	Added Insulation	Detail		
Concrete		None	Floors generally		
Concrete		R 1.0	Floors for Units 5 and 6		
Ceilings	Construction	Added Insulation	Detail		
Plasterboard		None	Ceilings generally		
Plasterboard		R 1.0	For units 1, 2, 3, 4, 9, 10, 12, 13		
Plasterboard		R 2.5	For units 5 (below roof space), 16, 17		
Roof	Construction	Added Insulation	Detail		
Concrete		See ceiling detail above	Generally		
Tiles		See ceiling detail above	Existing roof over unit 5		

Other Requirements

All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration



S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
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7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED
DRAWINGS BY BLACKMORE DESIGN GROUP

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REVISION NOTES

ISSUED FOR s4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

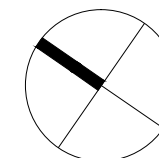
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Marly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bridie Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

FOURTH FLOOR PLAN

SCALE

1:100
@A3

STATUS

s4.55

SUBJECT

PM

NUMBER

A1.06

DISCUSSION

13 VICTORIA PARADE
3 STOREY BRICK
MIXED USE BUILDING
TILE ROOF

NaHERS Thermal Performance Specifications (BASIX Thermal Comfort) 9-11 Victoria Parade, Marly

These are the specifications upon which the NaHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply in all instances of that element for the project.

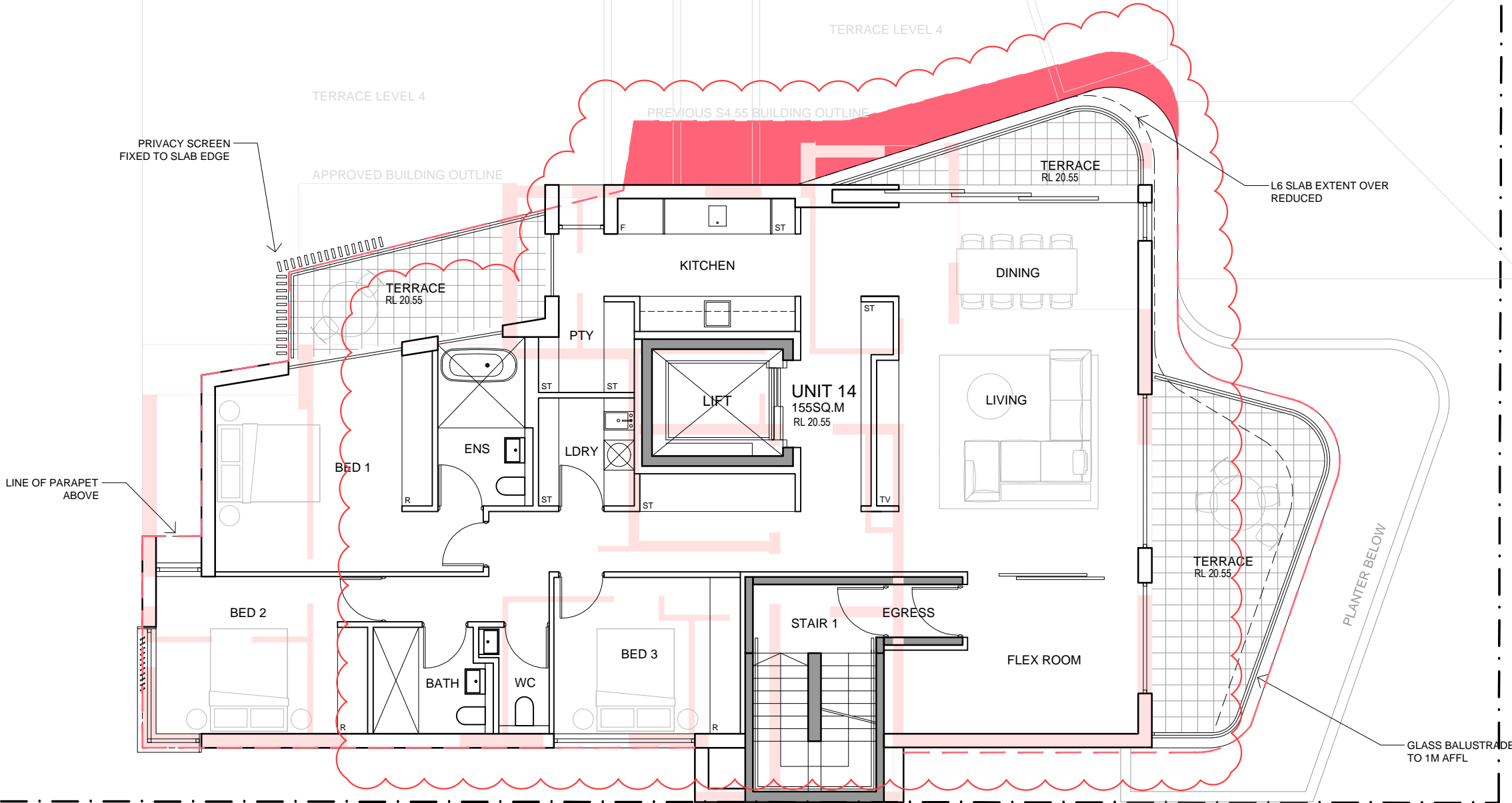
Windows	Glass *	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Units 1, 2, 3, 4 – north facing glazing to living room / void

* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.

Skylights	Glass	Frame	U value	SHGC	Detail
External walls	Construction	Added insulation	Detail		
Brick veneer		R 2.0	External walls generally		
Cavity brick		None	Existing walls for unit 5		
Internal walls	Construction	Added insulation	Detail		
Plasterboard on studs		None	Walls within units		
Hebel + Stud		None	Walls between units		
Hebel + Stud		R 1.0	Walls separating units from common lobbies		
Concrete		R 1.0	Walls separating units from lift shafts and stairwells		
Floors	Construction	Added insulation	Detail		
Concrete		None	Floors generally		
Concrete		R 1.0	For units 5 and 6		
Ceilings	Construction	Added insulation	Detail		
Plasterboard		None	Generally		
Plasterboard		R 1.0	For units: 1, 2, 3, 4, 9, 10, 12, 13		
Plasterboard		R 2.5	For units: 2 (below roof space), 16, 17		
Roof	Construction	Added insulation	Detail		
Concrete		See ceiling detail above	Generally		
Tiles		See ceiling detail above	Existing roof over unit 5		

Other Requirements

All vents, exhaust fans and downlights (if installed) are to be sealed to prevent air-infiltration



5-7 VICTORIA PARADE
6 STOREY RENDERED
RESIDENTIAL BUILDING

- #### S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED
DRAWINGS BY BLACKMORE DESIGN GROUP

IMPORTANT NOTES:
Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR \$4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO \$4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO \$4.55	BG/OH

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REVISION NOTE:

ISSUED FOR s4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

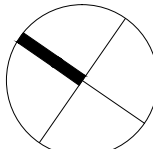
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Rida Gough Reg No. 829

PROPOSED SHOP-TOP HOUSING WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

FIFTH FLOOR PLAN

SCAL

1:100

STATUS

§4.5.5

MBER

A1 08

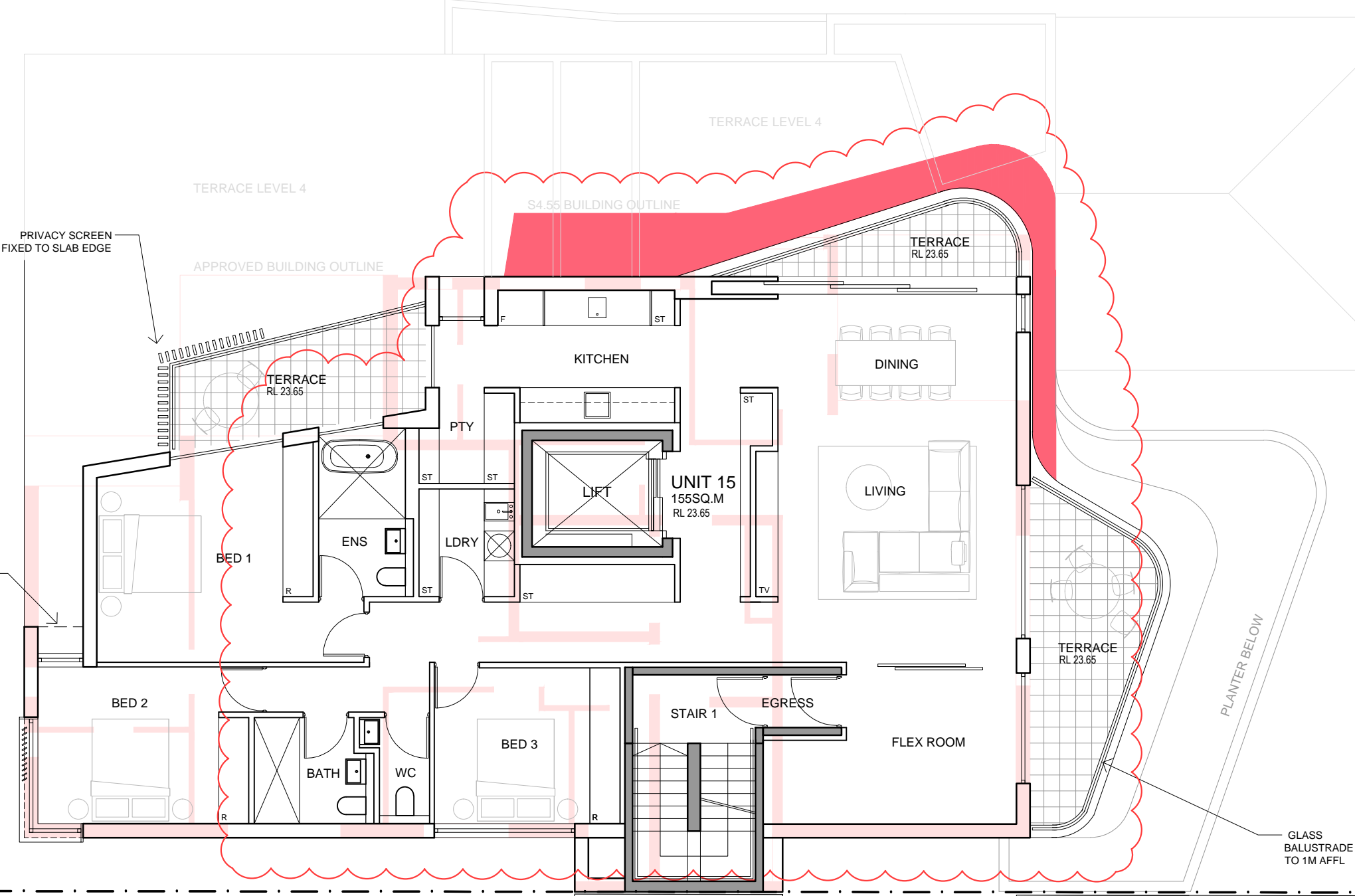
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M

ON

13 VICTORIA PARADE
3 STOREY BRICK
MIXED USE BUILDING
TILE ROOF

NATHERS Thermal Performance Specifications (BASIX Thermal Comfort) 9-11 Victoria Parade, Manly					
These are the specifications upon which the NATHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.					
Windows	Glass *	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Units: 1, 2, 3, 4 – north facing glazing to living room / void
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Skylights	Glass	Frame	U value	SHGC	Detail
External walls	Construction	Added Insulation	Detail		
Brick veneer		R 2.0	External walls generally		
Cavity brick		None	Existing walls for unit 5		
Internal walls	Construction	Added Insulation	Detail		
Plasterboard on studs		None	Walls within units		
Hebel + Stud		None	Walls between units		
Hebel + Stud		R 1.0	Walls separating units from common lobbies		
Concrete		R 1.0	Walls separating units from lift shafts and stairwells		
Floors	Construction	Added Insulation	Detail		
Concrete		None	Floors generally		
Concrete		R 1.0	For units: 5 and 6		
Ceilings	Construction	Added Insulation	Detail		
Plasterboard		None	Generally		
Plasterboard		R 1.0	For units: 1, 2, 3, 4, 9, 10, 12, 13		
Plasterboard		R 2.5	For units: 5 (below roof space), 16, 17		
Roof	Construction	Added Insulation	Detail		
Concrete		See ceiling detail above	Generally		
Tiles		See ceiling detail above	Existing roof over unit 5		
Other Requirements					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					



5-7 VICTORIA PARADE
6 STOREY RENDERED
RESIDENTIAL BUILDING

- S4.55 REVISION SCHEDULE
1. REDUCED THE BUILDING HEIGHT BY 350MM
 2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
 3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
 4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
 5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
 6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
 7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

■ DENOTES EXTENT OF WALLS AS PER s34 (c) APPROVED DRAWINGS BY BLACKMORE DESIGN GROUP

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- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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3	18.06.21	REVISIONS TO S4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO S4.55	BG/OH

REVISION NOTES
ISSUED FOR S4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

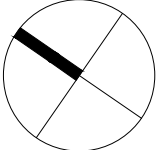
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C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



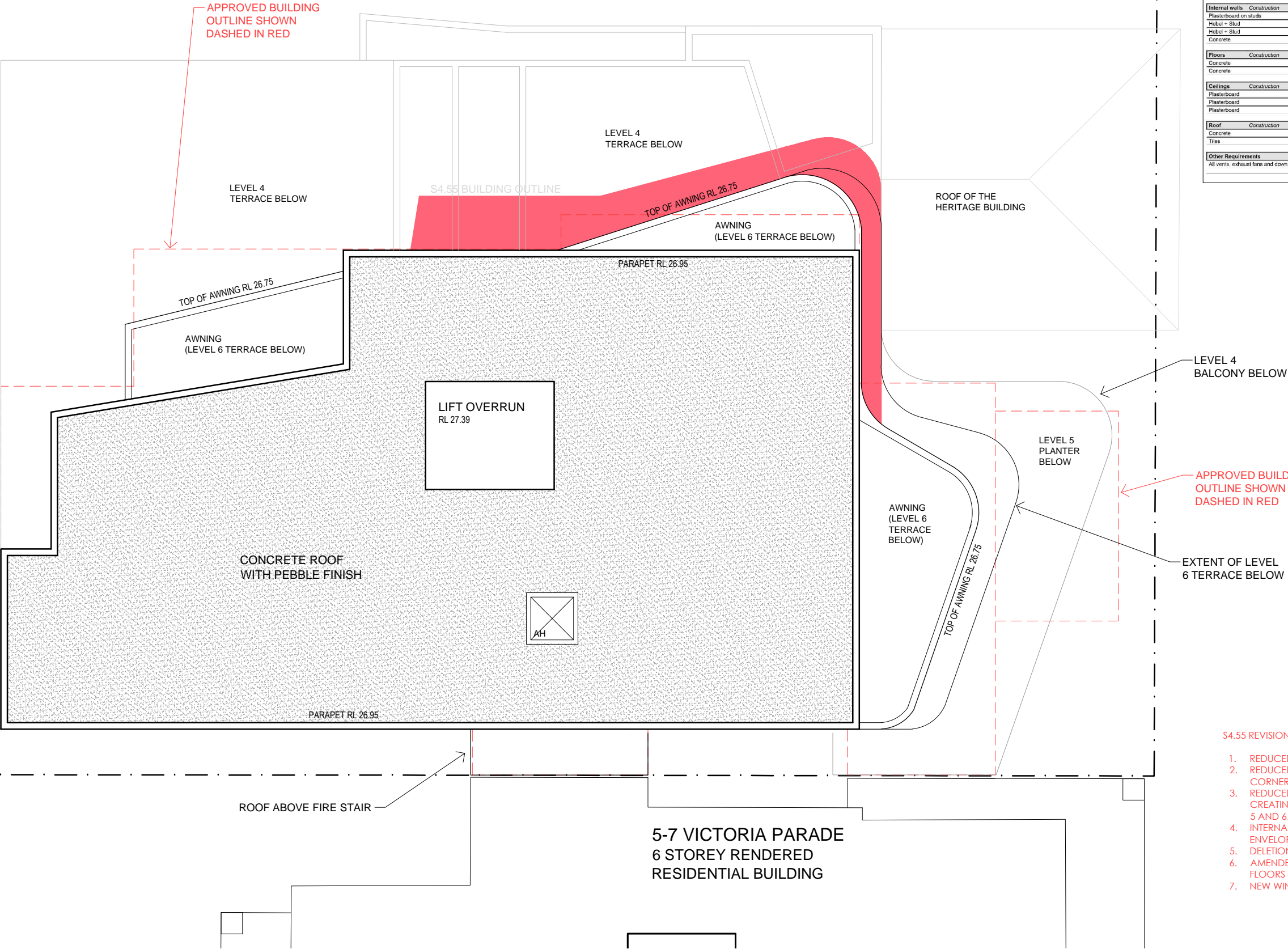
DRAWING TITLE
SIXTH FLOOR PLAN

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A1.08	4

PROJECT
VPM

13 VICTORIA PARADE
3 STOREY BRICK
MIXED USE BUILDING
TILE ROOF

NATHERS Thermal Performance Specifications (BASIX Thermal Comfort) 9-11 Victoria Parade, Manly					
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Plasterboard			None		Generally
Plasterboard			R 1.0		For units: 1, 2, 3, 4, 9, 10, 12, 13
Plasterboard			R 2.5		For units: 5 (below roof space), 16, 17
Roof	Construction	Added Insulation		Detail	
Concrete			See ceiling detail above		Generally
Tiles			See ceiling detail above		Existing roof over unit 5
Other Requirements					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					



S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

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0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR S4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO s4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO s4.55	BG/OH

REVISION NOTES

ISSUED FOR s4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

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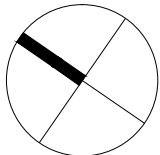
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

ROOF PLAN

SCALE

1:100
@A3

STATUS

s4.55

NUMBER

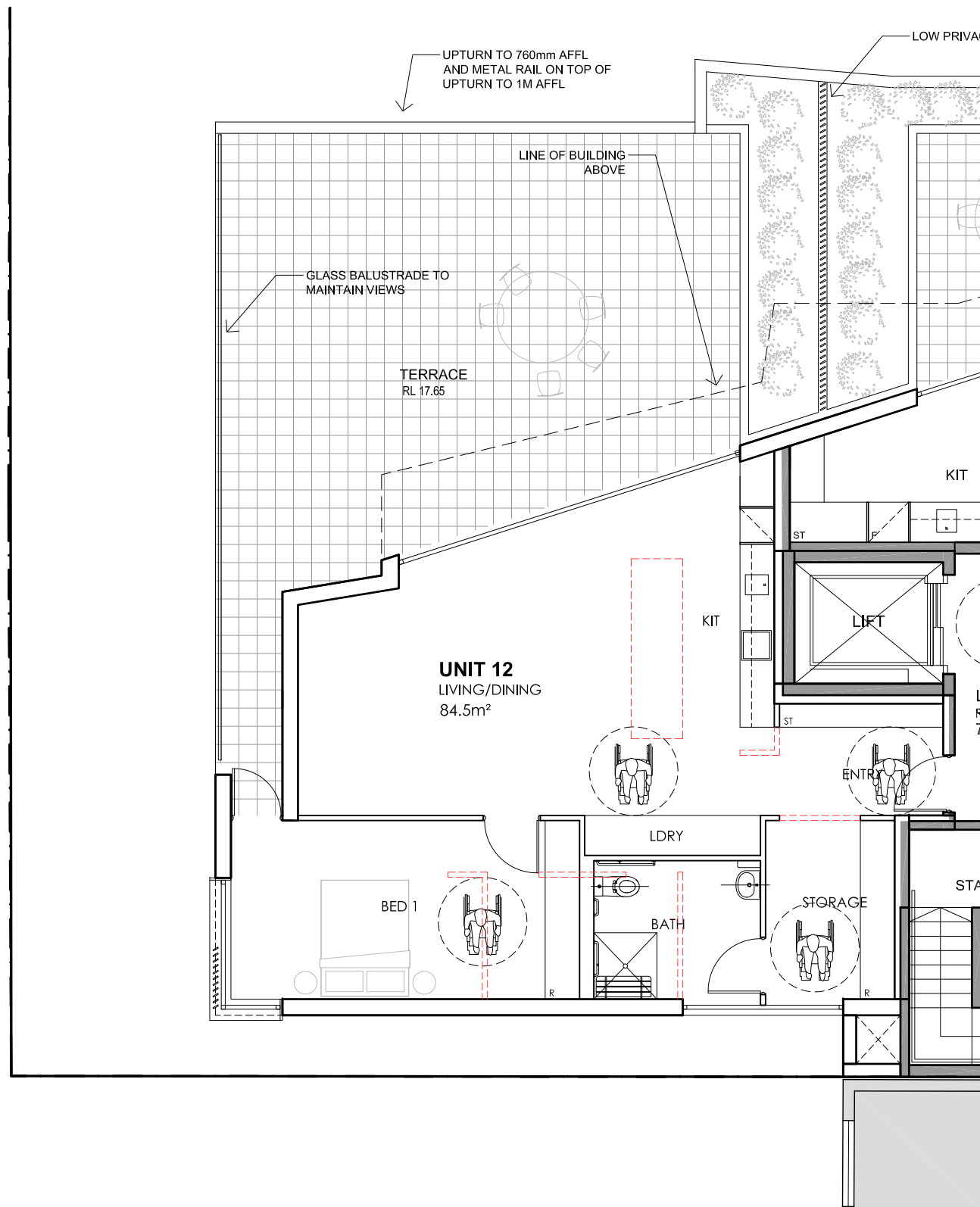
A1.09

PROJECT

VPM

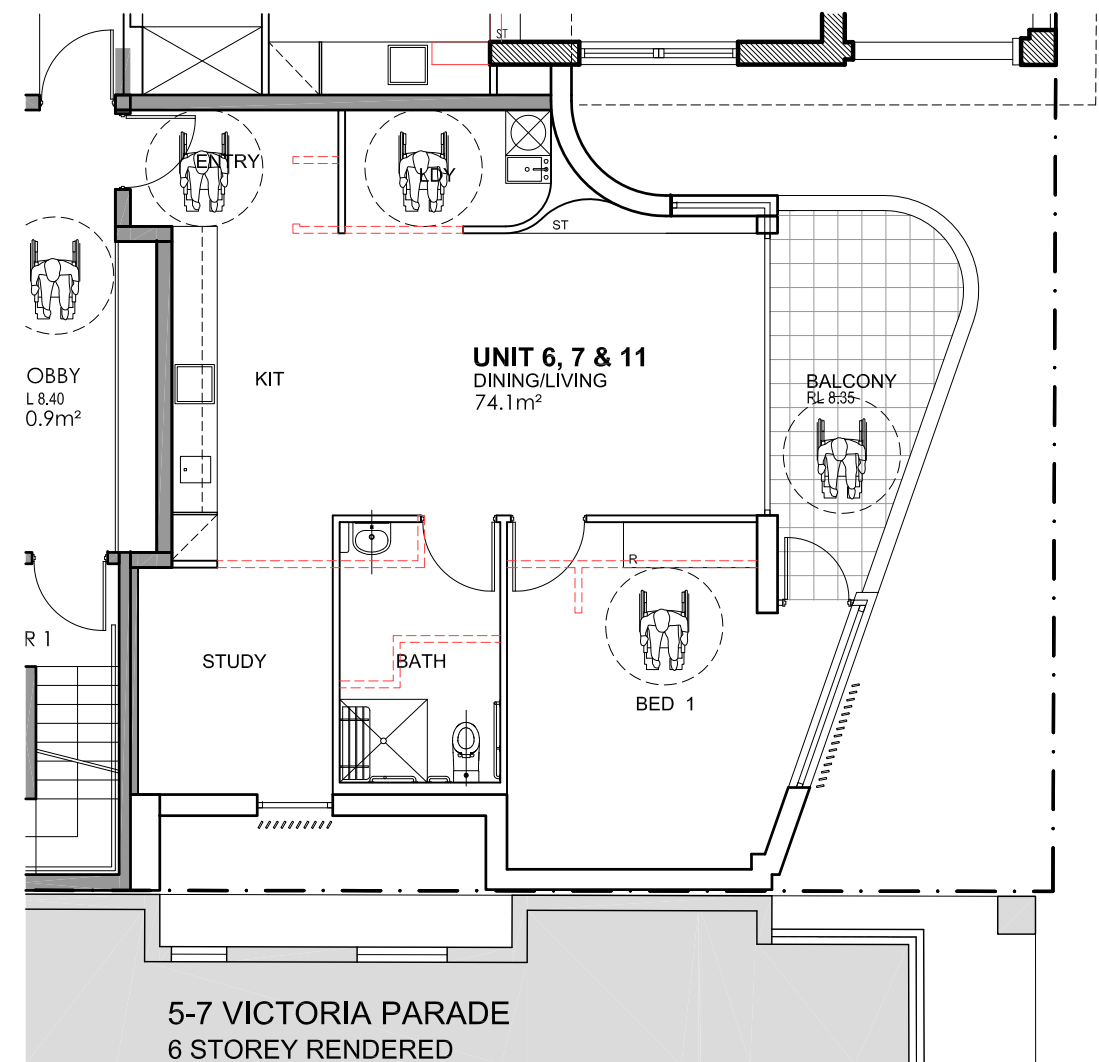
REVISION

4



POST-ADAPTATION LAYOUT OF UNIT 12

RED DASHED LINE DENOTES INTERNAL WALL TO REMOVE



POST-ADAPTATION LAYOUT OF UNITS 6, 7 & 11

RED DASHED LINE DENOTES INTERNAL WALL TO REMOVE

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REVISION NOTES
ISSUED FOR s4.55 LODGEMENT
NOT FOR CONSTRUCTION

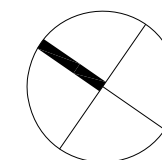
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p. 02 9976 6666 abn. 74602856157
nominated architect Bldg. Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE
ADAPTABLE LAYOUTS

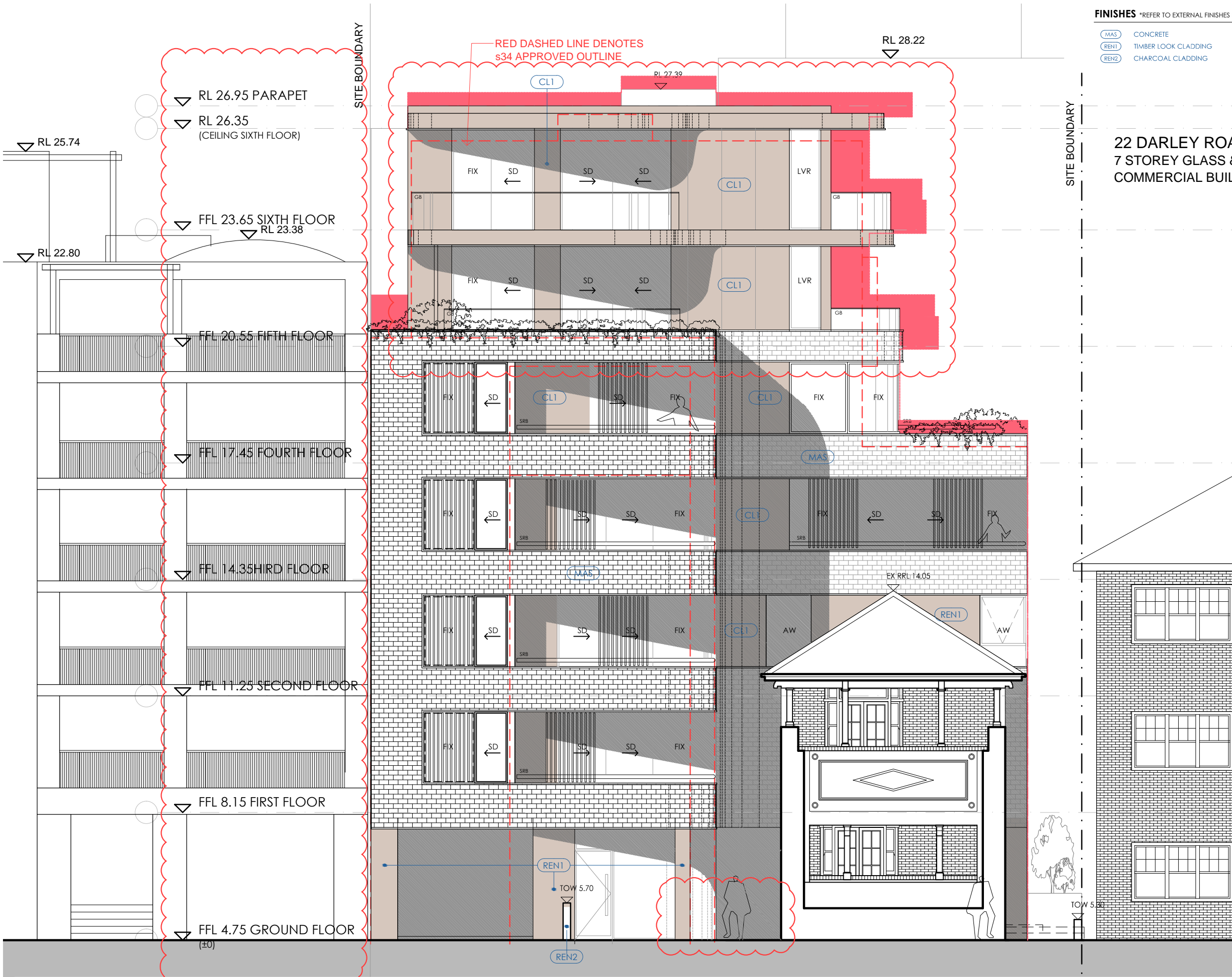
SCALE
1:100
@A3

STATUS
s4.55

NUMBER
A1.10

REVISION
2

PROJECT
VPM



FINISHES *REFER TO EXTERNAL FINISHES FOR DETAILS

- MAS CONCRETE
- REN1 TIMBER LOOK CLADDING
- REN2 CHARCOAL CLADDING

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE
- SW SWING DOOR
- AW AWNING WINDOW
- FIX FIXED GLAZING
- GB GLAZED BALUSTRADE
- SRB STEEL RAIL BALUSTRADE
- PS PRIVACY SCREEN

22 DARLEY ROAD
7 STOREY GLASS &
COMMERCIAL BUILDING

S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
4. INTERNAL LAYOUT CHANGES AS A RESULT OF REDUCED ENVELOPE.
5. DELETION OF RAISED PLANTER AT LOBBY ENTRY
6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

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3	18.06.21	REVISIONS TO S4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO S4.55	BG/OH

REVISION NOTES

ISSUED FOR S4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

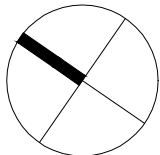
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bide Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

SOUTHEAST ELEVATION

SCALE

1:200
@A3

STATUS

S4.55

NUMBER

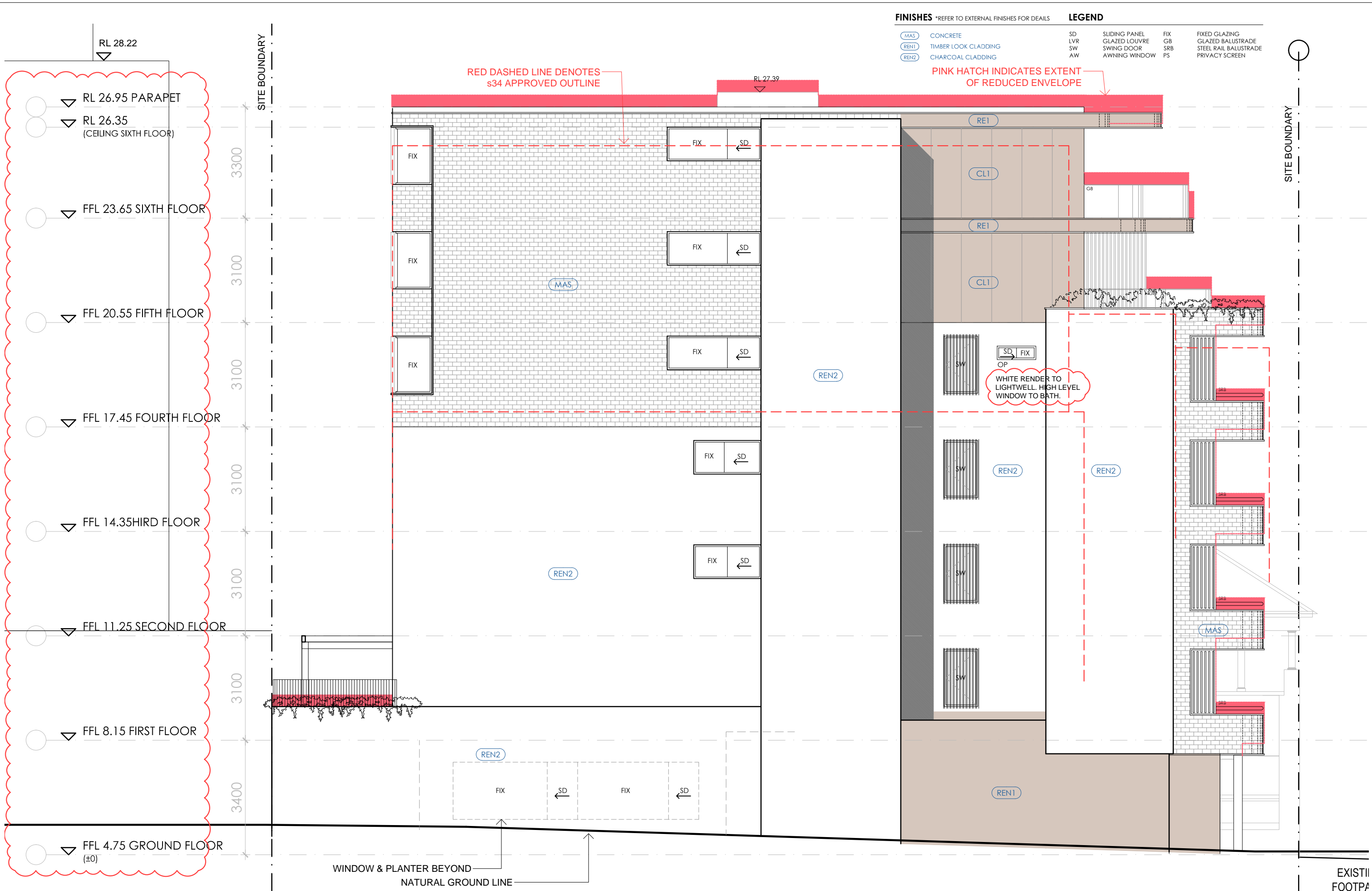
A2.01

PROJECT

VPM

REVISION

4



FINISHES *REFER TO EXTERNAL FINISHES FOR DETAILS			LEGEND		
MAS	CONCRETE	SD	SLIDING PANEL	FIX	FIXED GLAZING
REN1	TIMBER LOOK CLADDING	LVR	GLAZED LOUVRE	GB	GLAZED BALUSTRADE
REN2	CHARCOAL CLADDING	SW	SWING DOOR	SRB	STEEL RAIL BALUSTRADE
		AW	AWNING WINDOW	PS	PRIVACY SCREEN

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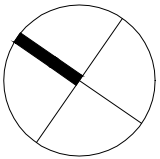
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REVISION NOTES
ISSUED FOR s4.55 LODGEEMENT
AS ADDITIONAL REVISION
NOT FOR CONSTRUCTION

CLIENT
C.G. & I.B. KOUTSOS

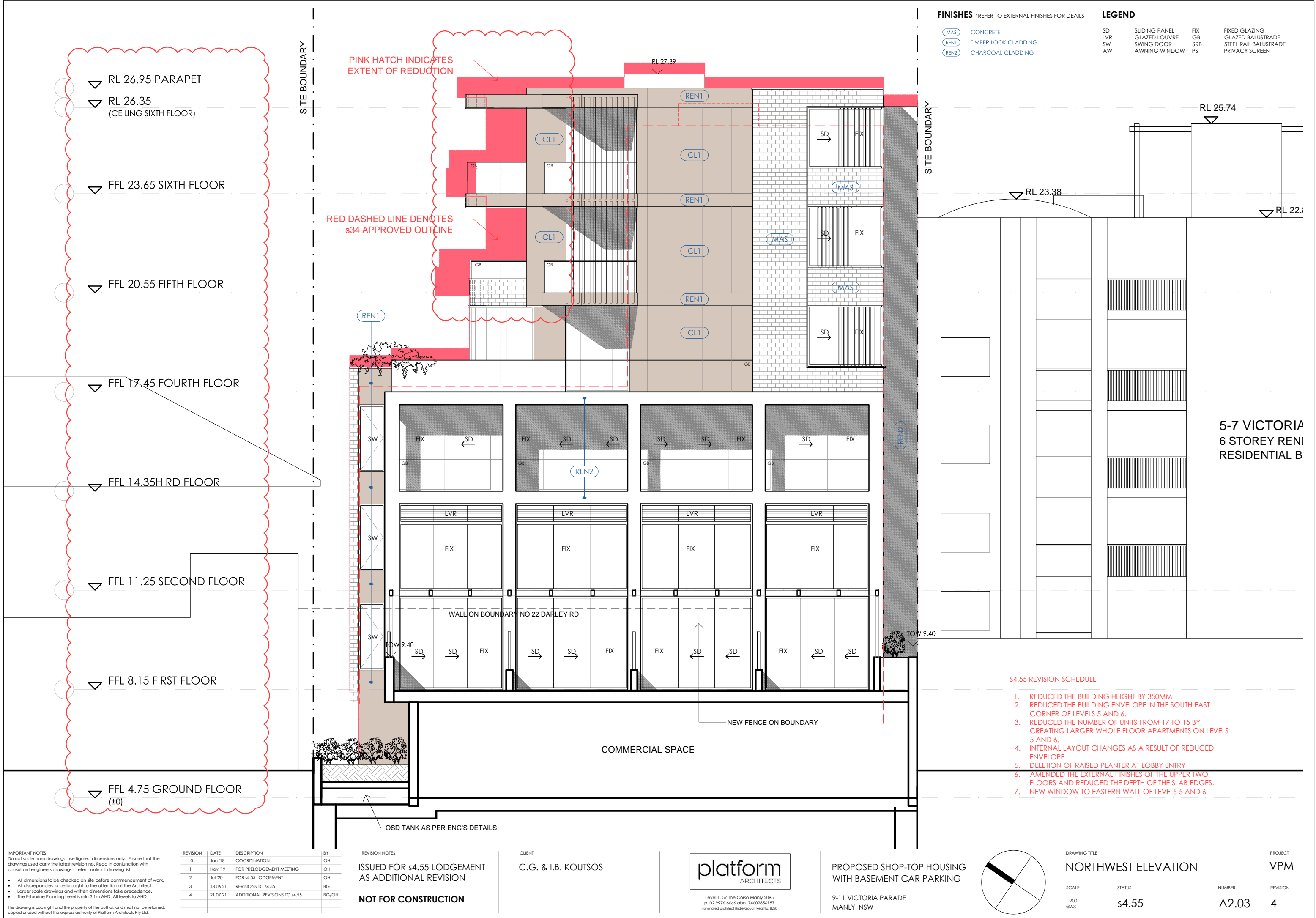
platform
ARCHITECTS
Level 1, 57 The Corso Manly 2095
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PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING
9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE
SOUTHWEST ELEVATION
SCALE
1:200
@A3
STATUS
s4.55
NUMBER
A2.02
REVISION
4

EXISTING
FOOTPA
PROJECT
VPM



21-24 EAST ESPLANADE
10 STOREY BRICK
RESIDENTIAL BUILDING

FINISHES *REFER TO EXTERNAL FINISHES FOR DETAILS

LEGEND

(MAS) CONCRETE
(REN1) TIMBER LOOK CLADDING
(REN2) CHARCOAL CLADDING

SD SLIDING PANEL
LVR GLAZED LOUVRE
SW SWING DOOR
AW AWNING WINDOW
FIX FIXED GLAZING
GB GLAZED BALUSTRADE
SRB STEEL RAIL BALUSTRADE
PS PRIVACY SCREEN

RI

▽ RL 26.95 PARAPET

▽ RL 26.35
(CEILING SIXTH FLOOR)

▽ FFL 23.65 SIXTH FLOOR

▽ FFL 20.55 FIFTH FLOOR

▽ FFL 17.45 FOURTH FLOOR

▽ FFL 14.35 THIRD FLOOR

▽ FFL 11.25 SECOND FLOOR

▽ FFL 8.15 FIRST FLOOR

FOOT PATH

▽ FFL 4.75 GROUND FLOOR

RED DASHED LINE DENOTES
s34 APPROVED OUTLINE

S4.55 REVISION SCHEDULE

1. REDUCED THE BUILDING HEIGHT BY 350MM
2. REDUCED THE BUILDING ENVELOPE IN THE SOUTH EAST CORNER OF LEVELS 5 AND 6.
3. REDUCED THE NUMBER OF UNITS FROM 17 TO 15 BY CREATING LARGER WHOLE FLOOR APARTMENTS ON LEVELS 5 AND 6.
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6. AMENDED THE EXTERNAL FINISHES OF THE UPPER TWO FLOORS AND REDUCED THE DEPTH OF THE SLAB EDGES.
7. NEW WINDOW TO EASTERN WALL OF LEVELS 5 AND 6

OSD TANK BELOW PLANTER AS
PER ENG'S DETAILS, SOIL DEPTH
APPROX 600MM ON SLAB

PART OF EXISTING BUILDING ON NO 11
TO BE DEMOLISHED SHOWN DASHED

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1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR S4.55 LODGEMENT	OH
3	18.06.21	REVISIONS TO S4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO S4.55	BG/OH

REVISION NOTES

ISSUED FOR S4.55 LODGEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

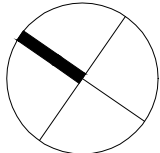
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bide Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

NORTHEAST ELEVATION

SCALE

1:200
@A3

STATUS

S4.55

NUMBER

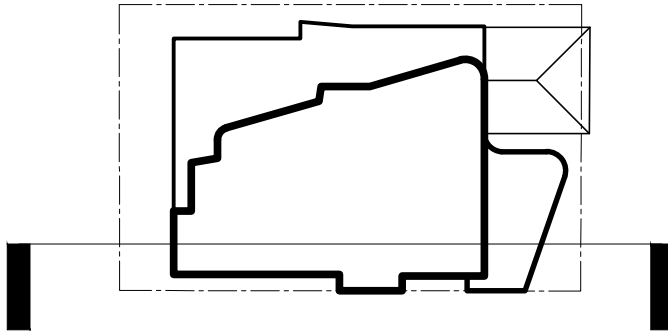
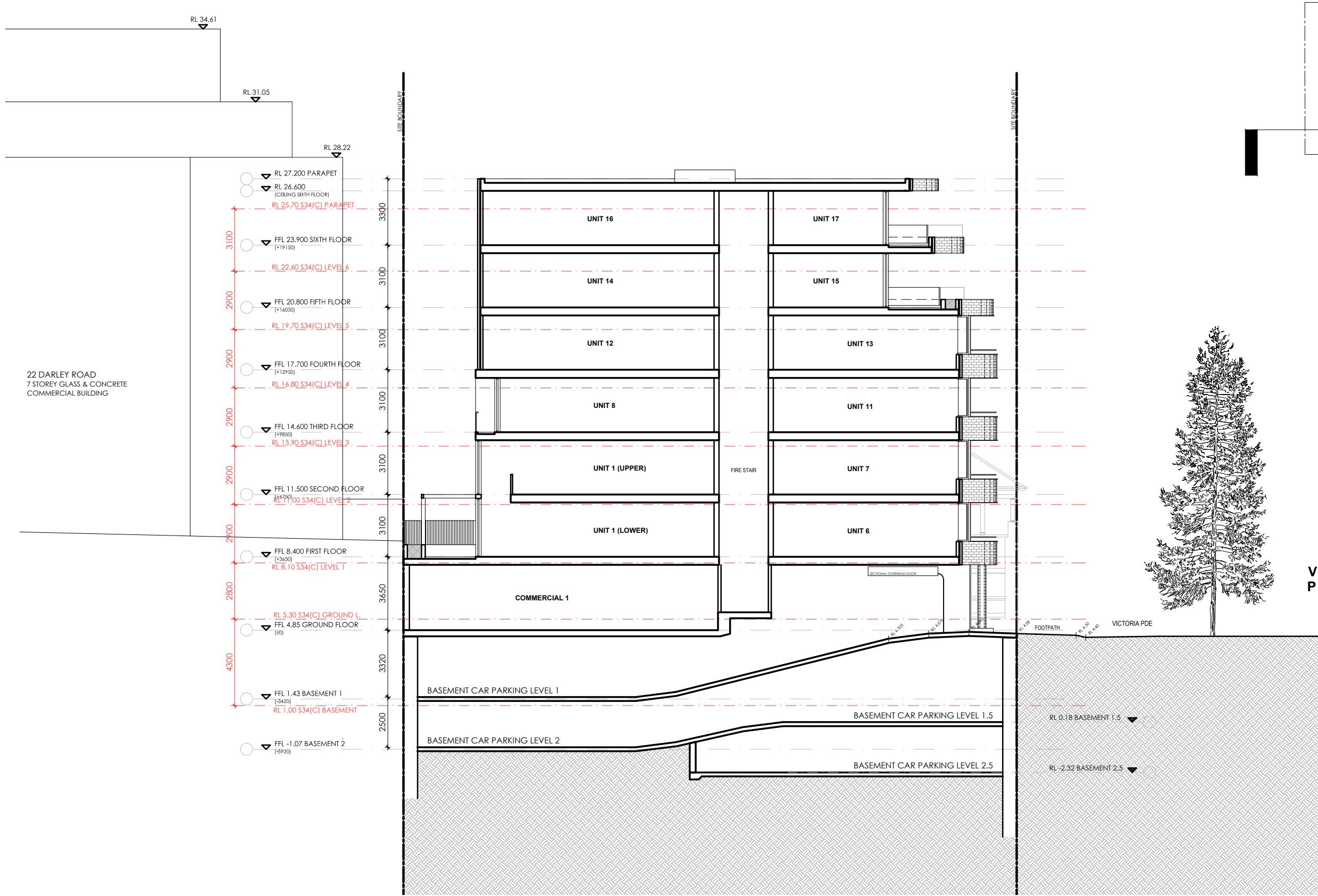
A2.04

PROJECT

VPM

REVISION

4



VICTORIA
PARADE

IMPORTANT NOTES:
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

REVISION NOTES
ISSUED FOR s4.55 LODGEMENT

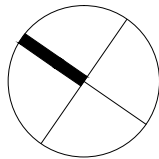
NOT FOR CONSTRUCTION

CLIENT
C.G. & I.B. KOUTSOS



PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

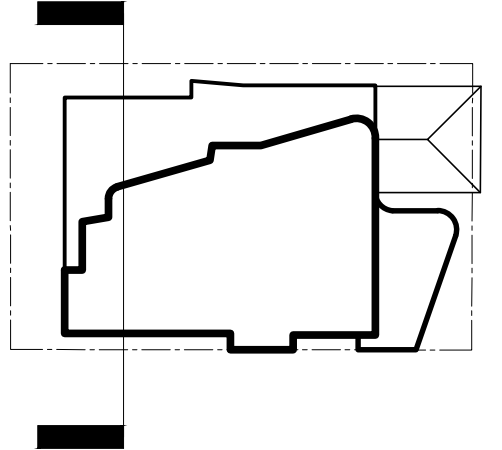
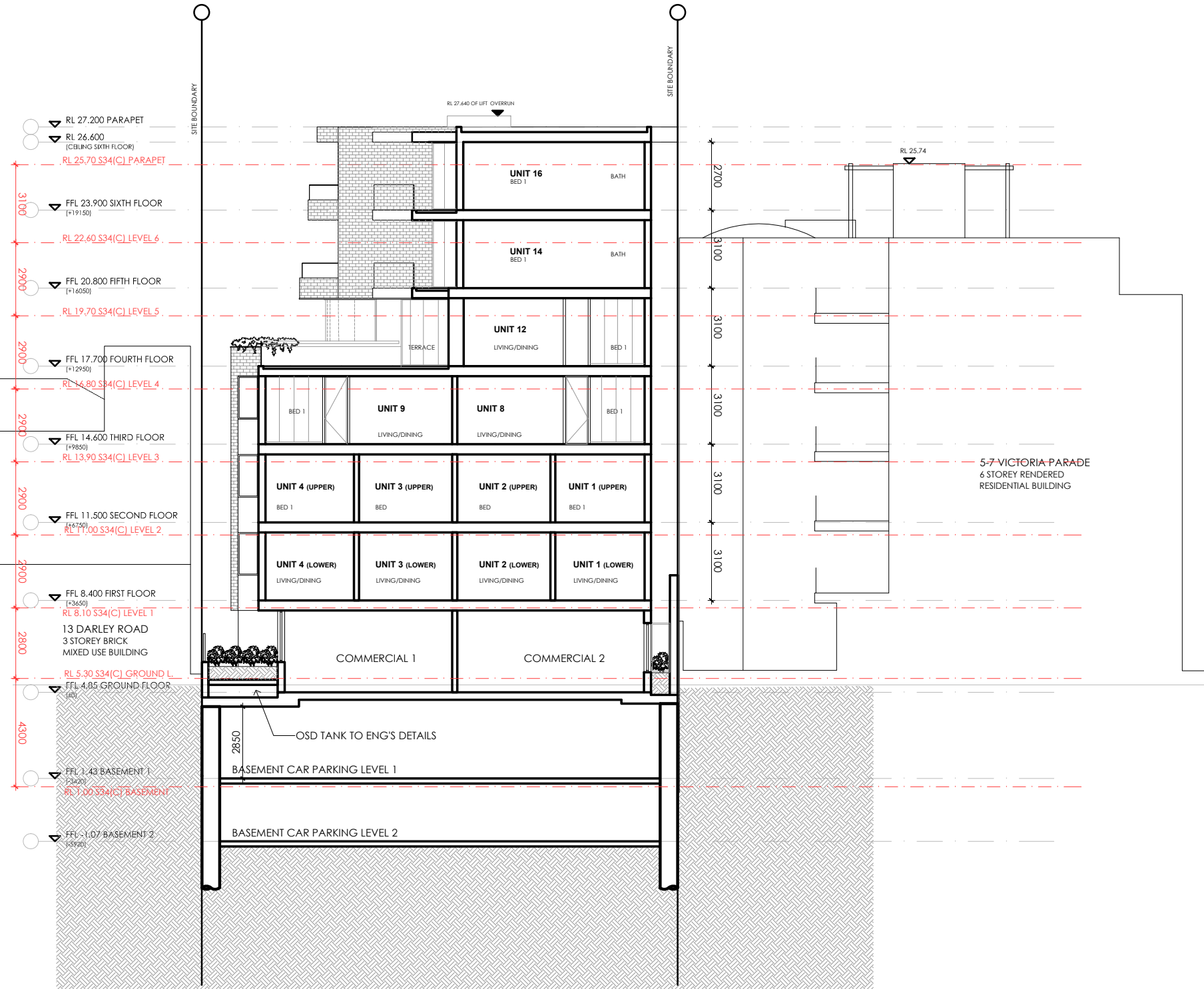
9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE	STATUS	NUMBER	REVISION
LONG SECTION	s4.55	A3.01	2
SCALE			
1:200 @A3			

PROJECT
VPM

21-24 EAST ESPLANADE
10 STOREY BRICK
RESIDENTIAL BUILDING



IMPORTANT NOTES:
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

REVISION NOTES
ISSUED FOR s4.55 LODGEMENT
NOT FOR CONSTRUCTION

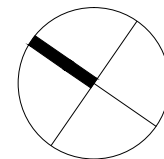
CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

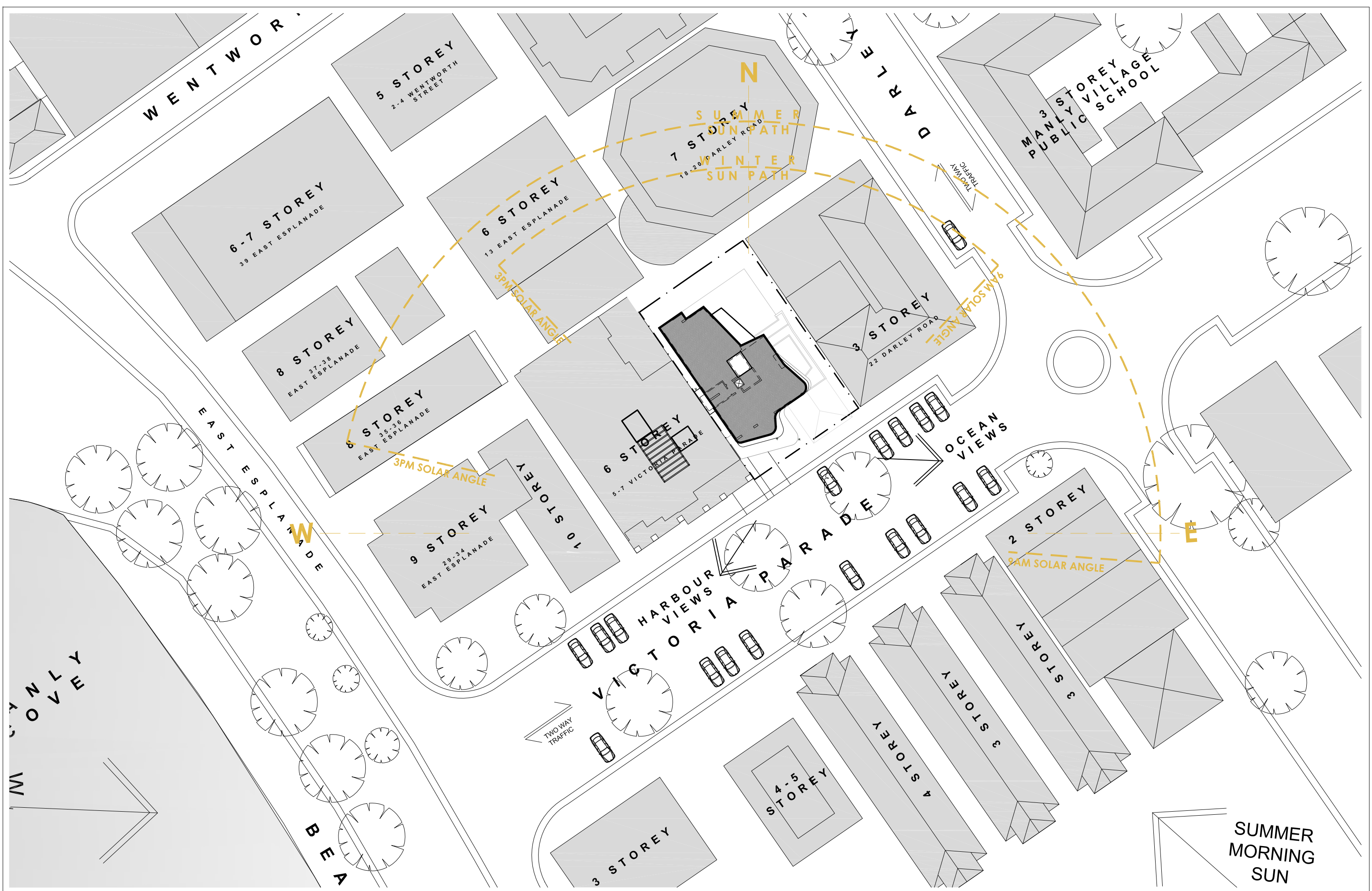


DRAWING TITLE
CROSS SECTION

SCALE
1:200
@A3
STATUS
s4.55

NUMBER
A3.02
REVISION
2

PROJECT
VPM



IMPORTANT NOTES:
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is msl 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

REVISION NOTES

ISSUED FOR s4.55 LODGEMENT

NOT FOR CONSTRUCTION

CLIENT

C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg Gough Reg No. 8280

**PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING**

9-11 VICTORIA PARADE
MANLY, NSW

SCALE	STATUS	NUMBER	REVISION
1:500 @A3	s4.55		2

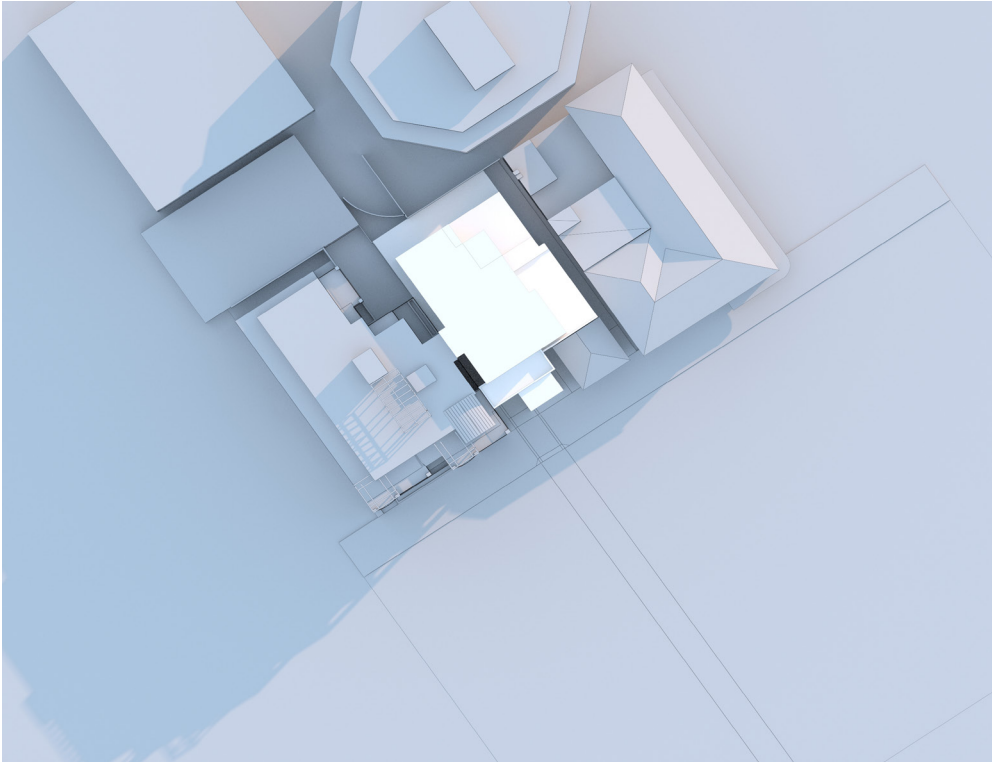
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SITE ANALYSIS

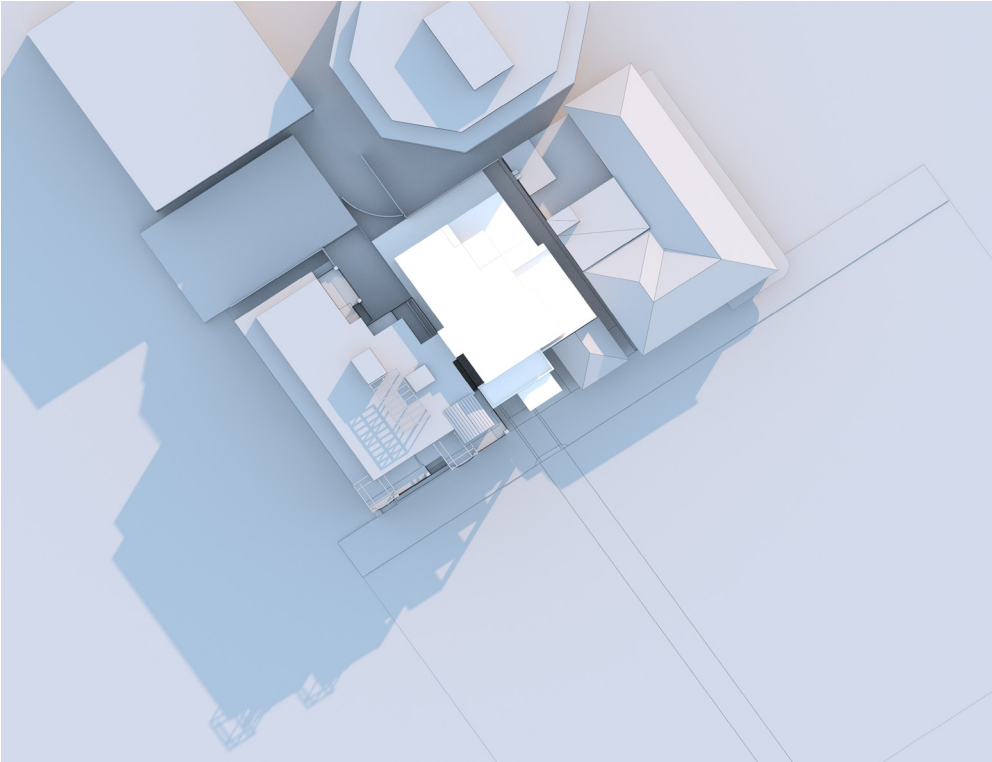
PROJECT

VPM

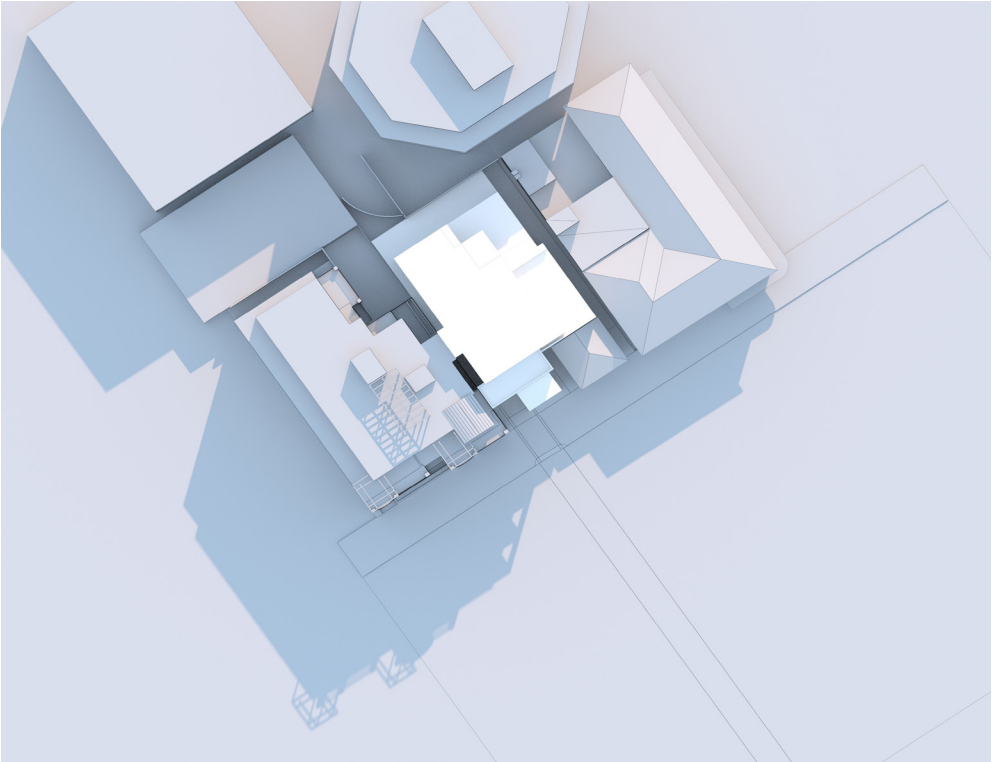
9am - s(34)c approved building



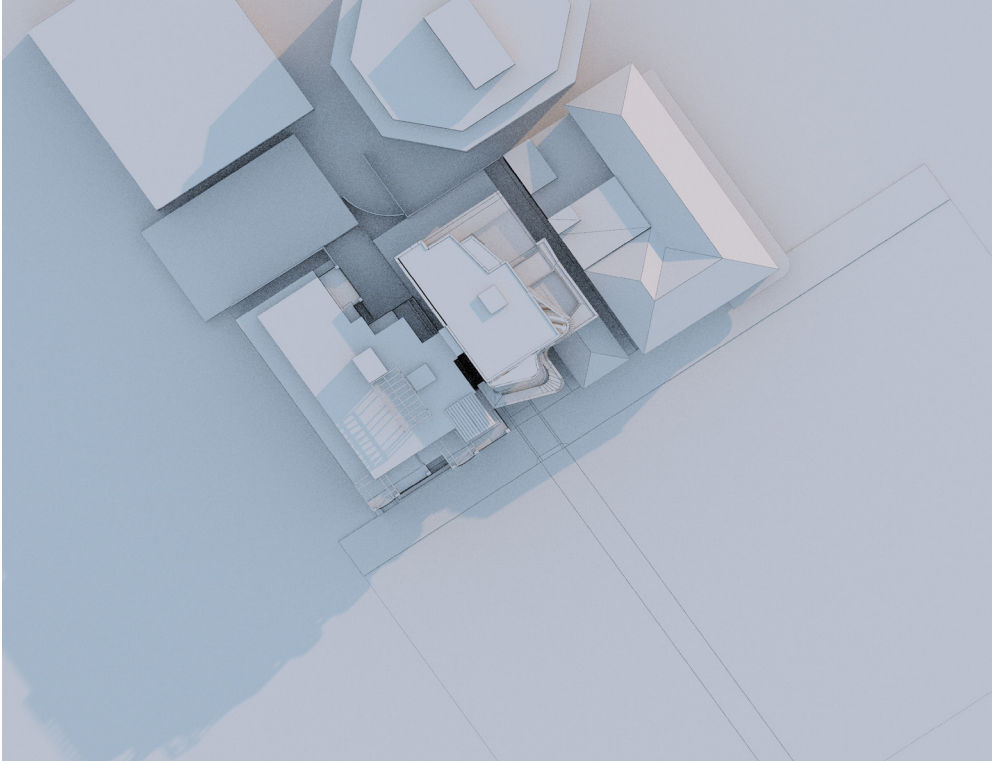
10am - s(34)c approved building



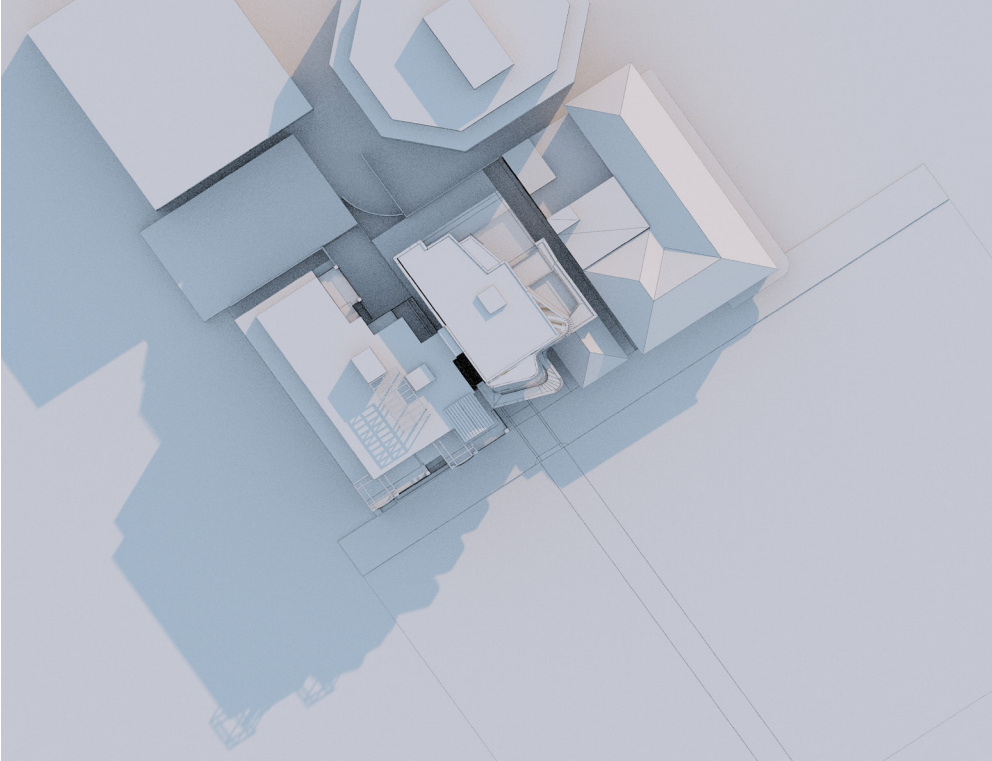
11am - s(34)c approved building



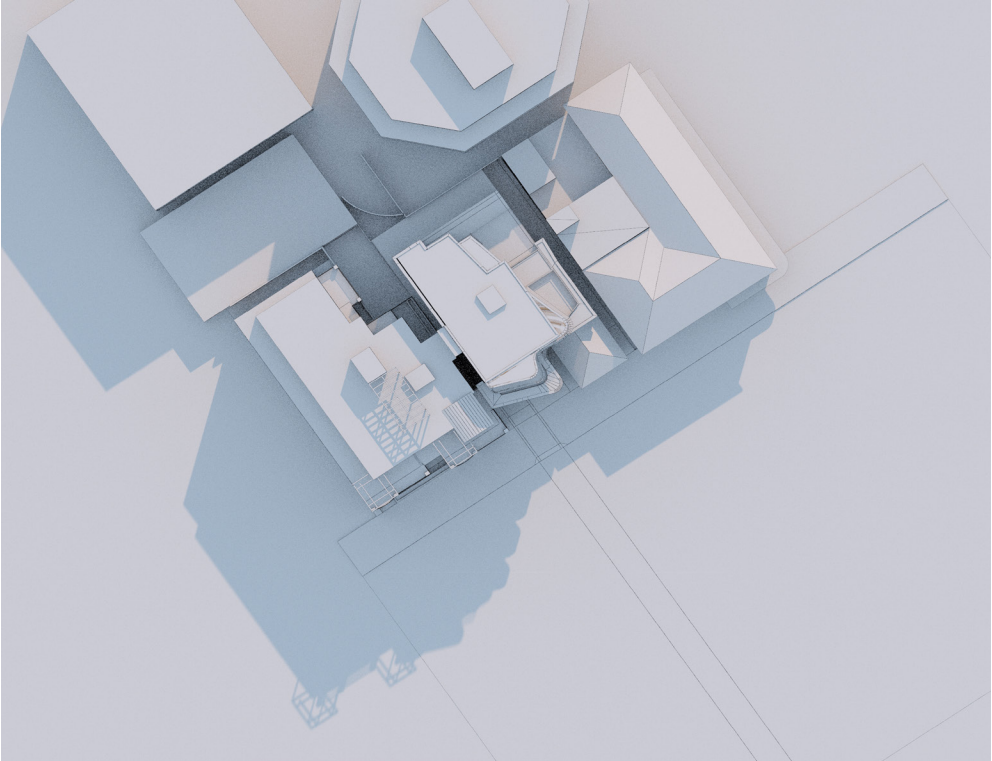
9am - proposed design revision 3



10am - proposed design revision 3



11am - proposed design revision 3



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 3 FOR s4.55 LODGEMENT

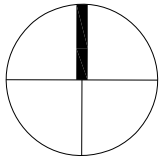
CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 88de Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

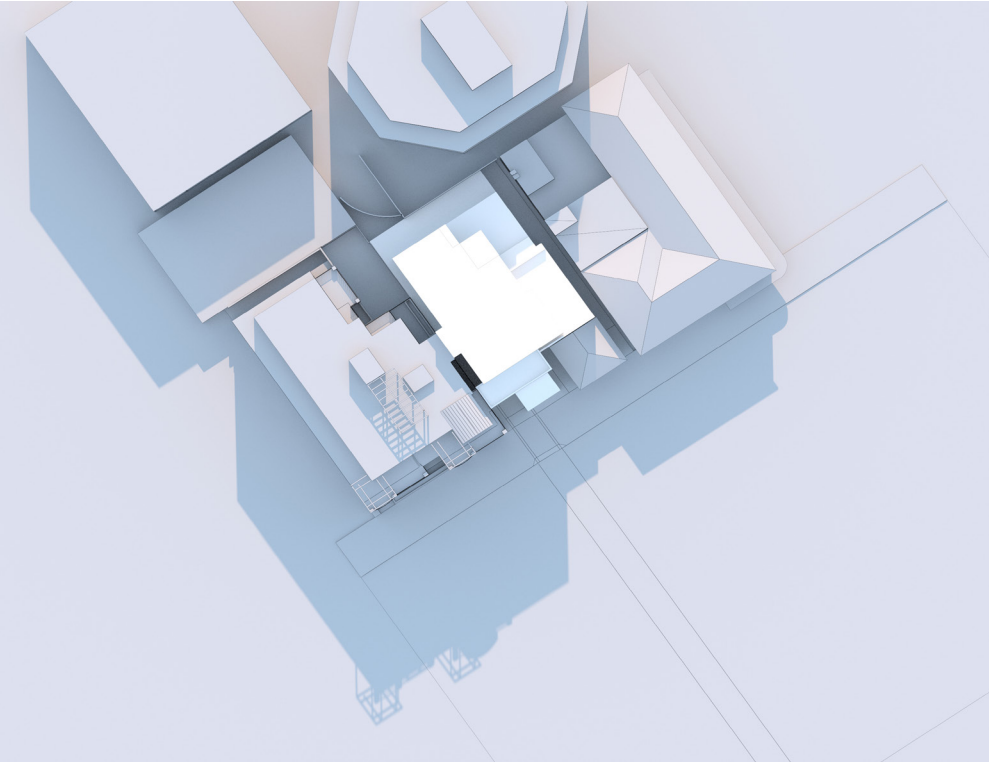
9-11 VICTORIA PARADE
MANLY, NSW



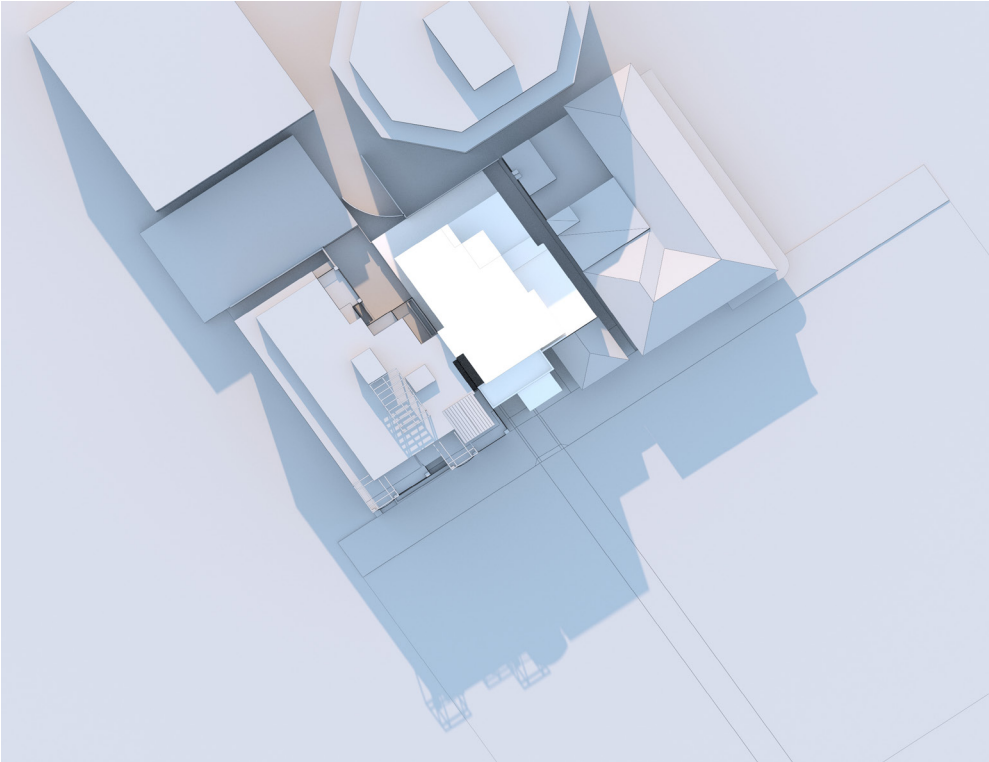
DRAWING TITLE
SHADOW DIAGRAMS
SHEET 1
SCALE
1:1000
@A3
STATUS
s4.55

PROJECT
VPM
NUMBER
REVISION
2

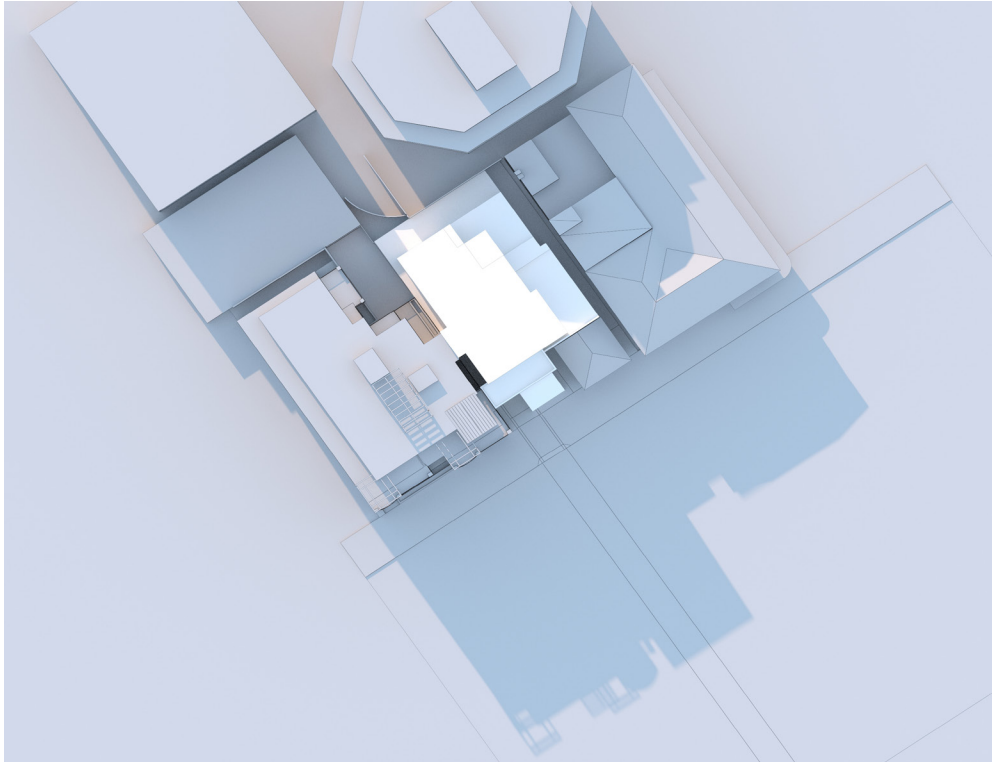
12pm - s(34)c approved building



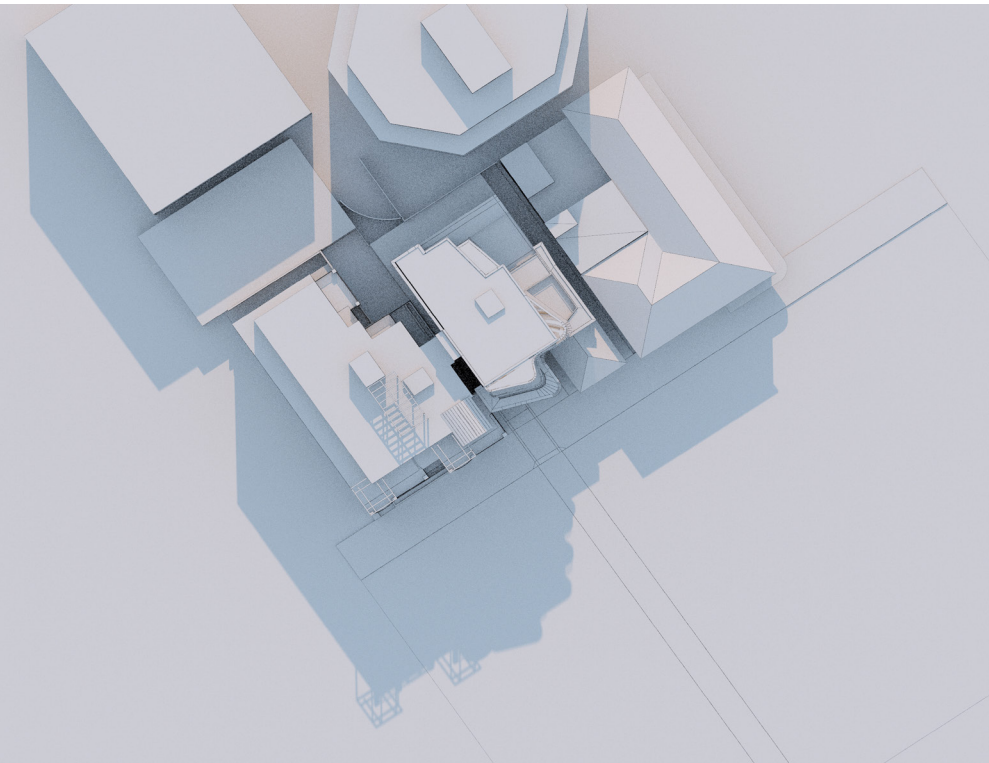
1pm - s(34)c approved building



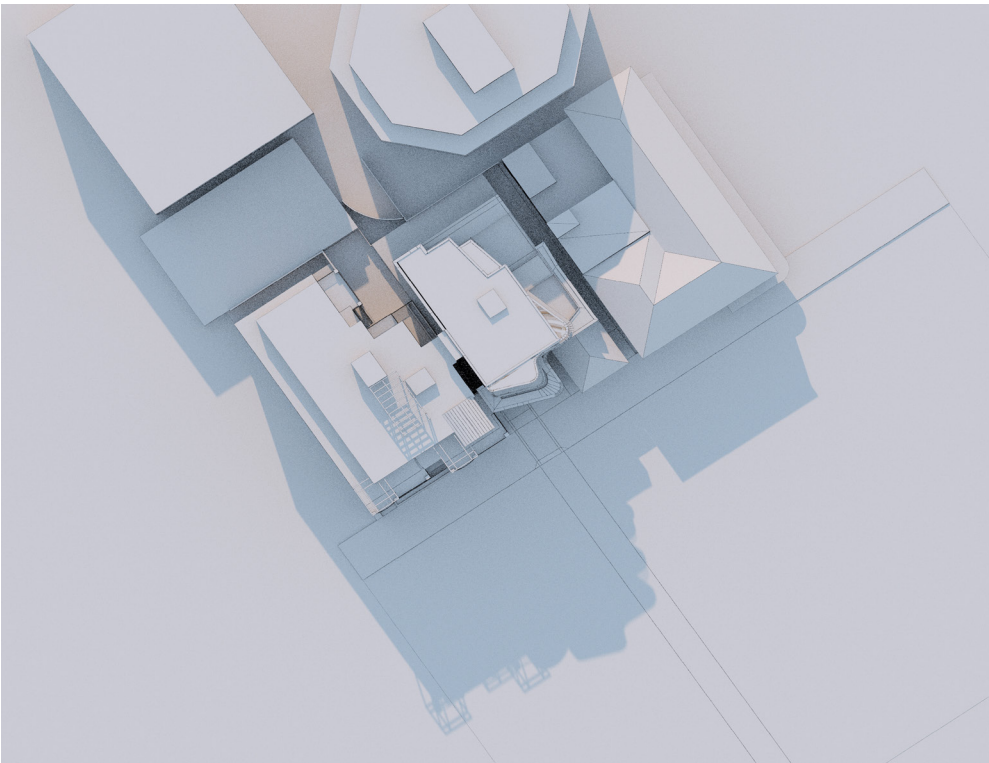
2pm - s(34)c approved building



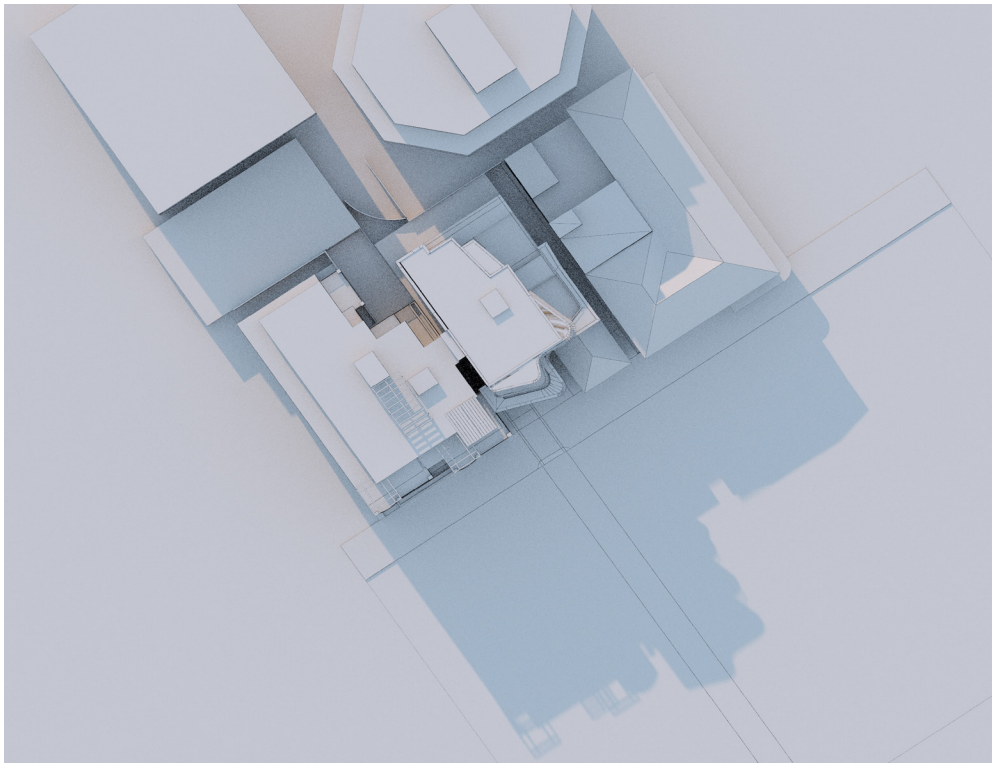
12pm - proposed design revision 3



1pm - proposed design revision 3



2pm - proposed design revision 3



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 3 FOR s4.55 LODGEMENT

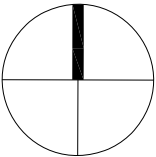
CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 8846 Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

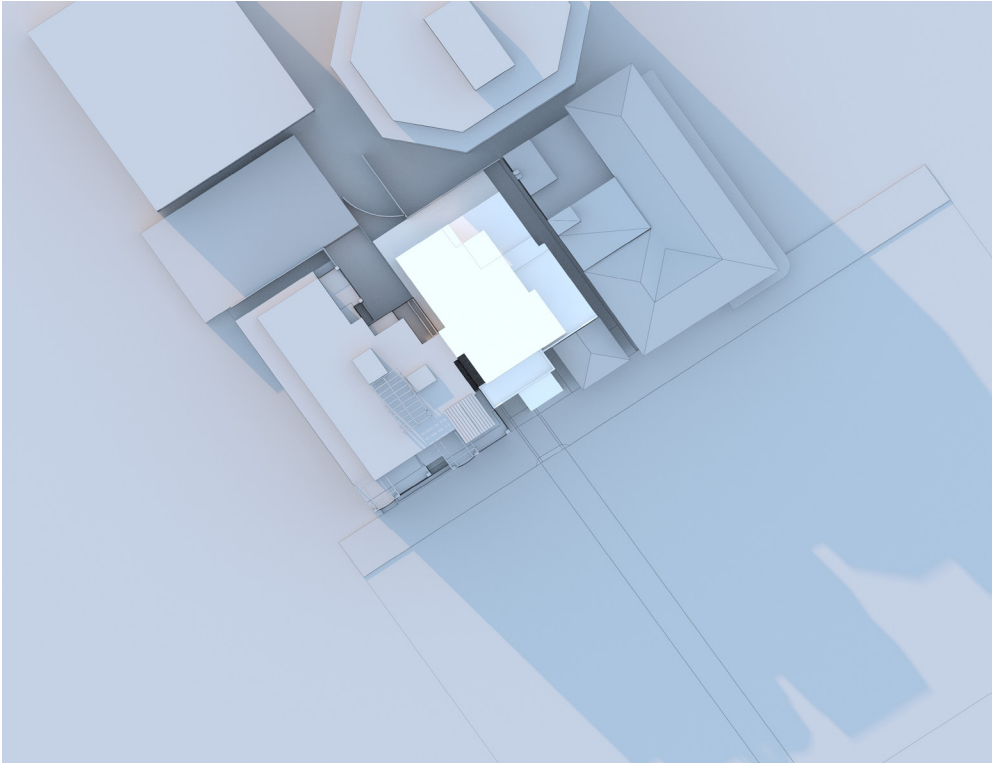
9-11 VICTORIA PARADE
MANLY, NSW



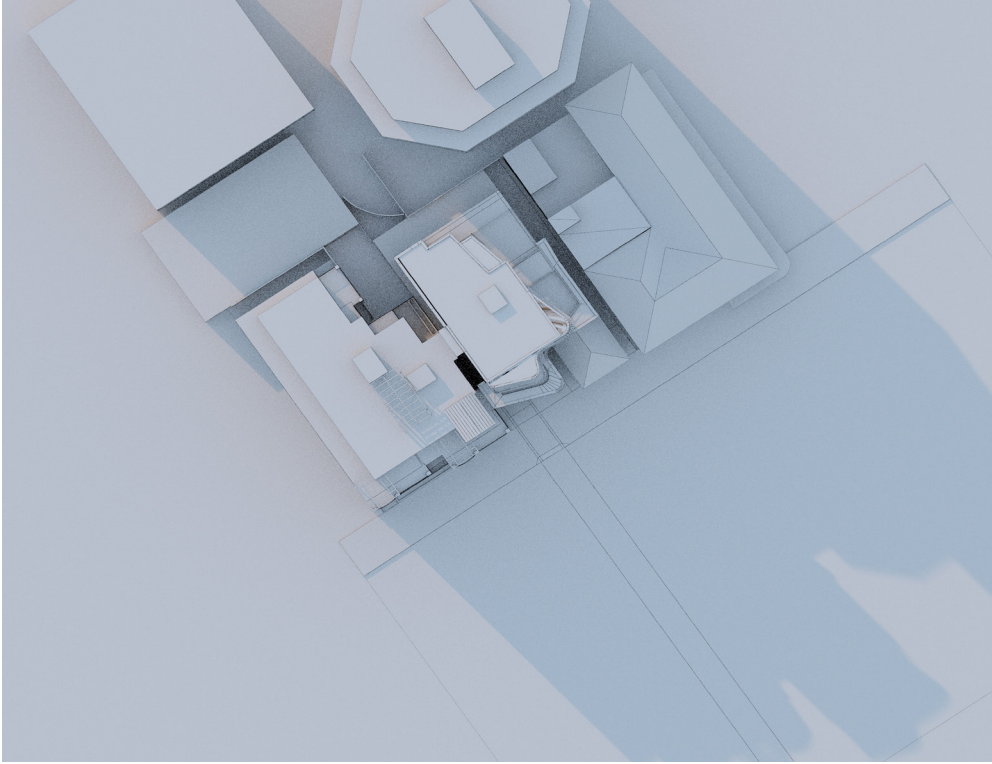
DRAWING TITLE
SHADOW DIAGRAMS
SHEET 2
SCALE
1:1000
@A3
STATUS
s4.55

PROJECT
VPM
NUMBER
REVISION
2

3pm - s(34)c approved building



3pm - proposed design revision 3



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 3 FOR s4.55 LODGEMENT

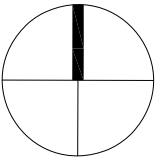
CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg. Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

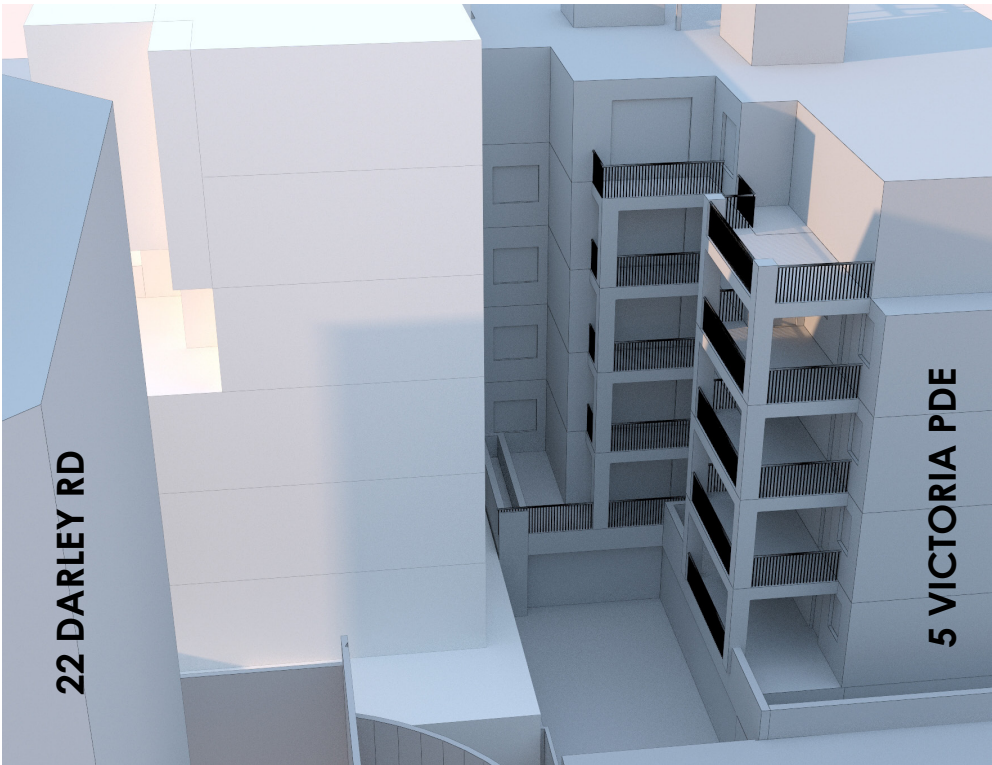
9-11 VICTORIA PARADE
MANLY, NSW



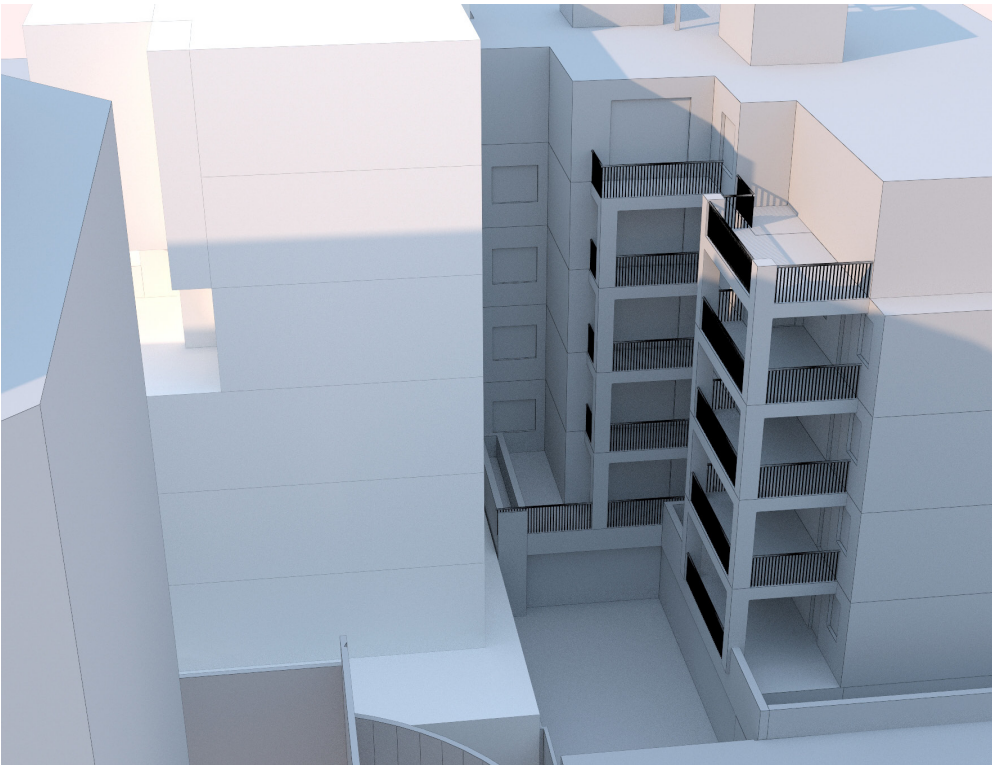
DRAWING TITLE
SHADOW DIAGRAMS
SHEET 3
SCALE
1:1000
@A3
STATUS
s4.55

PROJECT
VPM
NUMBER
REVISION
2

9am - s(34)c approved building



10am - s(34)c approved building



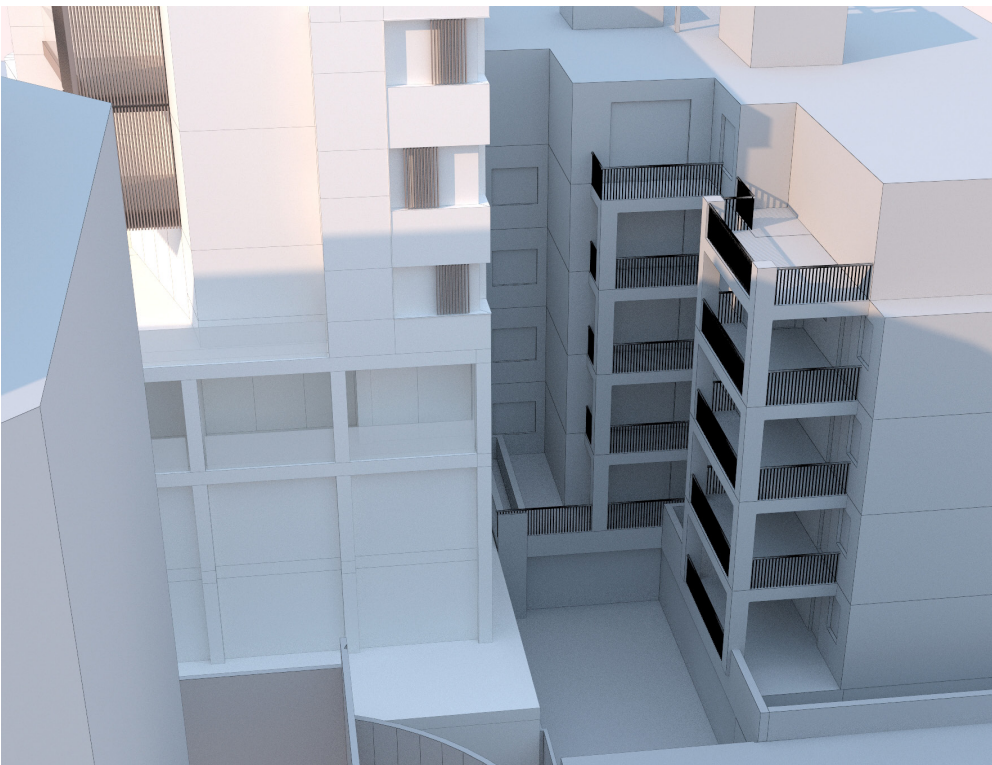
11am - s(34)c approved building



9am - proposed s4.55 design



10am - proposed s4.55 design



11am - proposed s4.55 design



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 88de Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
SHADOW DIAGRAMS
SHEET 4

SCALE

NTS

STATUS

s4.55

NUMBER

PROJECT
VPM

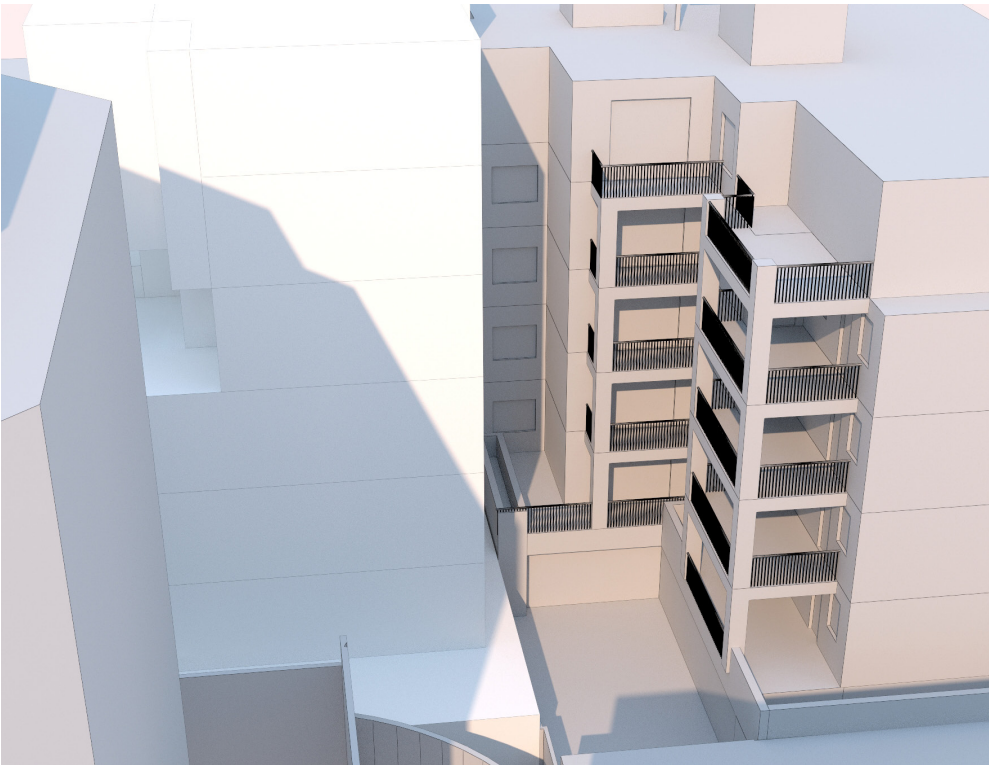
REVISION

2

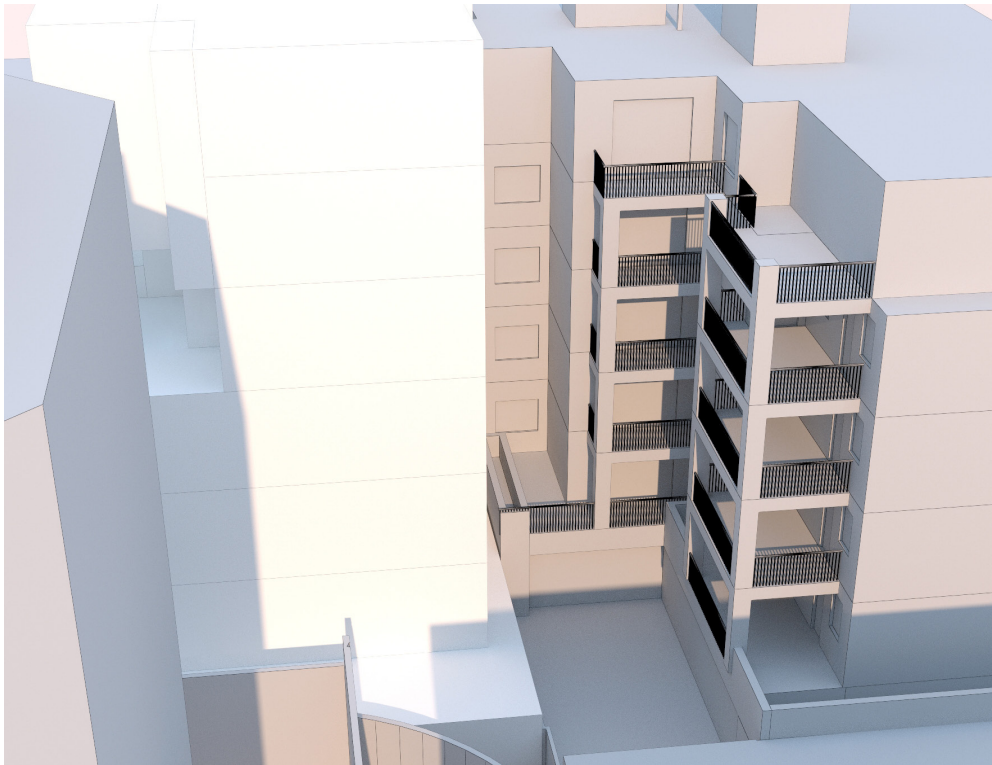
12pm - s(34)c approved building



1pm - s(34)c approved building



2pm - s(34)c approved building



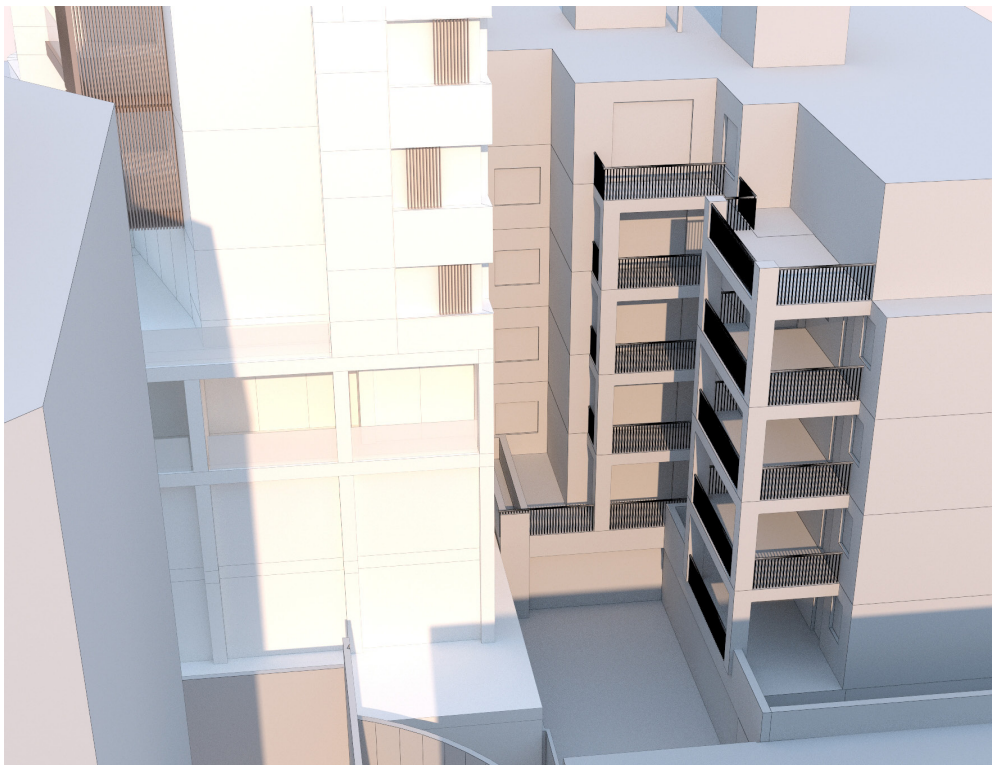
12pm - proposed s4.55 design



1pm - proposed s4.55 design



2pm - proposed s4.55 design



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 88de Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
SHADOW DIAGRAMS
SHEET 5

SCALE

NTS

STATUS

s4.55

NUMBER

PROJECT
VPM

REVISION

2

3pm - s(34)c approved building



3pm - proposed s4.55 design



NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 881de Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
SHADOW DIAGRAMS
SHEET 6

SCALE

STATUS

NUMBER

PROJECT

VPM

REVISION

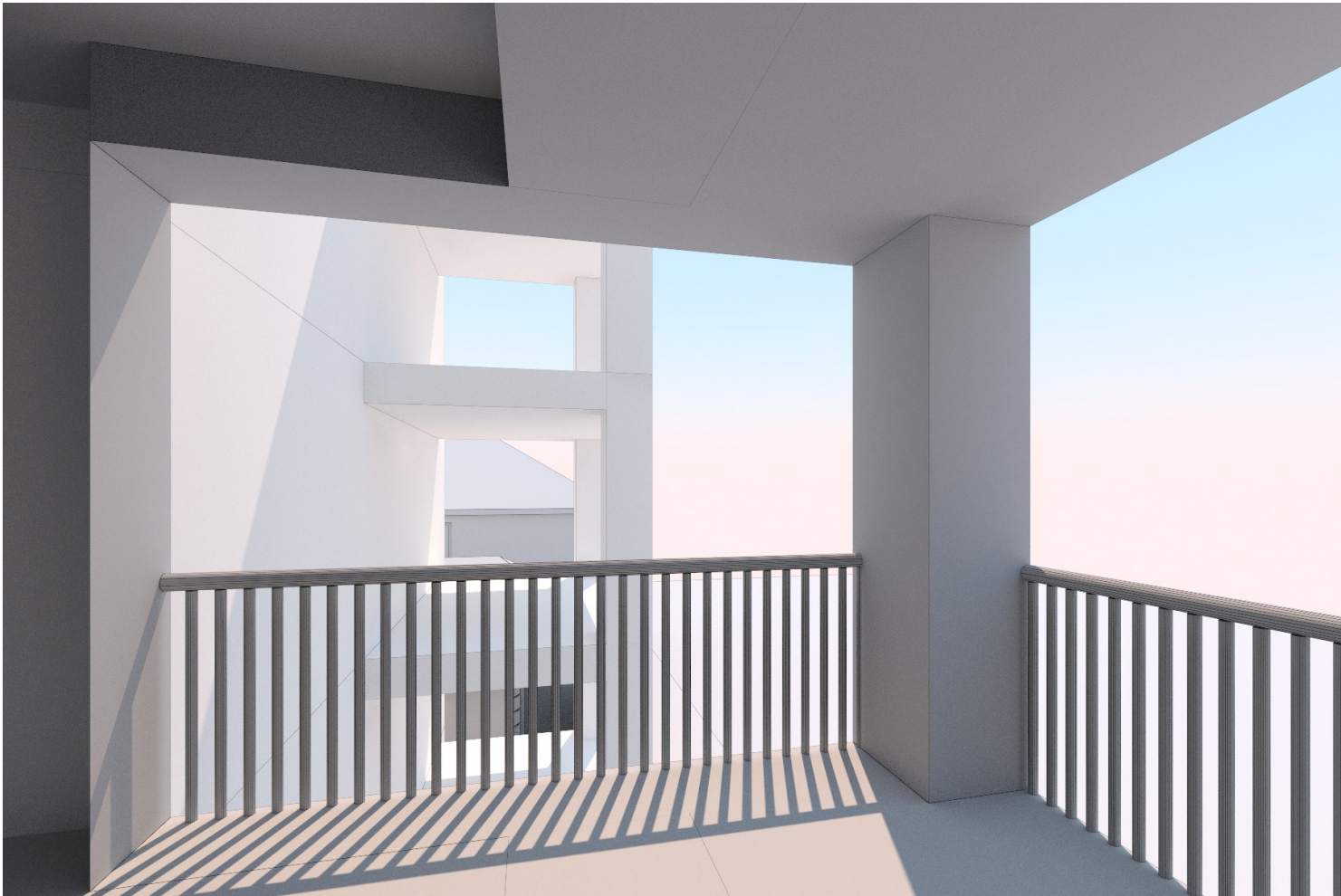
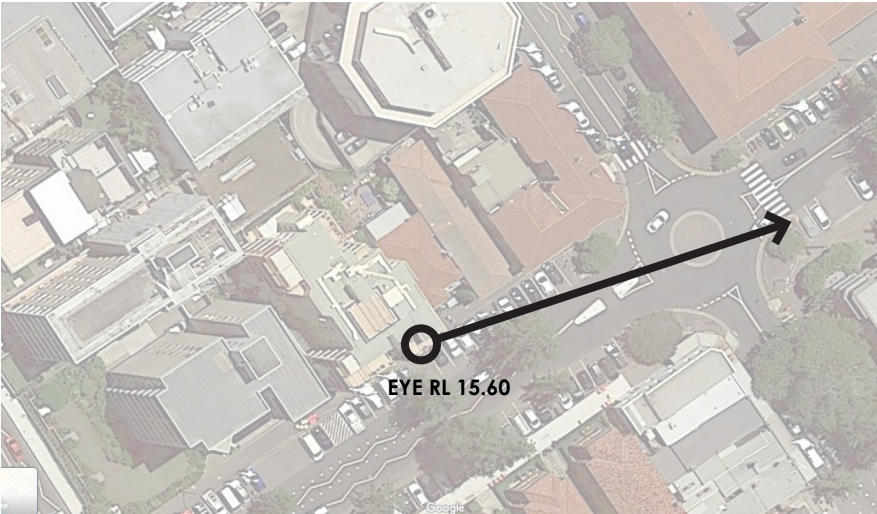
NTS

s4.55

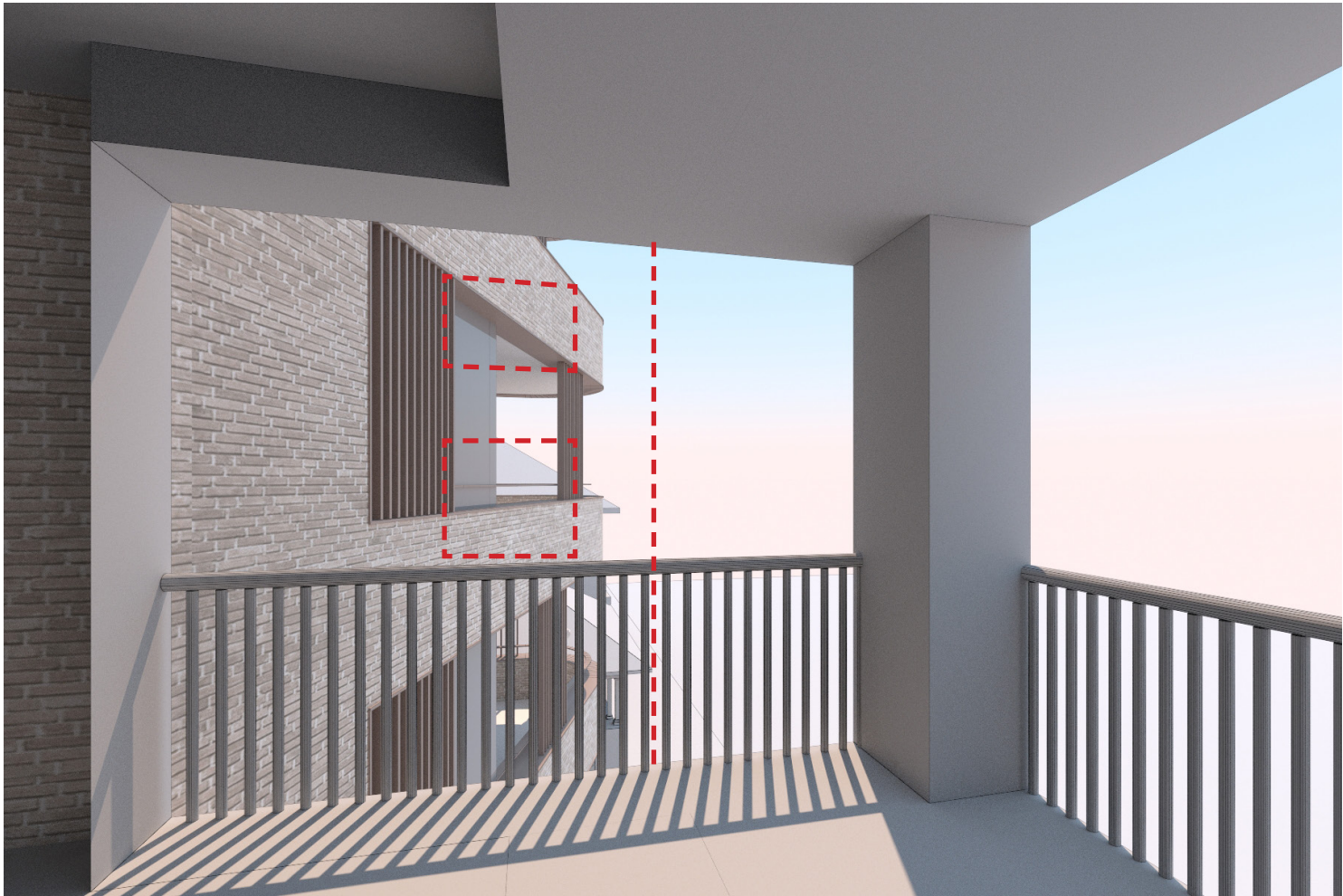
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VIEW 1

TAKEN FROM 5 VICTORIA PDE THIRD FLOOR STREET FACING BALCONY LOOKING EAST THROUGH VICTORIA PDE TOWARDS MANLY BEACH



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg. Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 1

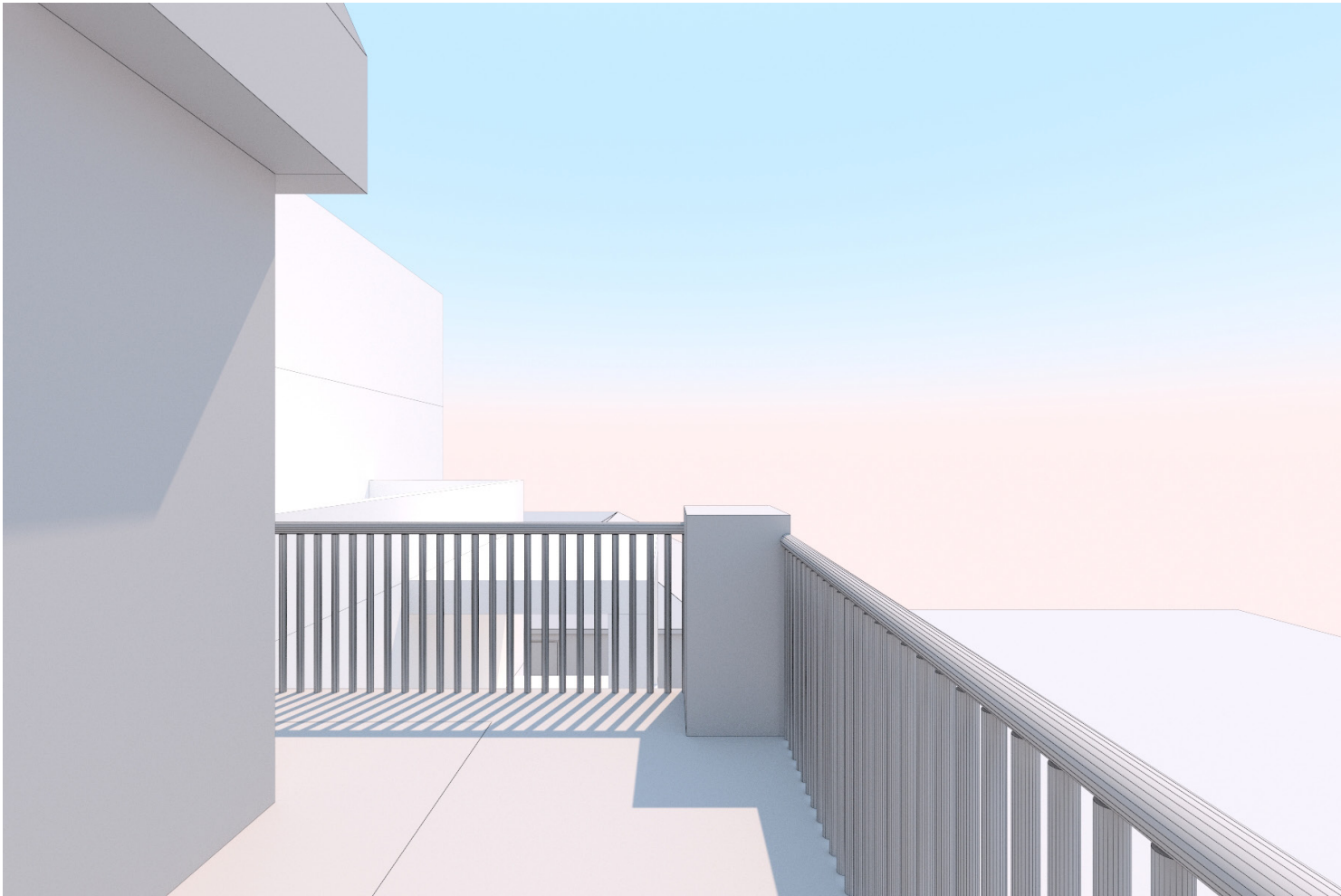
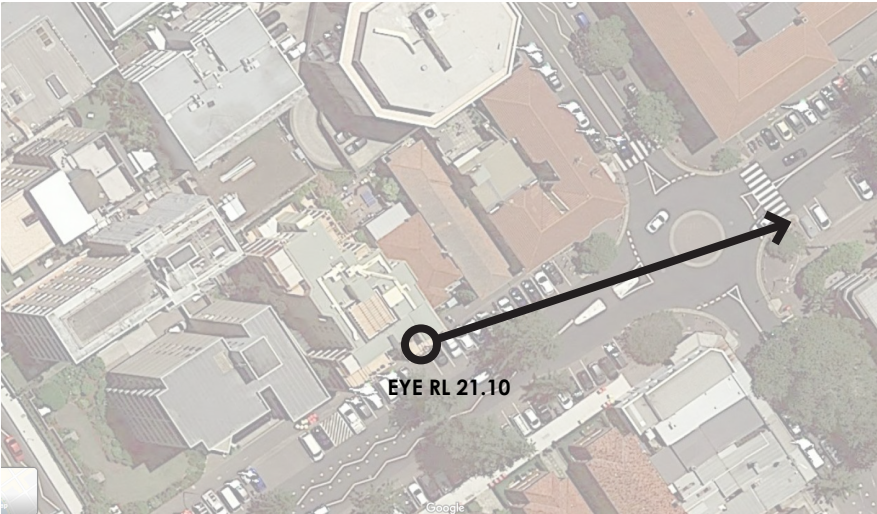
SCALE STATUS
NTS s4.55

PROJECT
VPM

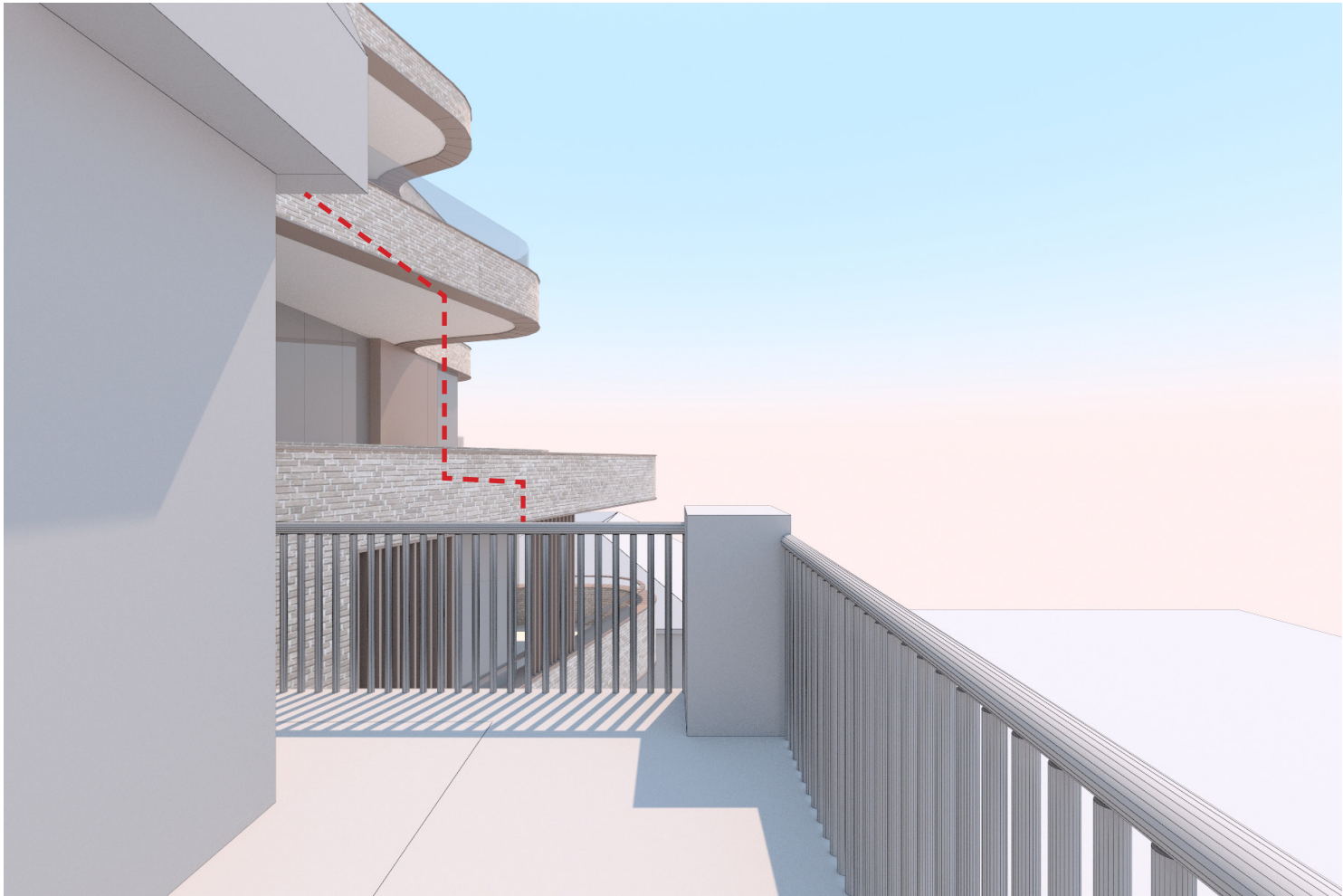
NUMBER REVISION
2

VIEW 2

TAKEN FROM 5 VICTORIA PDE STREET FACING TOP LEVEL TERRACE LOOKING EAST TOWARDS MANLY BEACH



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 8846 Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 2

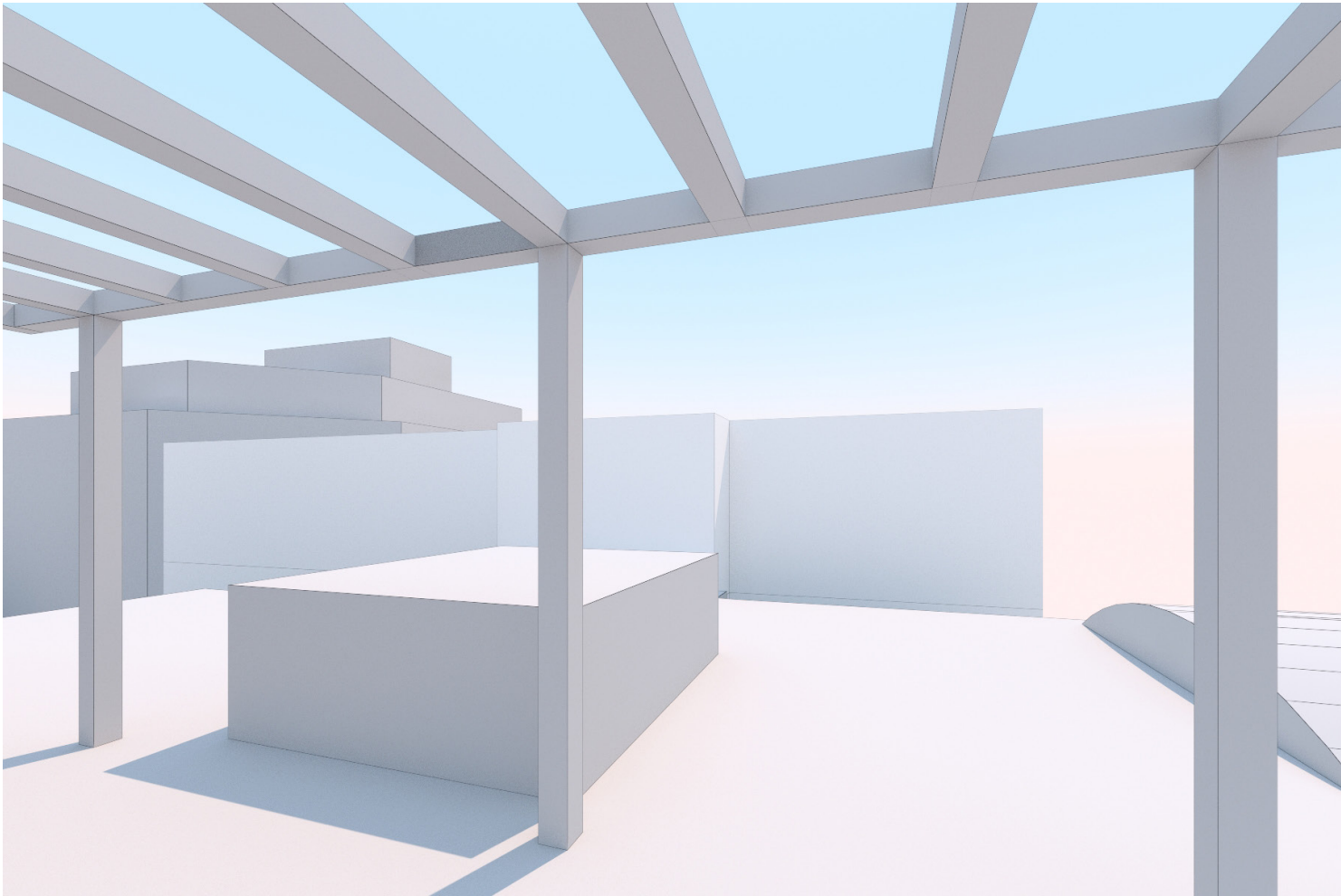
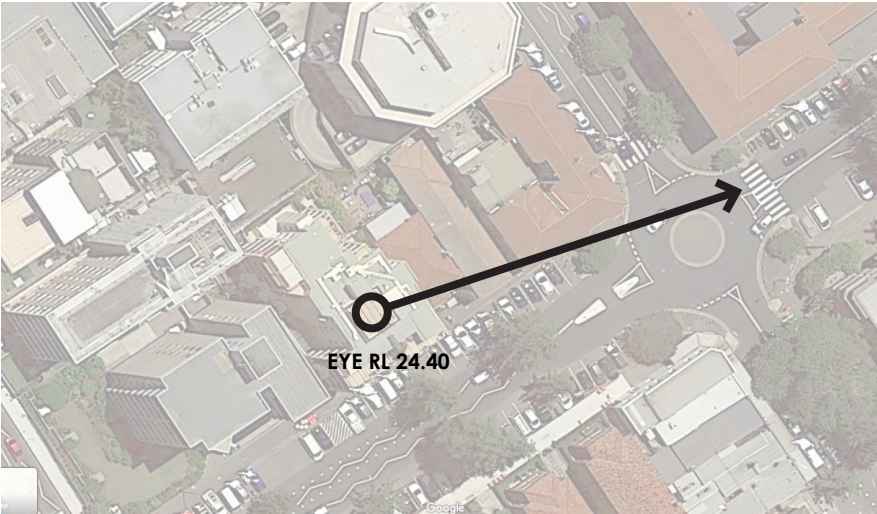
SCALE STATUS
NTS s4.55

PROJECT
VPM

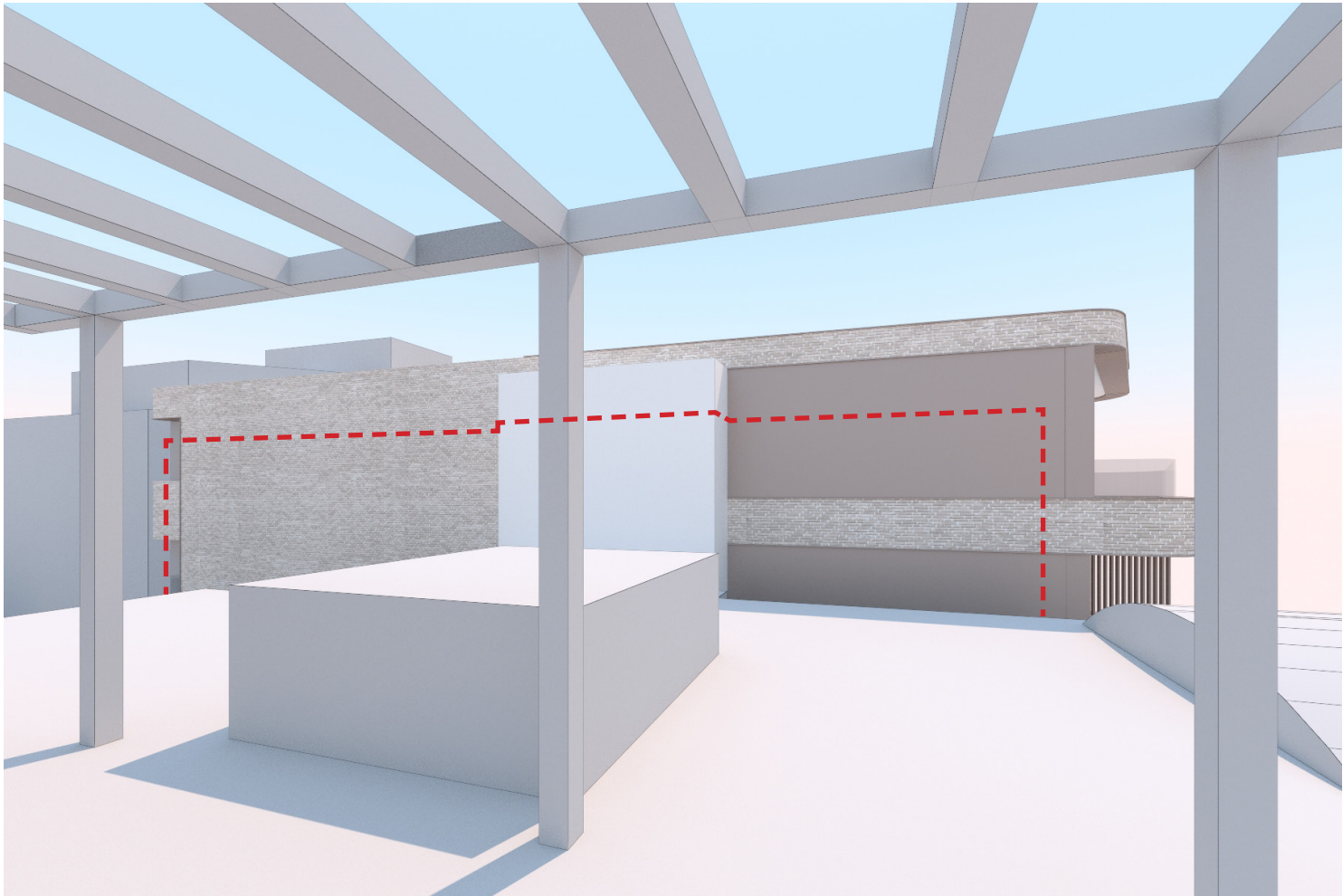
REVISION
2

VIEW 3

TAKEN FROM 5 VICTORIA PDE ROOF TERRACE LOOKING EAST TOWARDS MANLY BEACH



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect s(34)c Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 3

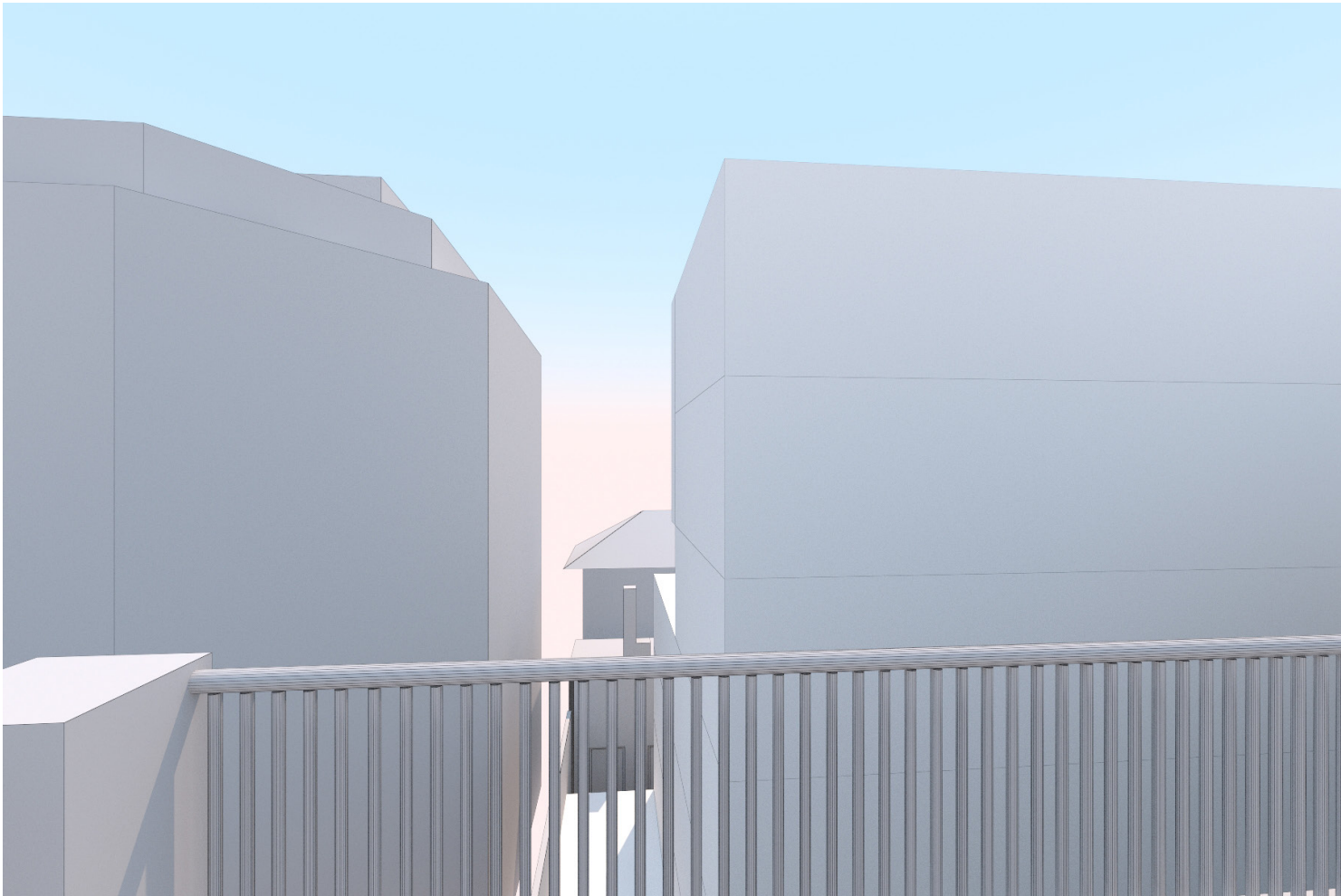
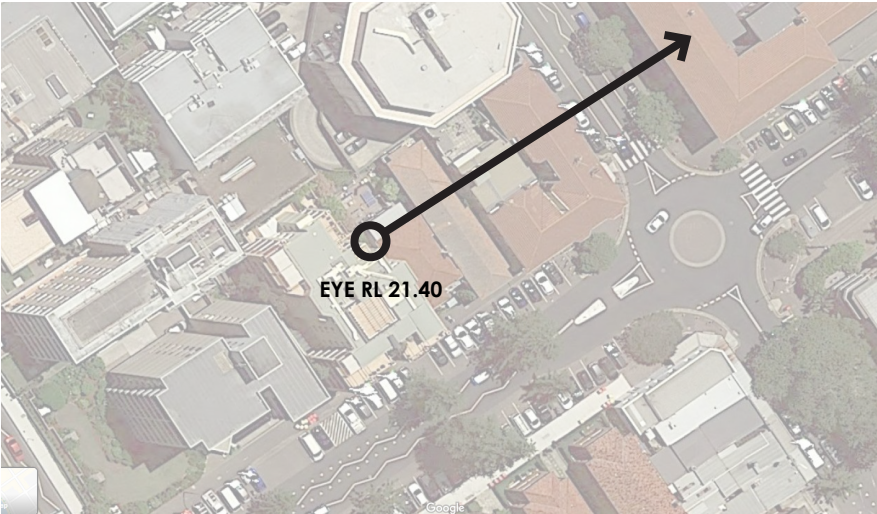
SCALE STATUS
NTS s4.55

PROJECT
VPM

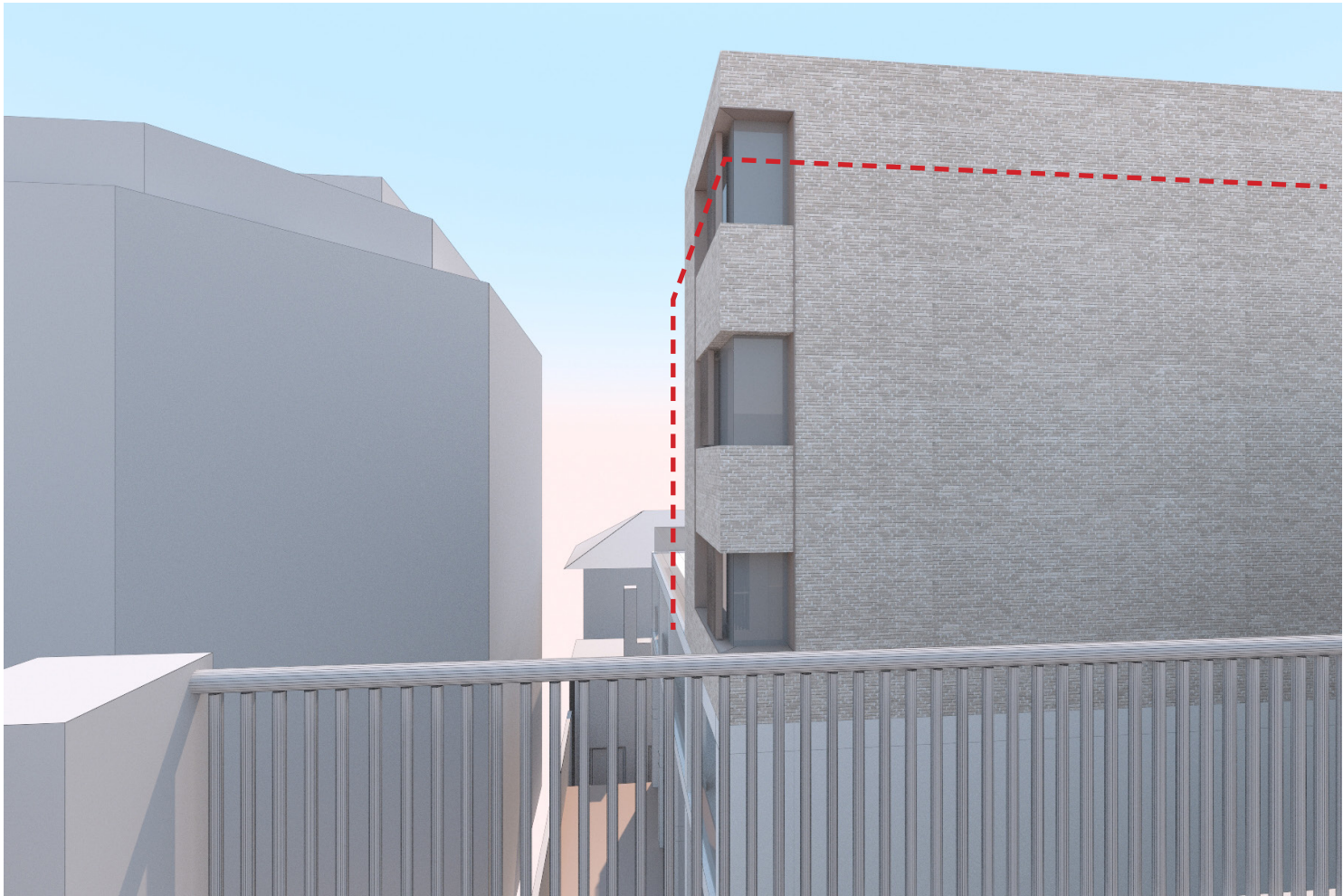
NUMBER REVISION
2

VIEW 4

TAKEN FROM 5 VICTORIA PDE TOP LEVEL TERRACE LOOKING NORTHEAST TOWARDS
MANLY BEACH



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg. Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 4

SCALE STATUS
NTS s4.55

PROJECT
VPM

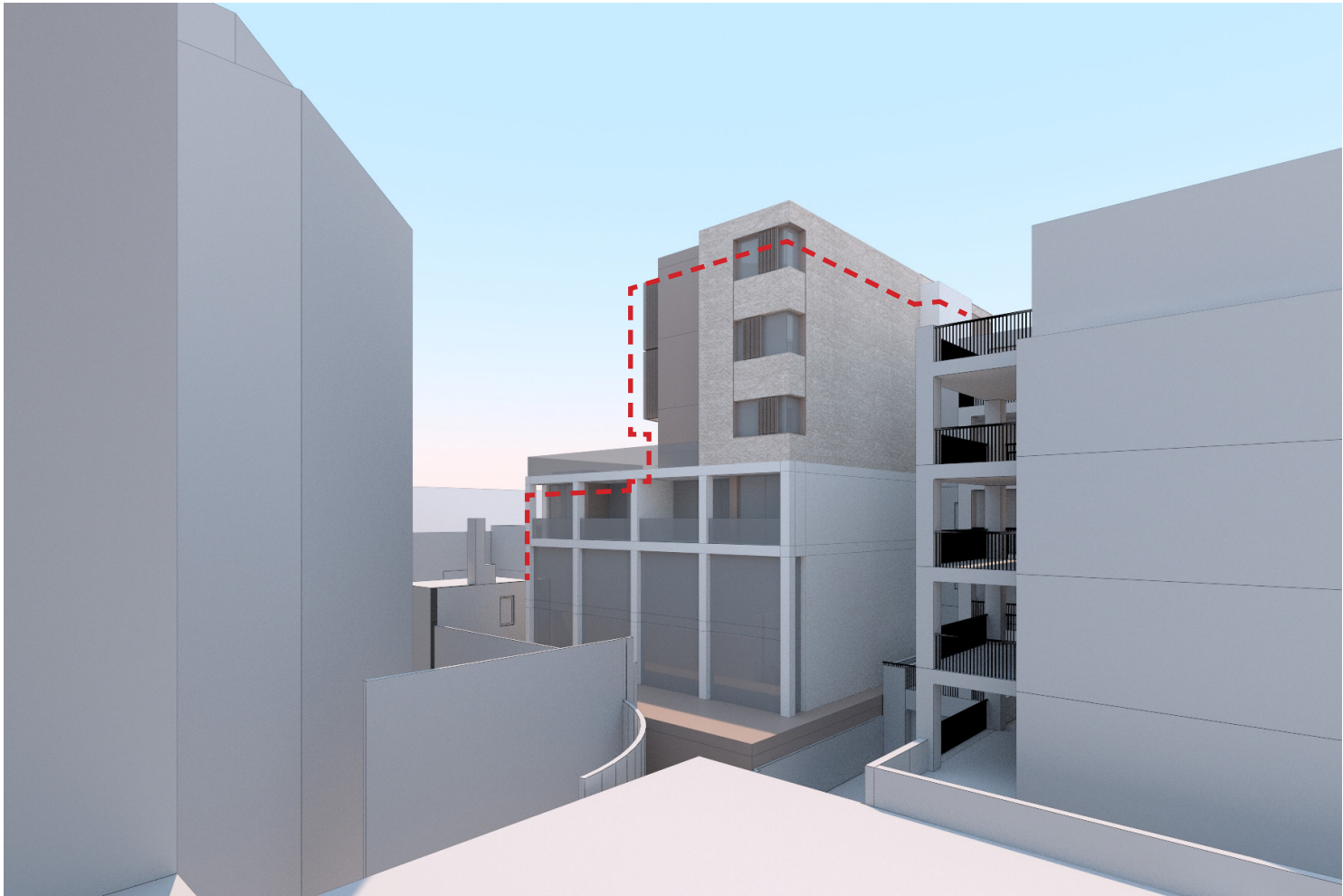
REVISION
2

VIEW 5

TAKEN FROM 2-4 WENTWORTH ST SECOND LEVEL TERRACE LOOKING EAST



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK
AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg. Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 5

SCALE
NTS

STATUS
s4.55

NUMBER

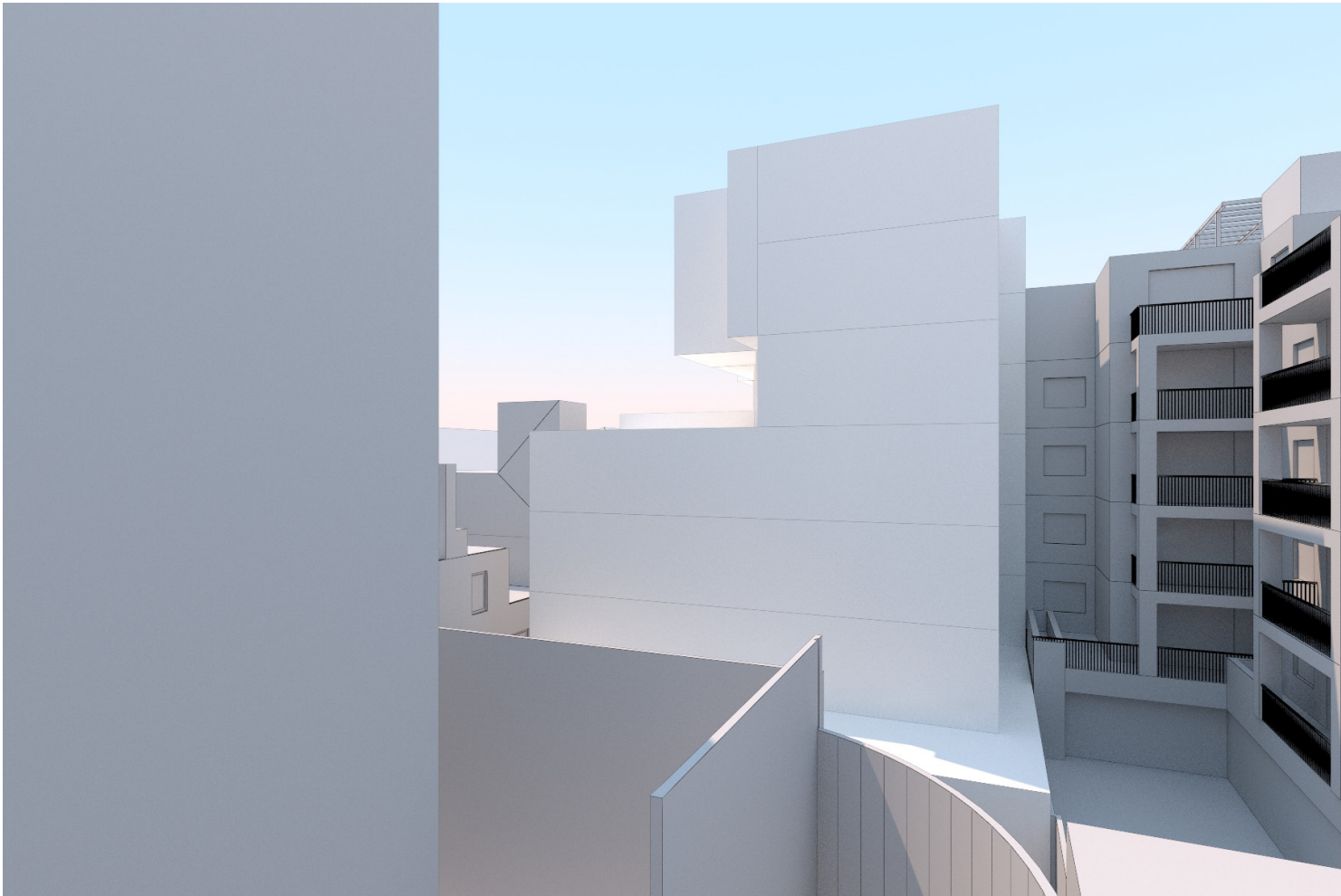
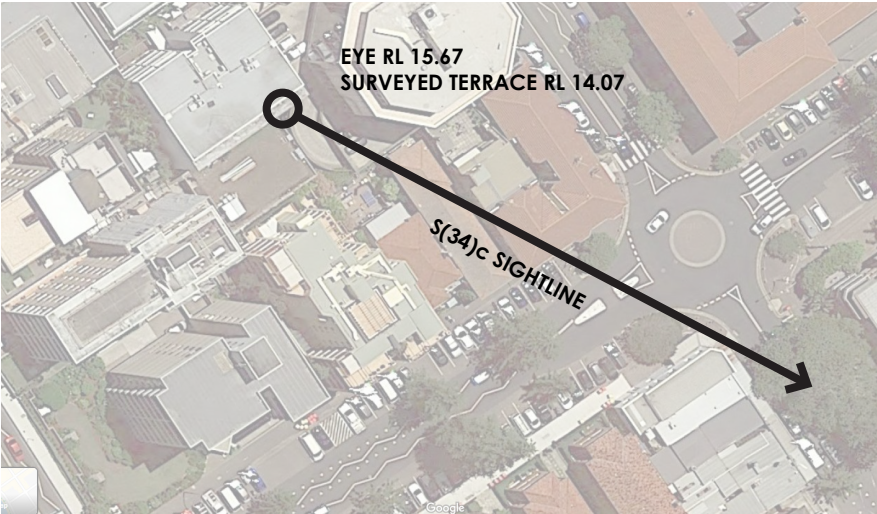
PROJECT
VPM

REVISION

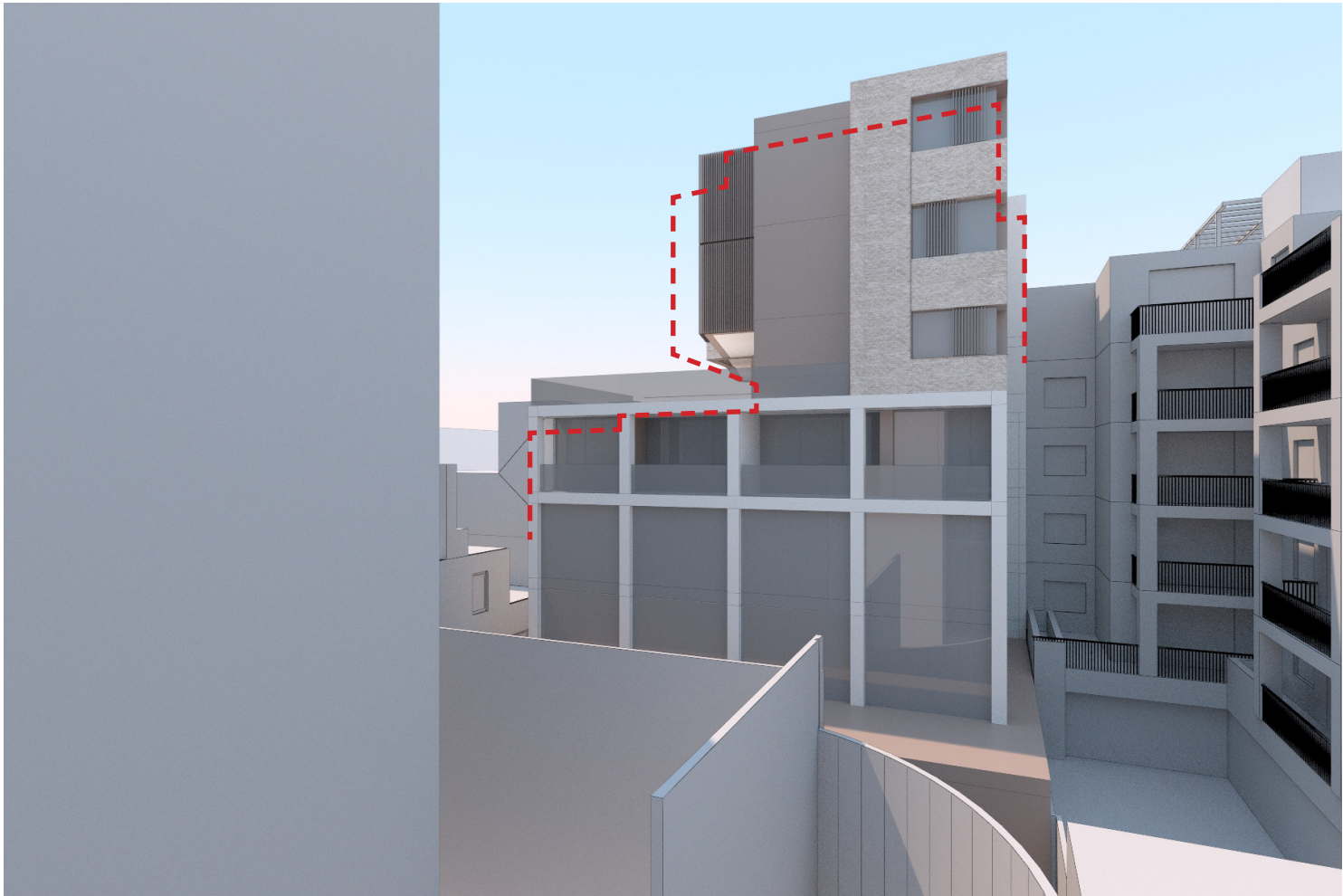
2

VIEW 6

TAKEN FROM 2-4 WENTWORTH ST TERRACE AT RL 14.07 LOOKING ACROSS THE SITE TOWARDS CASTLE



APPROVED DESIGN



PROPOSED DESIGN

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE s(34)c APPROVED BULK AND THE PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
C.G. & I.B. KOUTSOS



PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
VIEW ANALYSIS
SHEET 6

SCALE STATUS
NTS s4.55

PROJECT
VPM

NUMBER REVISION
2

East Esplanade

29 E. esp.

5

9-11

22A D. rd

Darley rd

25

29

31

15 S. St.

South Steyne



East Esplanade

2

6

8

10

12

24 D. rd

Darley rd

14-16

18-20

22

28-32

34

40

42

46

14 S. St.

South Steyne

CLIENT

C.G. & I.B. KOUTSOS



Level 1, 57 The Corso Manly 2095
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nominated architect 88dke Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE

STREETSCAPE

SCALE

NTS

STATUS

s4.55

NUMBER

PROJECT

VPM

REVISION

2

IMPORTANT NOTES:
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is msl 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEMENT	OH

ISSUED FOR s4.55 LODGEMENT

NOT FOR CONSTRUCTION

CLIENT

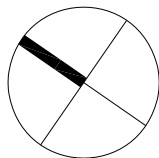
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nominated architect Billie Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
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MANLY, NSW



DRAWING TITLE

DEMOLITION PLAN

SCALE

1:100
@A3

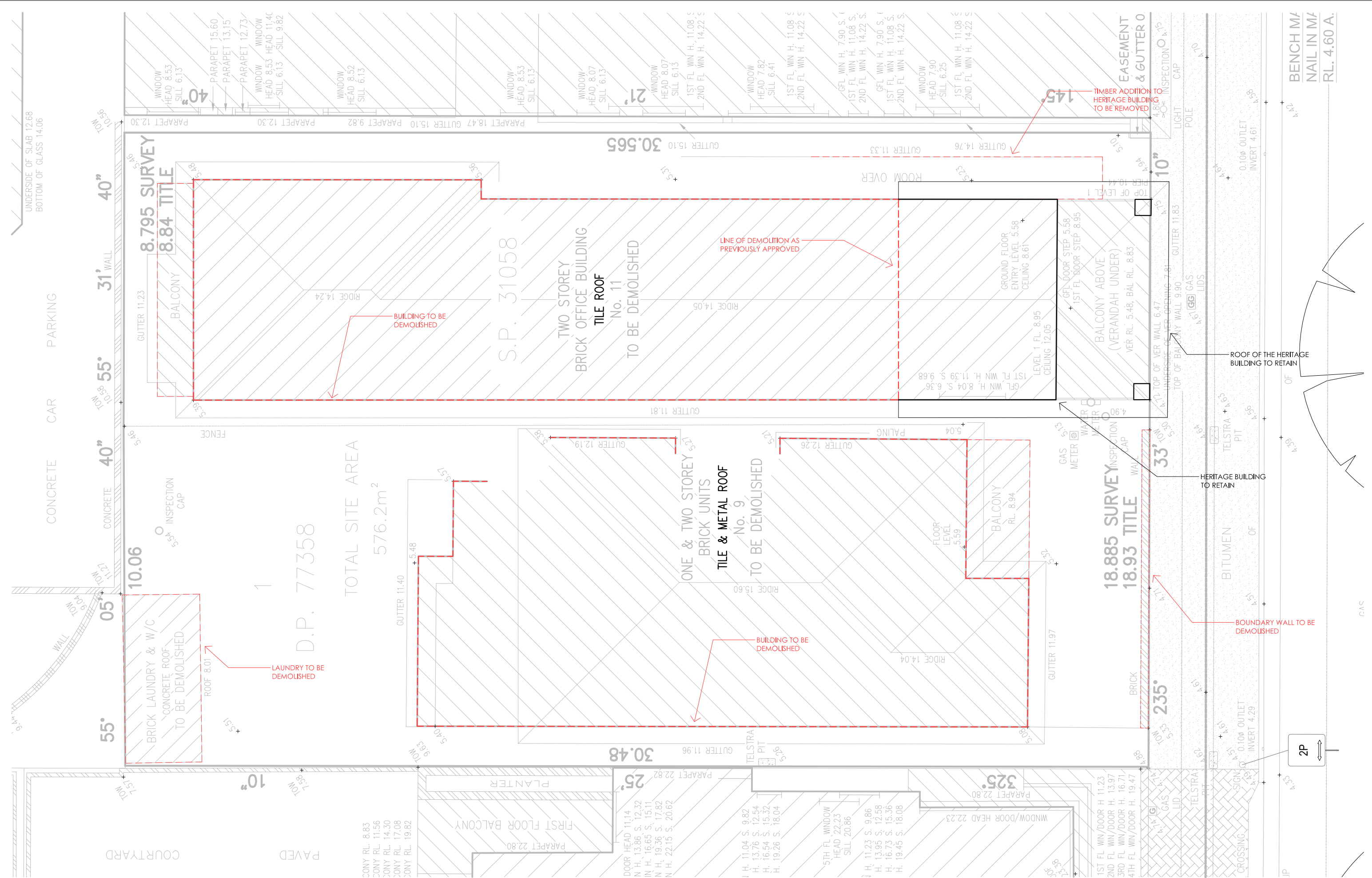
14.55

PROJECT

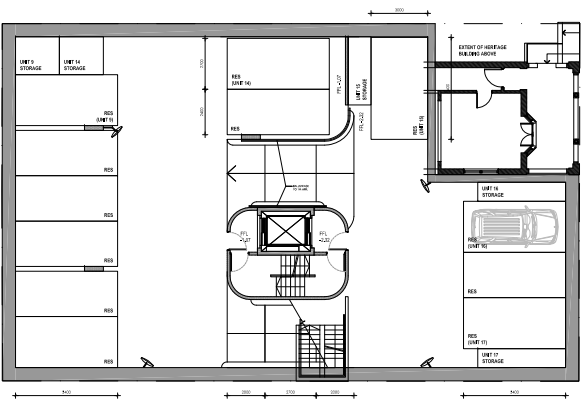
VPM

REVISION

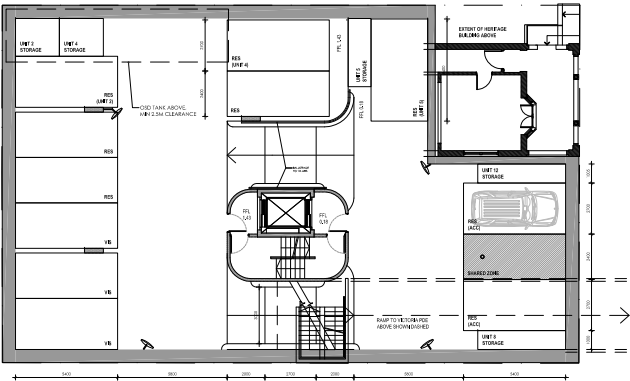
2



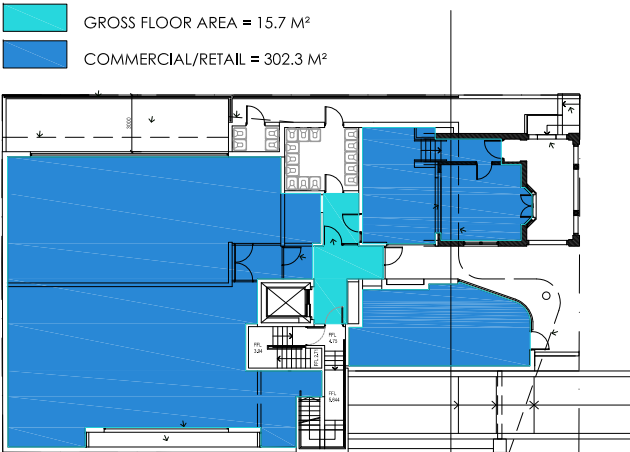
SECOND BASEMENT



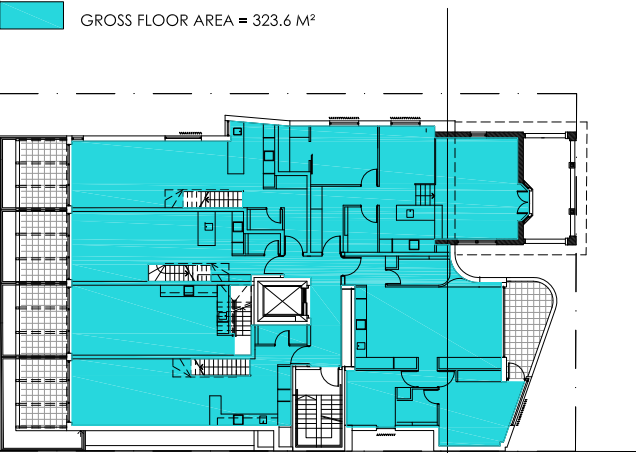
FIRST BASEMENT



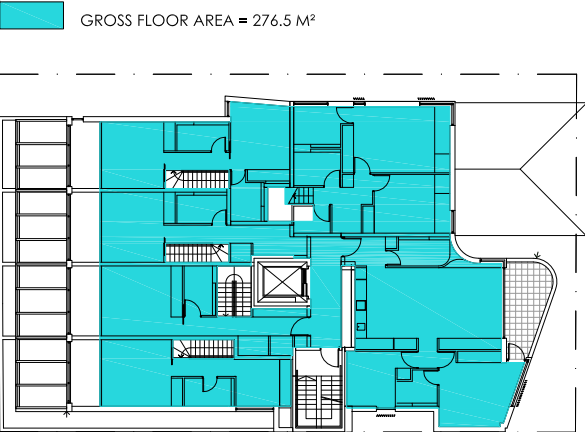
GROUND FLOOR



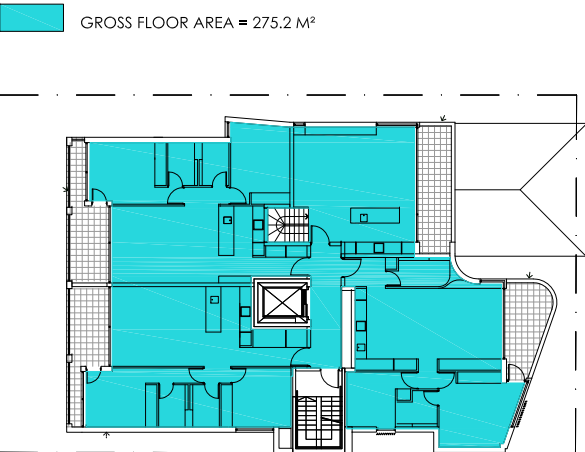
FIRST FLOOR



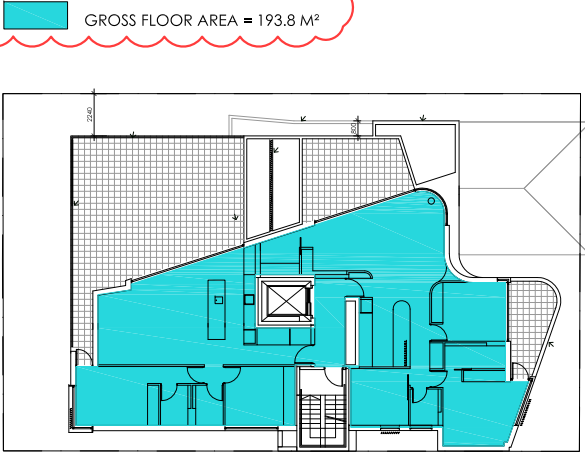
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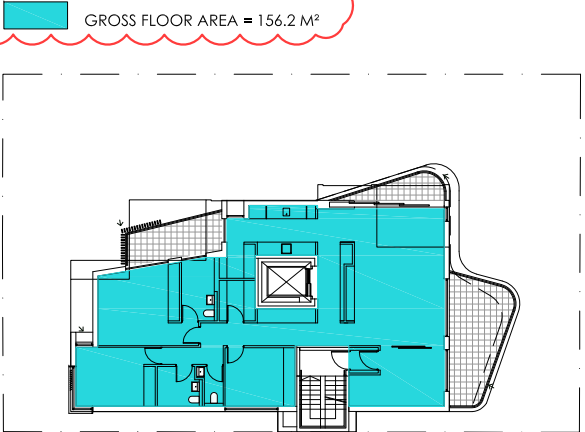
THIRD FLOOR



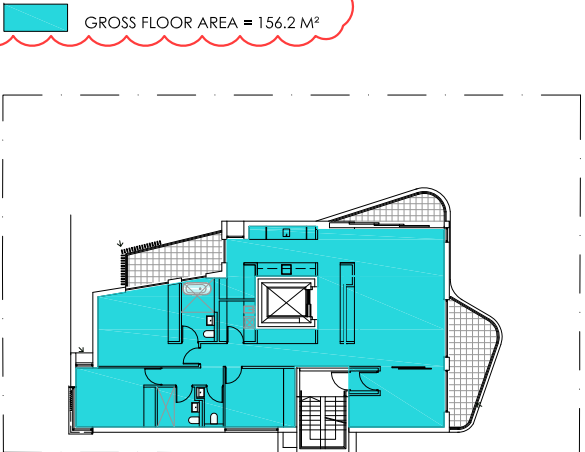
FOURTH FLOOR



FIFTH FLOOR



SIXTH FLOOR



SUMMARY

SITE AREA:	576.2 M ²
RETAIL/COMMERCIAL:	302.3 M ² (17.7% OF GFA)
GROSS FLOOR AREA:	1699.5 M ²
GROSS FLOOR AREA:	1682.5 M ² (1% DUCT ALLOWANCE)
FSR:	2.92 :1

GFA s4.55 AS LODGED: 1705.2 M²

IMPORTANT NOTES:
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REVISION	DATE	DESCRIPTION	BY
0	Jan '18	COORDINATION	OH
1	Nov '19	FOR PRELODGEEMENT MEETING	OH
2	Jul '20	FOR s4.55 LODGEEMENT	OH
3	18.06.21	REVISIONS TO s4.55	BG
4	21.07.21	ADDITIONAL REVISIONS TO s4.55	BG/OH

REVISION NOTES

ISSUED FOR s4.55 LODGEEMENT
AS ADDITIONAL REVISION

NOT FOR CONSTRUCTION

CLIENT

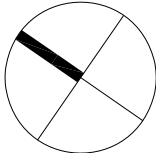
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

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p. 02 9976 6666 abn. 74602856157
nominated architect Billie Gough Reg No. 8280

PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW



DRAWING TITLE

GFA SUMMARY

SCALE	STATUS	NUMBER	REVISION
1:400 @A3	s4.55		4

PROJECT

VPM



MONTAGE 1 - ISSUE 3 UPDATE TO THE 4.55 DESIGN

EAST CORNER OF DARLEY RD AND VICTORIA PDE JUNCTION

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE
PROPOSED AMENDMENT TO THE LODGED 4.55 DESIGN

CLIENT
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PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
PHOTOMONTAGE
SHEET 1

SCALE STATUS
NTS s4.55

PROJECT
VPM
NUMBER REVISION
3



MONTAGE 2 - 4.55 DESIGN ISSUE 2 AS LODGED

EAST CORNER OF DARLEY RD AND VICTORIA PDE JUNCTION

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING THE
PROPOSED DESIGN REVISION 2 FOR s4.55 LODGEMENT

CLIENT
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PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

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MANLY, NSW

DRAWING TITLE
PHOTOMONTAGE
SHEET 2

SCALE

STATUS

NUMBER

PROJECT
VPM

REVISION

NTS

s4.55

3



MONTAGE 3 - BULK OF APPROVED BUILDING DESIGNED BY BLACKMORE DESIGN GROUP

NOTE:
THE 3D MODEL ON IMAGE ABOVE DEPICTING s34(c)
APPROVED DESIGN BY BLACKMORE DESIGN GROUP

CLIENT
C.G. & I.B. KOUTSOS

platform
ARCHITECTS

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PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
PHOTOMONTAGE
SHEET 3

SCALE STATUS
NTS s4.55

PROJECT
VPM

NUMBER REVISION
3



VIEW 1 - EXISTING

EAST CORNER OF DARLEY RD AND VICTORIA PDE JUNCTION

CLIENT
C.G. & I.B. KOUTSOS



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PROPOSED SHOP-TOP HOUSING
WITH BASEMENT CAR PARKING

9-11 VICTORIA PARADE
MANLY, NSW

DRAWING TITLE
PHOTOMONTAGE
SHEET 4

SCALE

NTS

STATUS

s4.55

NUMBER

PROJECT
VPM

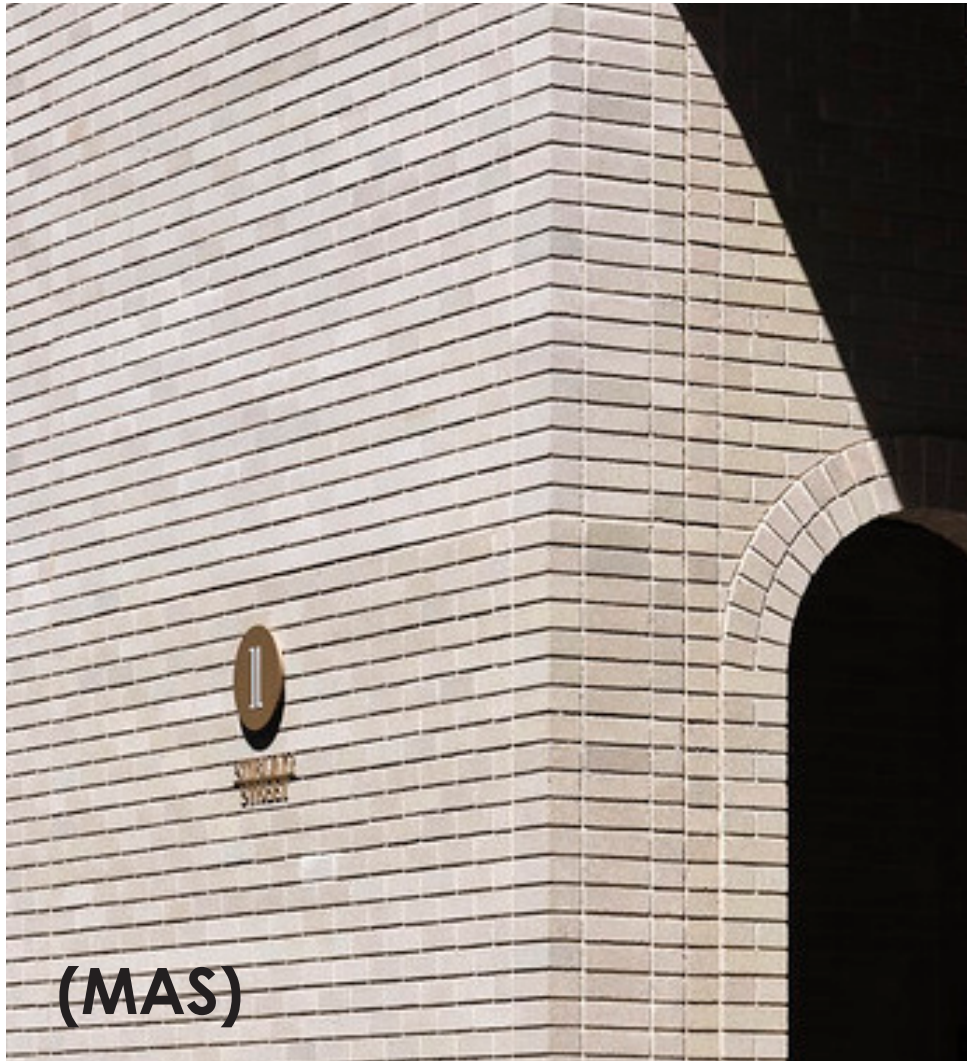
REVISION

2



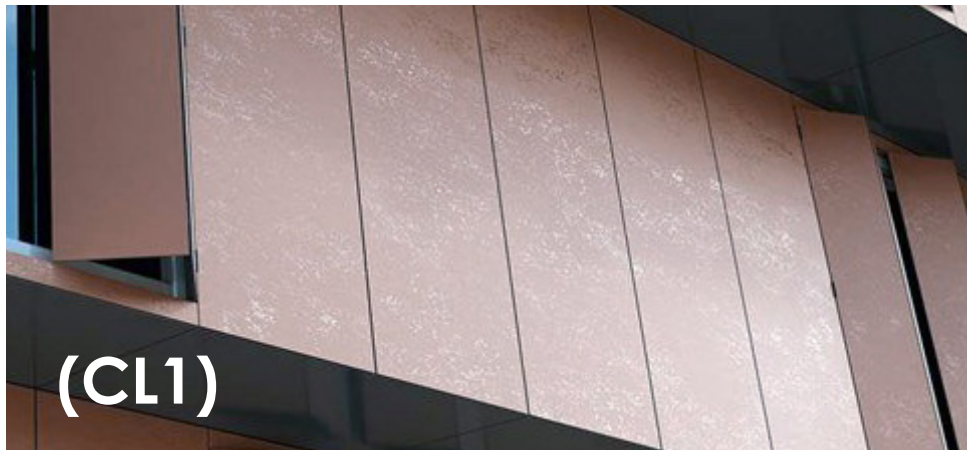
(MAS) (PC) (REN2) (CL1)

*REFER TO ELEVATIONS FOR DETAILED FINISHES ALLOCATION



(MAS)

MASONRY FINISH, SAND COLOUR TO FUTURE SPECS, SMOOTH FACE; IE BOWRAL SIMMENTAL SILVER (IMAGE ABOVE) OR SIMILAR



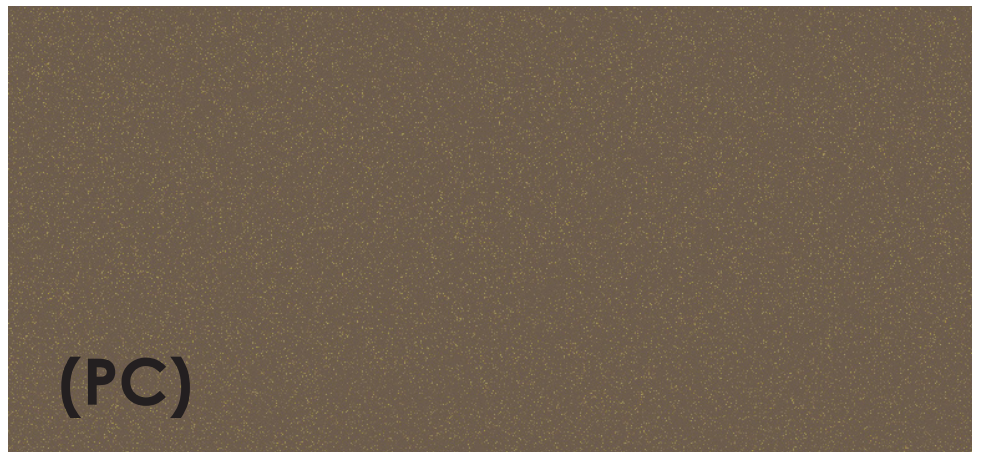
(CL1)

ARCHITECTURAL CLADDING (NON COMBUSTIBLE) TO FUTURE SPECS AND DETAILS - ABOVE IMAGE FOR LOOK AND FEEL



(REN1)

RENDERED AND PAINTED FINISH, COLOUR DULUX JASPER OR SIMILAR TONE (MATCH COLOUR TO (CL1) CLADDING)



(PC)

POWDERCOATED METAL ELEMENTS INCLUDING BALUSTRADE RAILS, PRIVACY SCREENS, BRICK PARAPET LINING AND FLASHING. DULUX ETERNITY COPPER METALLIC OR SIMILAR TO MATCH RENDER 1



(REN2)

PAINTED RENDER OF FC SHEETS; OFF WHITE COLOUR; EXTERNAL WALLS AND AWNING SOFFITS

CLIENT
C.G. & I.B. KOUTSOS

platform
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PROPOSED SHOP-TOP HOUSING
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MANLY, NSW

DRAWING TITLE
EXTERNAL FINISHES SCHEDULE

SCALE STATUS
NTS s4.55 UPDATE

PROJECT
VPM

REVISION
3