

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

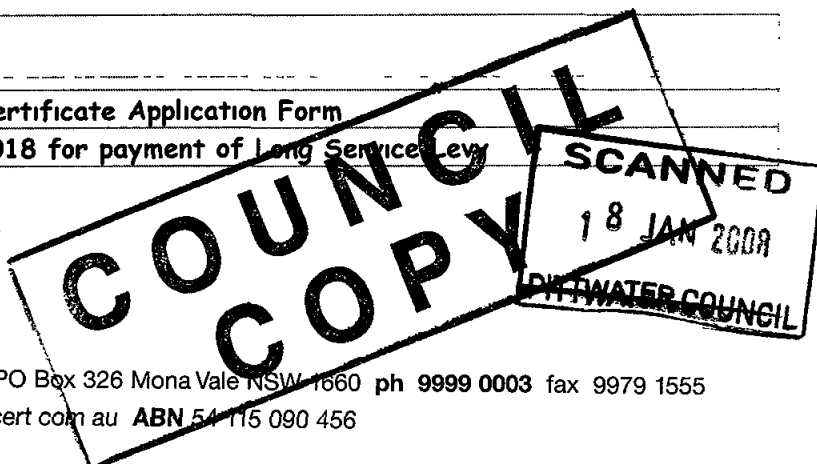
Certificate No. 2008/2522

Council	Pittwater
Determination date of issue	Approved 15 January 2008
Subject land Address Lot No, DP No	1 Bilberry Avenue, Bilgola Plateau Lot 13 DP 24536
Applicant Name Address Contact No (phone)	Mrs L Dubois 1 Bilberry Avenue, Bilgola Plateau NSW 2107 9918 3568
Owner Name Address Contact No (phone)	Mr Peter & Mrs Laura Dubois 1 Bilberry Avenue, Bilgola Plateau NSW 2107 9918 3568
Description of Development Type of Work	Alterations & Additions to an Existing Dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	C & C Poppleton trading as Barrenjoey Constructions 137445C
Value of Work Building	\$120,000 00

Attachments

- Copy of completed Construction Certificate Application Form
- Pittwater Council receipt no 232018 for payment of Long Service Levy

\$30.00 232216 17/1/08



Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Architectural Plans & Construction Specifications, reference nos A1B & A2B, prepared by Nigel Merryweather, dated 9 April 2007
- Structural Details (including design certification), reference nos SY070659-S1 00A & S2 00A, prepared and endorsed by Acor Consultants, dated 6 November 2007
- Erosion & Sediment Control Plan, reference no SY070659-S3 00A prepared by Acor Consultants, dated 9 November 2007
- Schedule of External Finishes, dated 25 May 2007
- Copy of Sydney Water approval dated 6 November 2007

Certificate

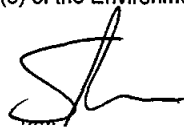
I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed

Date of endorsement
Certificate No


15 JAN 2008
2008/2522

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Stephen Pinn
BPB0326
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

N0208/07
2 October 2007

BCA Classification

1a



Drawing Title

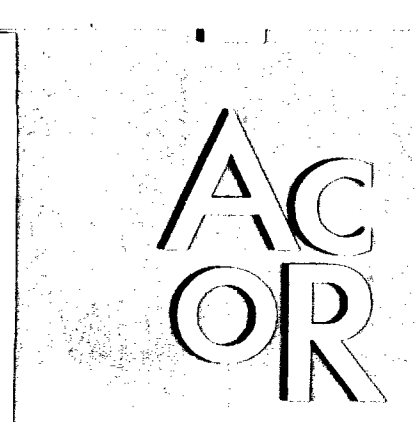
EROSION AND SEDIMENT CONTROL PLAN AND DETAIL

Architect

**NIGEL MERRYWEATHER
ARCHITECTS**

5 ELGATA CLOSE
AVALON NSW 2107

PHONE : (02) 9918 2839
FAX : (02) 9918 2439

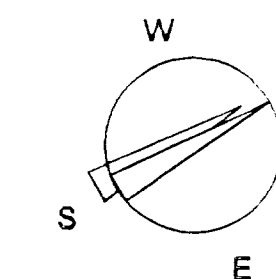


Project

PROPOSED EXTENSION
1 BILBERRY AVE
BILGOLA NSW 2107

Drawing Title				
EROSION AND SEDIMENT CONTROL PLAN AND DETAILS				
Drawn BTK	Date 06F 2007	Scale A1	Q.A. Check	Date
Checked CMR	Project No. SY07 0659		Dwg. No. S3.00	Issue A

LEGEND



AREA SCHEDULE SQ M

SITE AREA	832
60% OF SITE AREA IS	499
LANDSCAPED AREA	501

EXISTING HOUSE	129
CARPORT	36

NEW EXTENSION GF	69
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BUILT UPON AREA IS
INCREASED BY 49 SQ M

EXISTING WALLS TO
REMAIN

EXISTING WALLS TO
BE DEMOLISHED

NEW STUD WALLS
PLASTERBOARD LINING
INTERNALLY. EXTERNAL
CLADDING WEATHERBOARDS
PAINTED SAME AS EXISTING.
R2.0 INSULATION BETWEEN
STUDS

SCHEDULE OF PROPOSED NATIVE PLANTING

	NO
SMALL TREE BLUEBERRY ASH ELEOCARPUS RETICULATUS	1
SMALL SHRUBS DWARF LILLI PILLI ACMENA SNITHII	16
FLOWERING SHRUB CALLISTEMON SELECTED BOTTLEBRUSH	1

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT
CONSENT NO. 2008/67 DATE 2.10.07
CONSTRUCTION CERT. NO. 2008/2522
CONSTRUCTION
CERTIFICATE PLANS
8 GENERAL AMENDMENTS 5407
5. Planning Amendment No. 2008/2522
A GENERAL AMENDMENTS 8207

NIGEL MERRYWEATHER
ARCHITECT

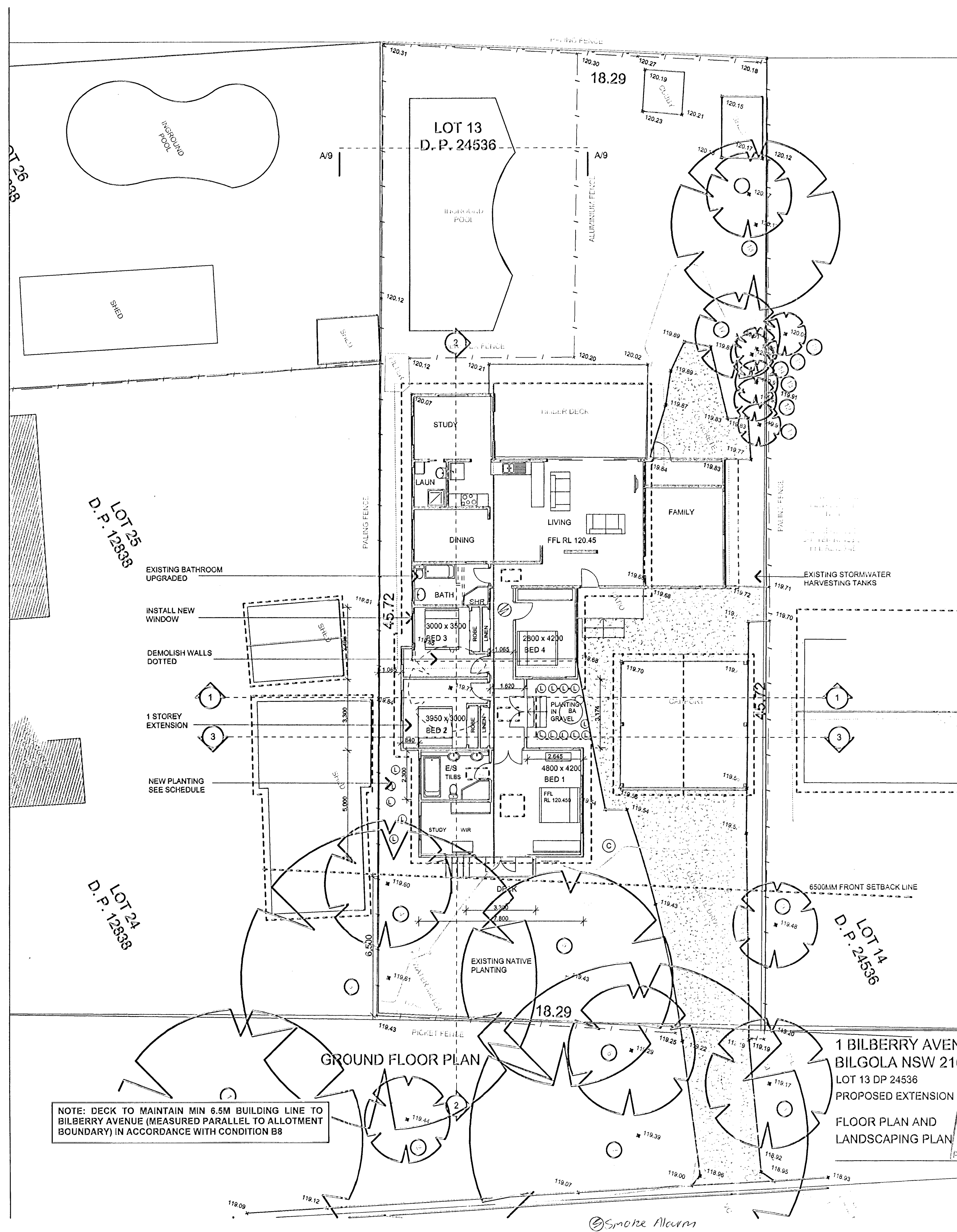
TELEPHONE 9918 2839
FACSIMILE 9918 2439

DATE APR 07 SCALE 1:100

DRAWING NUMBER 1B

SILGATA CLOSE ALCON, NSW 2107
NIGEL MERRYWEATHER & ASSOC. PT
ABN 67 003 440 268 ACN 003 440 268

COUNCIL COPY



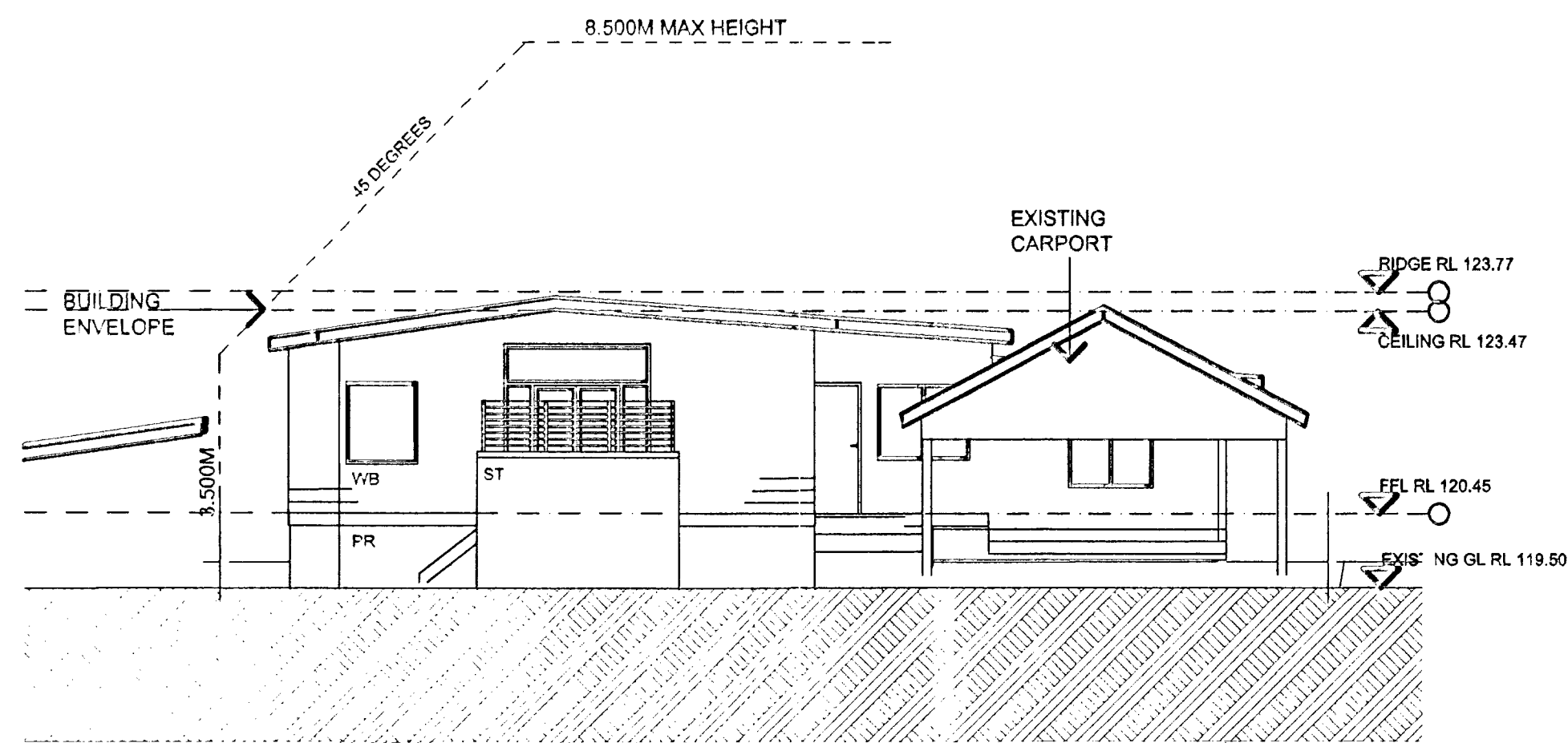
ROOF PLAN

SYDNEY WATER APPROVED

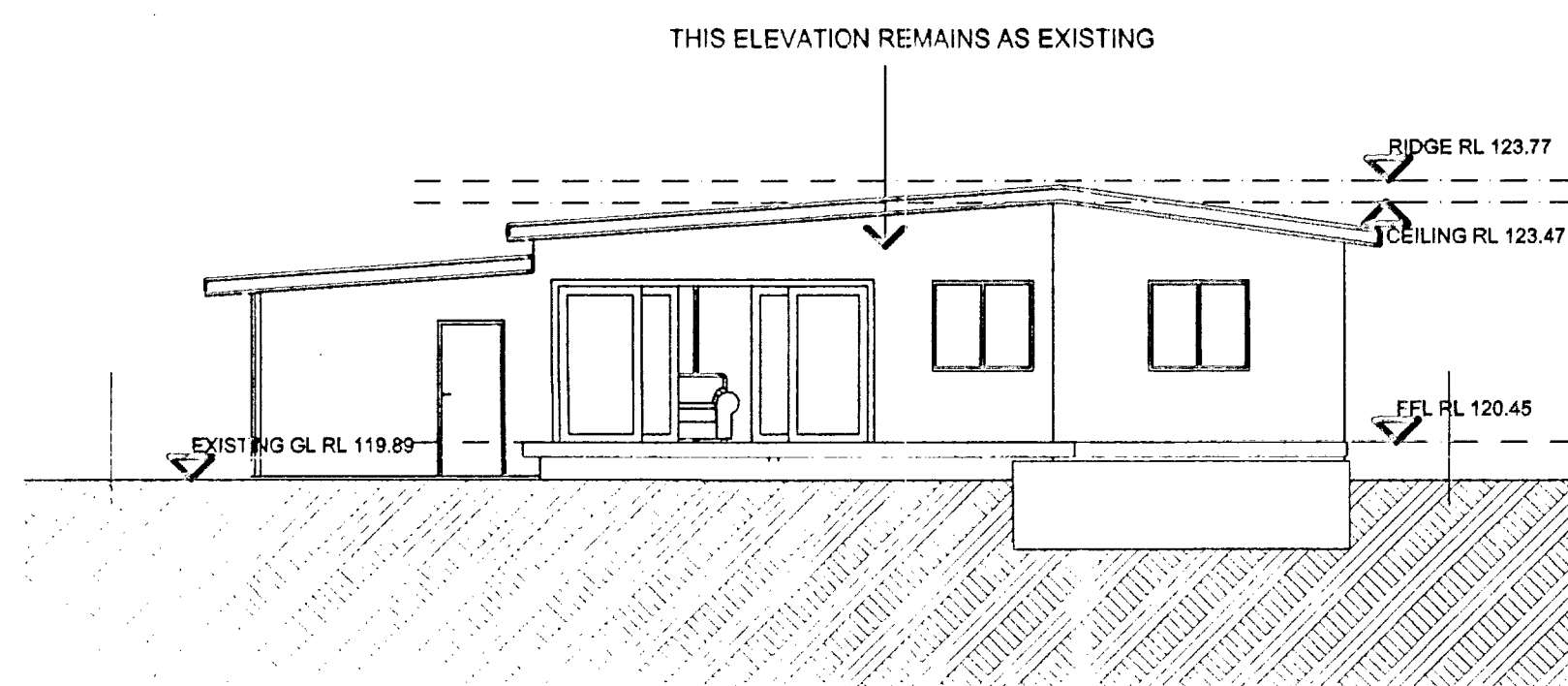
- Position of structure in relation to Sydney Water's assets is satisfactory.
- Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainlayer. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
- Any Plumbing and/or Drainage Work is to be carried out in accordance with the Sydney Water Act 1994, AS 3500, and the NSW Code of Practice.
- Gullies, Inspection Shafts and Boundary Taps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

Property No. 540975
Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

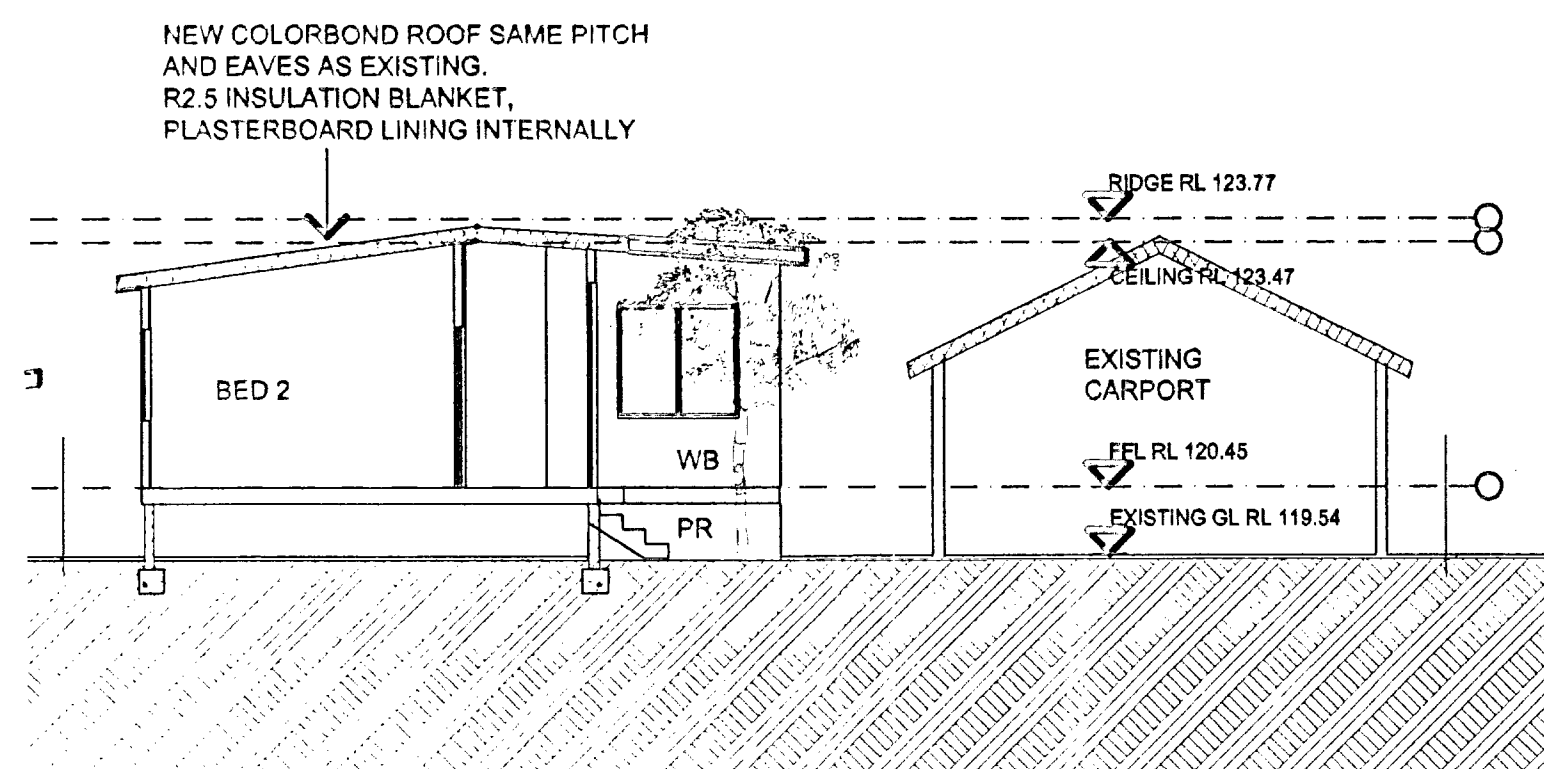
Reece 6/11/07



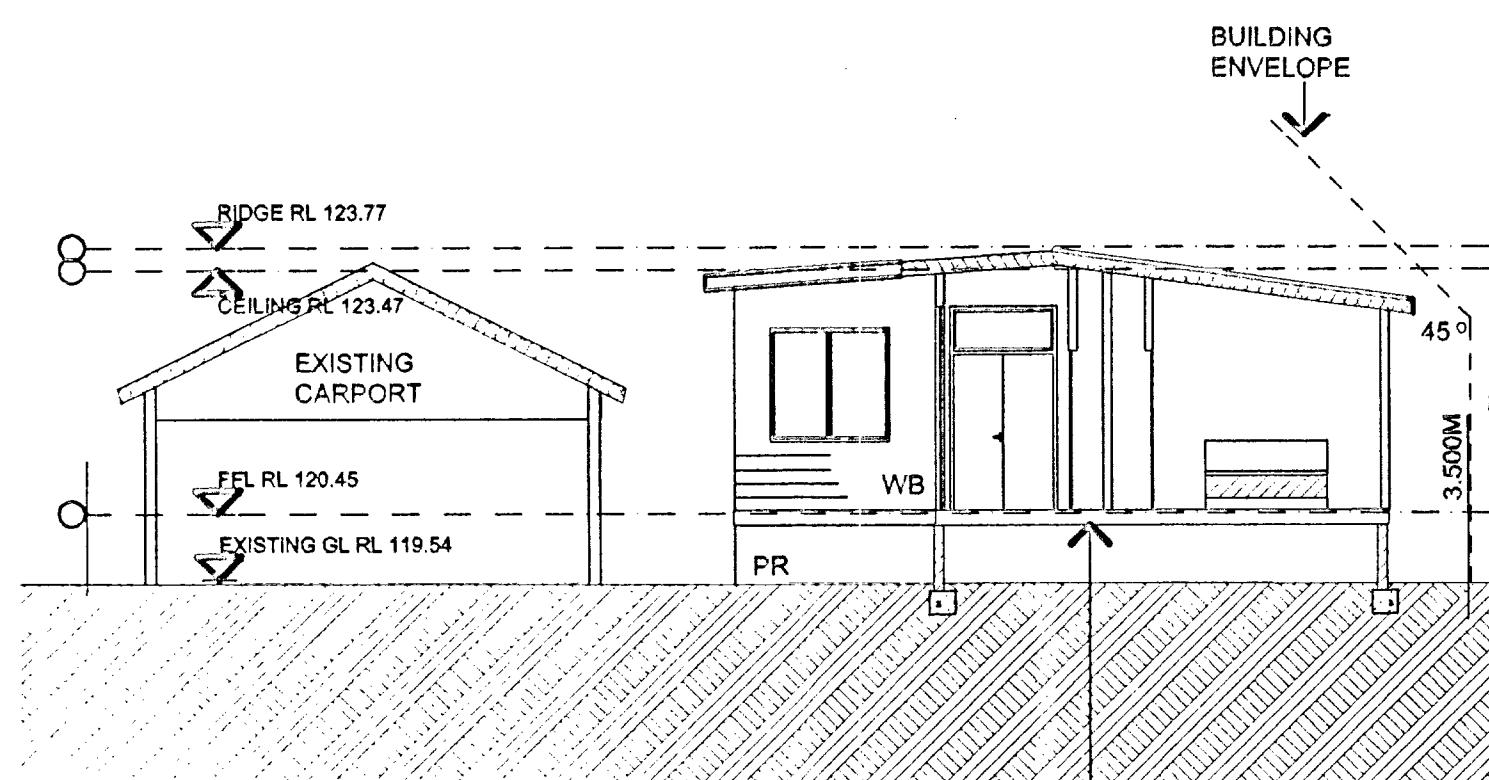
EAST ELEVATION TO STREET



WEST ELEVATION TO REAR GARDEN

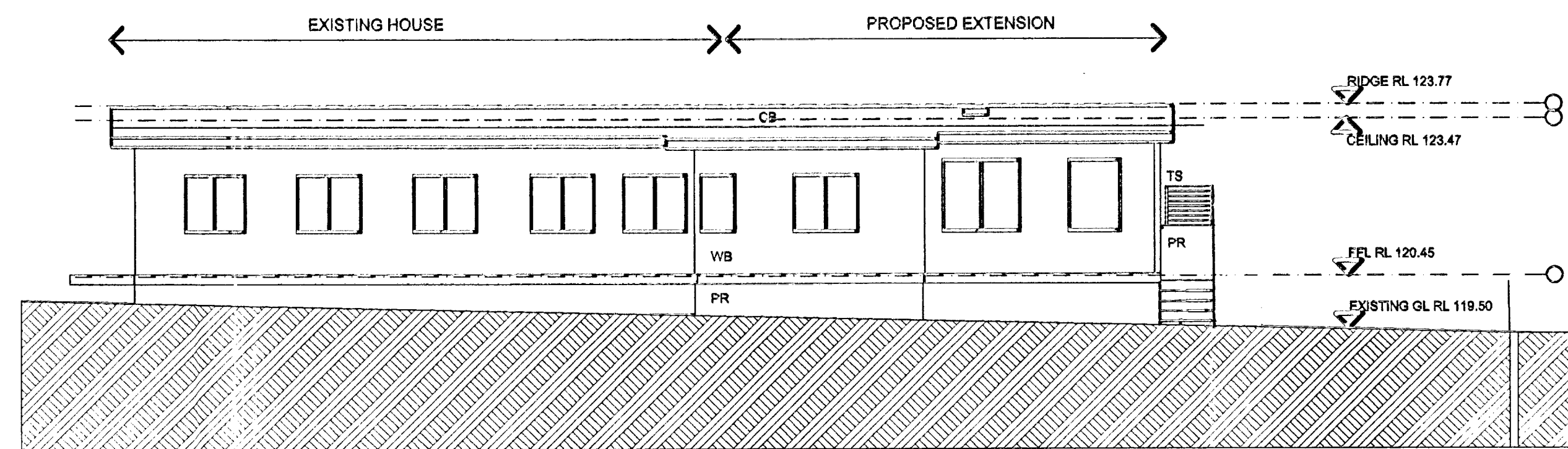


SECTION 1

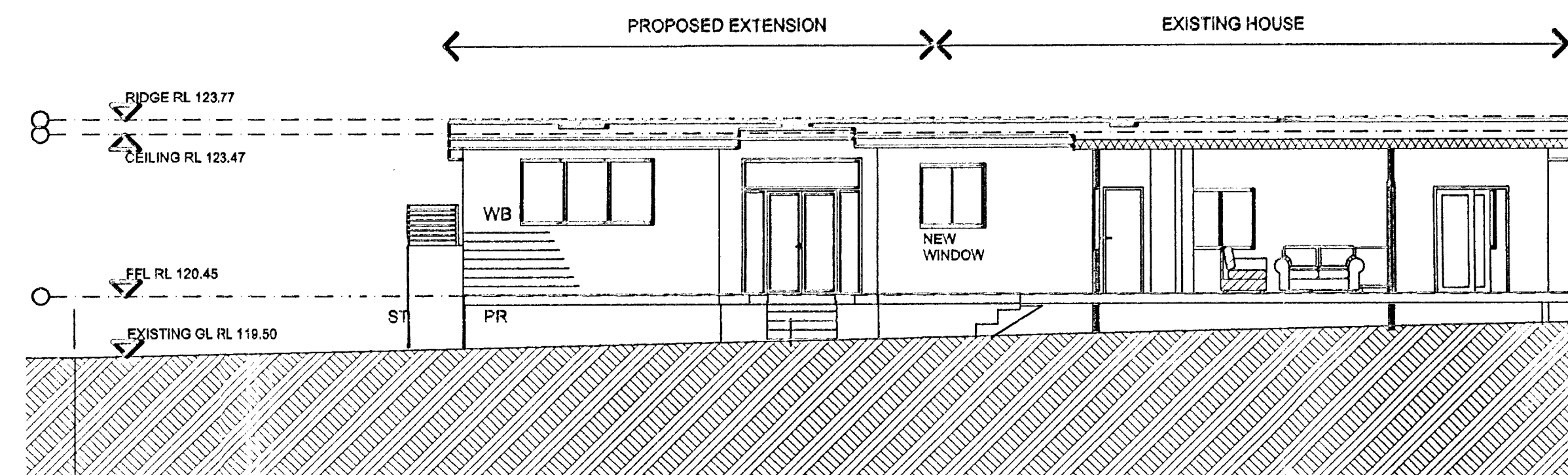


SECTION 3

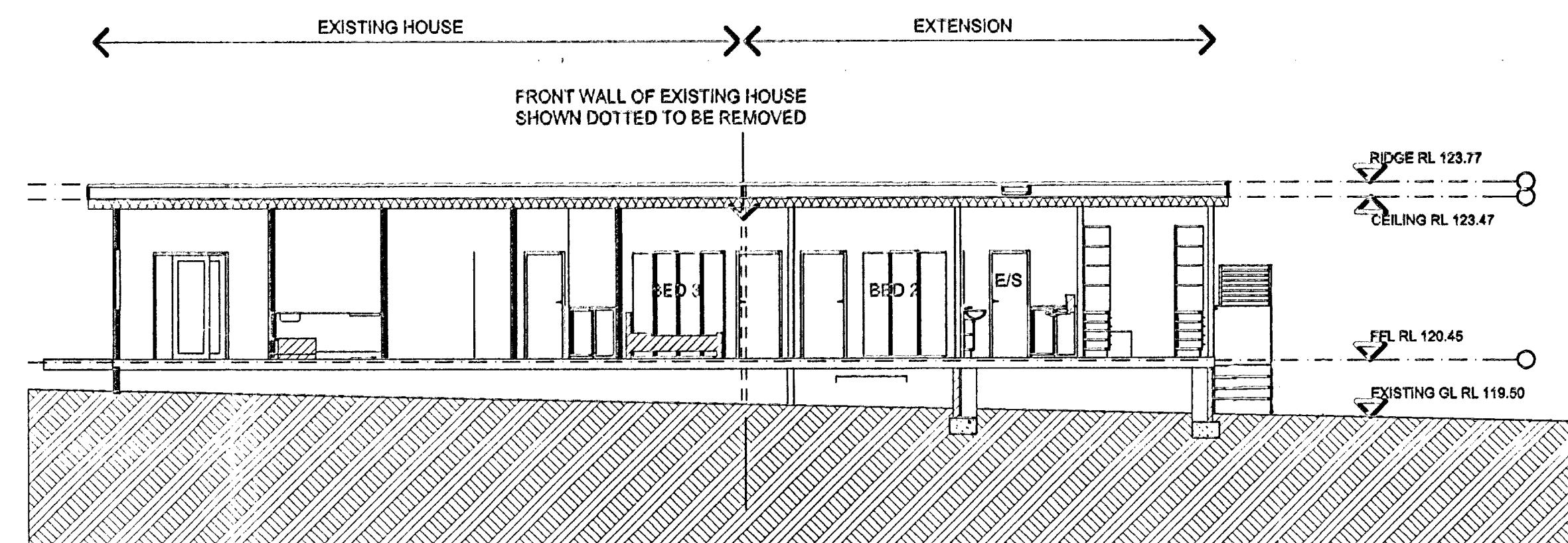
NEW TIMBER FLOOR, INSULATED BETWEEN JOISTS.
SELECTED INTERNAL FINISHES. FLOOR
CONSTRUCTION TO COMPLY WITH THE TIMBER FRAMING CODE



SOUTH ELEVATION



NORTH ELEVATION



SECTION 2

NOTE: TERMITE PROTECTION TO BE PROVIDED IN ACCORDANCE
WITH AS 3660.1. SUBFLOOR CLEARANCE TO BE IN ACCORDANCE
WITH PART 3.4.1 OF THE BUILDING CODE OF AUSTRALIA - VOL 2

EXTERNAL FINISHES SCHEDULE

WB WEATHERBOARDS SAME AS EXISTING
PAINTED DULUX OYSTER LINEN

PR PAINTED RENDER, DULUX BARE

ST SELECTED STONE FEATURE FINISH

CB COLORBOND SAME AS EXISTING
(NEUTRAL EARTHY TONE)

TS TIMBER SLATS, SIKKENS CETOL
MAHOGANY FINISH OR SIMILAR

WINDOWS ARE POWDERCOATED
ALUMINIUM, COLOUR SAME AS EXISTING

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

B GENERAL AMENDMENTS 9.4.07

A GENERAL AMENDMENTS 9.2.07

1 BILBERRY AVENUE
BILGOLA NSW 2107
LOT 13 DP 24536
PROPOSED EXTENSION
SECTIONS AND ELEVATIONS

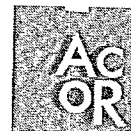
NIGEL MERRYWEATHER
ARCHITECT

TELEPHONE 9918 2839
FACSIMILE 9918 2439

DATE APR 07 SCALE 1:100

DRAWING NUMBER A2B

5 ELGATA CLOSE AVALON, NSW 2107
NIGEL MERRYWEATHER & ASSOC. PT.
ABN 67 003 440 908 ACN 003 440 908



Our Reference: **SY070659**

19 November 2007

Insight Building Certifiers
PO Box 326
MONA VALE NSW 1660

Attn: Mr Stephen Pinn

**Re: Alterations and additions – Structural Design Certification
1 Bilberry Avenue, Bilgola Plateau**

Pursuant to the provisions of clause A2.2 of the building Code of Australia, I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements of the Building Code of Australia, relevant Australian standards and relevant conditions of the development consent.

I am an appropriately qualified and competent person in this area and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings.

\$1.00, \$2.00, \$3.00

I possess indemnity insurance to the satisfaction of the building owner or my principal

Name of Designer	Christopher Rowse
Qualifications	BE, MIEAust, CPEng, NPER
Address of designer	Level 1, 24 Falcon Street, Crows Nest NSW 2065
Business telephone number	(02) 9438 5098
Name of Employer	ACOR Consultants Pty Ltd

Signature

Yours sincerely,
ACOR Consultants Pty Ltd

Chris Rowse
Director

ACOR CONSULTANTS PTY LTD

ENGINEERS

MANAGERS

INFRASTRUCTURE PLANNERS

SYDNEY-BRISBANE-NEWCASTLE

ACN 079 306 246

ABN 26 522 454 721

Level 1, 24 Falcon Street

PO Box 822

Crows Nest NSW 2065

TEL 02 9438 5098

FAX 02 9438 5398

ACOR Consultants Pty Ltd

Created on 11/19/2007 11:49:00 AM
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GENERAL NOTES

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED.
- G3. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
ALL LEVELS ARE EXPRESSED IN METRES.
- G5. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVER STRESSED UNDER CONSTRUCTION ACTIVITIES.
- G6. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
- G7. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORISATION FOR A VARIATION.
ANY VARIATIONS INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT OR PROJECT MANAGER BEFORE THE WORK COMMENCES.
- G8. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- G9. THE BUILDER SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.
- G10. BUILDING FROM THESE DRAWINGS IS NOT TO COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
- G11. THE WORD 'ENGINEER' USED IN THESE NOTES REFER TO AN EMPLOYEE OR NOMINATED REPRESENTATIVE OF **ACOR CONSULTANTS PTY.LTD.**
- G12. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING SUPERIMPOSED LOADS:

WIND LOADS IN ACCORDANCE WITH AS1170 - PART 2 2002
STRUCTURAL IMPORTANCE MULTIPLIER **1.0**
TERRAIN CATEGORY **3**
REGIONAL WIND SPEED
REGION A : V 35 **38** m/s
V 1000 **46** m/s

LIVE LOADS
ROOF - NON-TRAFFICABLE **0.25** kPa
RESIDENTIAL FLOOR AREAS **1.5** kPa
UNLESS NOTED OTHERWISE

FOUNDATIONS

- F1. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING INTENSITY OF **150 kPa** ON **SAND** IN ACCORDANCE WITH:

GEOTECHNICAL REPORT No. : **NA**

PREPARED BY : **NA**

IF A GEOTECHNICAL INVESTIGATION HAS NOT BEEN MADE, THE FOUNDATION CONDITIONS AND REACTIVITY CLASS ARE AN ASSUMPTION AND MUST BE CONFIRMED BY TRIAL EXCAVATIONS BY THE BUILDER.

FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS BEARING PRESSURE BEFORE PLACING MEMBRANE, REINFORCEMENT OR CONCRETE.
- F2. RESIDENTIAL SLABS AND FOOTINGS HAVE BEEN DESIGNED FOR A REACTIVITY CLASS **S** TO AS2870.
- F3. BEARING MATERIAL AT BASES OF PIERS TO BE CONFIRMED BY AN EXPERIENCED GEOTECHNICAL ENGINEER OR ENGINEERING GEOLOGIST.
- F4. EXCAVATION NEAR FOOTINGS SHALL NOT EXTEND BELOW FOUNDATION LEVEL WITHOUT THE ENGINEERS APPROVAL.
- F5. ALL FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- F6. DO NOT BACKFILL RETAINING WALLS (OTHER THAN CANTILEVER WALLS) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM IS COMPLETED.
- F7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ANY EXCAVATION IN A STABLE CONDITION WITHOUT ADVERSELY AFFECTING SURROUNDING PROPERTY INCLUDING SERVICES.
THIS INCLUDES OBTAINING ALL NECESSARY APPROVALS FOR SHORING AND ANCHOR SYSTEMS.
- F8. ANY OVER EXCAVATION SHALL BE BACKFILLED WITH CONCRETE GRADE M5.
- F9. FOUNDATIONS ADJACENT TO SERVICES ETC. SHALL BE EXTENDED DOWN SUCH THAT THE INFLUENCE LINE OF THE FOUNDATION IS BELOW THE ADJACENT SERVICE.

BRICKWORK NOTES

- B1. ALL WORKMANSHIP AND MATERIAL SHALL COMPLY WITH AS 3700, AND THE SPECIFICATIONS.
- B2. BUILD ALL LOAD BEARING WALLS BEFORE SUPPORTED MEMBERS ARE POURED.
PROVIDE 75mm MINIMUM BEARING FOR SLABS AND 230 MM MINIMUM FOR BEAMS UNLESS NOTED OTHERWISE.
- B3. ONLY ENGINEER APPROVED MASONRY ANCHORS TO BE USED.
ANCHOR DIAMETER SHOWN REFERS TO STUD THREAD DIAMETER.
ANCHOR ONLY INTO SOLID BRICKS.
- B4. CUTTING AND CHASING OF BRICKWORK IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- B5. NO BRICKWORK TO BE BUILT ON PROPPED SLABS.
- B6. OBTAIN ENGINEERS APPROVAL BEFORE COMMENCING BRICKWORK ON SUSPENDED SLABS.
- B7. MINIMUM CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF BRICKS SHALL BE 20 MPa (F_{ck} = 20 MPa).
- B8. MORTAR TYPE SHALL BE 1 : 1 : 5 FOR M3 (NORMAL) & 1 : 0.5 : 4.5 FOR M4 MORTAR (EXPOSURE GRADE) UNLESS NOTED OTHERWISE.
- B9. ALL BRICK WALLS ON SLABS WITH NO WALLS UNDER, REINFORCE WITH 2-R6 RODS PER LEAF ONE COURSE ABOVE SLAB.
(HOT DIP GALVANISED TO EXTERNAL LEAF OF CAVITY WALL)
- B10. WHERE MASONRY ABUTS STEEL OR CONCRETE STRUCTURES, THEY SHALL BE RESTRAINED USING 32 MM X 12 MM THICK GALVANISED STEEL STRAPS 300 MM LONG.
POWER FIX TO COLUMNS AT EVERY -
5TH COURSE - STANDARD METRIC BRICK
4TH COURSE - MODULAR METRIC BRICKS, 90 MM HIGH METRIC BLOCKS
2ND COURSE - 200 MM HIGH METRIC BLOCKS.
- B11. BRICK TIES TO BE AT VERTICAL CENTRES AS PER NOTE B10. HORIZONTAL CENTRES OF TIES NOT TO EXCEED 600 MM.
- B12. ALL ENGAGED BRICK PIERS TO BE 110 X 230 UNLESS NOTED OTHERWISE.
- B13. ALL BRICKWORK IN STRAIGHT SECTIONS AND CORNERS TO BE FULLY BONDED EVEN WHEN DIFFERENT BRICK STRENGTHS ARE NOMINATED.
- B14. PLACE 2 LAYERS OF GALVANISED FLAT STEEL WITH GRAPHITE GREASE BETWEEN LOAD BEARING MASONRY AND CONCRETE SLABS.
ENSURE TOP SURFACE OF MASONRY IS SMOOTH.
- B15. LINTEL NOT SHOWN ON DRAWINGS TO BE AS PER STANDARD PRACTICE.
ALL LINTELS TO EXTERNAL LEAF TO BE HOT DIP GALVANISED.
- B16. PLACE 'BRICK TIES' TO ALL BRICKWORK AT 4 COURSE CENTRES (AND ONE COURSE OVER OPENINGS).
- B17. ALL INTERNAL LEAVES OF EXTERNAL LOAD BEARING CAVITY WALLS TO BE TIED TO THE UNDERSIDE OF SLAB/STEELWORK WITH 'M.E.T.' 4-3' TIES OR EQUIVALENT AT 2000 CENTRES.

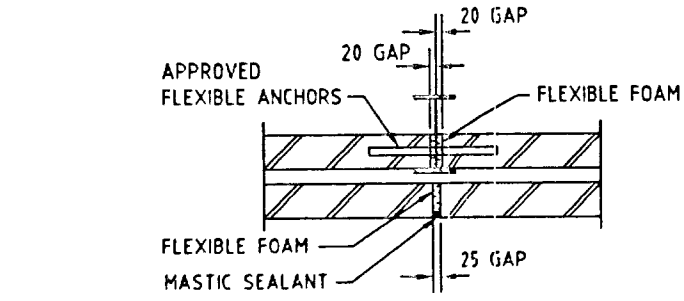
VERTICAL JOINTS

- B18. PROVIDE VERTICAL JOINTS IN BRICKWORK AT THE FOLLOWING MAXIMUM SPACINGS:

FIRST JOINT FROM CORNER **5M**
GENERAL SPACING **12M**

WALLS GENERALLY **4M**
PARAPETS **9M**

JOINT LOCATIONS TO BE CO-ORDINATED WITH ARCHITECTURAL DRAWINGS.
- B19. IN BUILDINGS WITH COLUMNS, LOCATE JOINTS AT COLUMNS & TIE BRICKWORK TO COLUMNS WITH APPROVED FLEXIBLE ANCHORS.
- B20. WHERE LOCATION OF JOINTS ABOVE RAISES DOUBT ABOUT STABILITY OF A WALL, REFER TO ENGINEER.
- B21. WIDTH OF VERTICAL JOINTS TO BE 25mm. KEEP CLEAR OF MORTAR & DEBRIS.
- B22. FILL JOINTS WITH FLEXIBLE FOAM SLIGHTLY OVERSIZED, DO NOT USE BITUMEN IMPREGNATED FIBREBOARD.
- B23. SEAL JOINTS WITH APPROVED MASTIC SEALANT RECESSED 25mm FROM FACE OF WALL.



HORIZONTAL JOINTS

- B24. PROVIDE HORIZONTAL JOINTS AS SHOWN ON DRAWINGS.
- B25. WHERE BRICKWORK IS NON-LOAD BEARING, PROVIDE 10mm GAP BETWEEN TOP OF WALL & UNDERSIDE OF SLAB & FILL WITH FLEXIBLE FOAM.

CONCRETE NOTES

- C1. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH AS 3600 CURRENT EDITIONS WITH AMENDMENTS, AND THE ACSE CONCRETE SPECIFICATION EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
- C2. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS:-

ELEMENT	COMPRESSIVE STRENGTH F _{ck} - 28 DAYS MPa	SLUMP mm	MAX. AGG. SIZE mm
FOOTINGS	25	80	20
SLABS ON GRD.	25	80	20
- C3. CEMENT TO BE TYPE SL TO AS 3972 UNLESS NOTED OTHERWISE THIS IS A MODIFIED TYPE 'GP' CEMENT. SEE ACSE CONCRETE SPECIFICATION.
- C4. NO 'BRECCIA' TYPE AGGREGATE IS TO BE USED.
- C5. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING.
- C6. A VIBRATOR IS TO BE USED FOR THE COMPACTION OF ALL CONCRETE.
- C7. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- C8. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C9. NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C10. CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USE ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY THE ENGINEER.
- C11. COVER TO REINFORCEMENT FOR CORROSION PROTECTION SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE COVER TO DOMESTIC FOOTINGS SHALL COMPLY WITH:

SURFACES IN CONTACT WITH GROUND		COVER
WITHOUT MEMBRANE WITH MEMBRANE	- SLABS	50mm
	- FOOTINGS	30mm
SURFACES ABOVE GROUND	- INTERIOR	75mm
	- EXTERIOR	75 MIN.

- COVER SHALL NOT BE LESS THAN THE SIZE OF THE AGGREGATE OR THE MAIN BARS.
- C12. CONDUITS, PIPES AND THE LIKE SHALL NOT BE PLACED WITHIN THE CONCRETE COVER.
 - C13. CURE ALL CONCRETE USING AN APPROVED METHOD IN ACCORDANCE WITH ACSE SPECIFICATION. CURING COMPOUNDS TO COMPLY WITH AS 3799. PVA BASED CURING COMPOUNDS ARE NOT ACCEPTABLE.
 - C14. ALIPHATIC ALCOHOL:-
WHEN SHADE TEMPERATURE EXCEEDS 35° C SPRAY THE EXPOSED SURFACE OF CONCRETE SLAB DURING THE PLACING AND FINISHING OPERATION WITH A FINE FILM OF APPROVED ALIPHATIC ALCOHOL.
REPEAT THE SPRAY IF THE SPRAYED SURFACE HAS BEEN RE-WORKED.
 - C15. ENSURE ADEQUATE SUPPLY OF ALIPHATIC ALCOHOL ON SITE BEFORE COMMENCING CONCRETE WORK.
 - C16. ALL CONCRETE SLABS AND BEAMS TO BE PROPORTIONED TO LIMIT DRYING SHRINKAGE TO 500 MICROSTRAIN AT 56 DAYS.
 - C17. ALL CONCRETE COLUMNS GREATER THAN 12 METRES IN HEIGHT SHALL BE POURED A MINIMUM OF 4 HOURS PRIOR TO SLAB OR BEAM OVER.
 - C18. DRIP GROOVES ARE TO BE PROVIDED AT ALL EXPOSED EDGES. COVER TO REINFORCEMENT TO COMPLY WITH C11 ABOVE.
 - C19. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
 - C20. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
BEAM NUMBERING SYSTEM
2-B10
CONCRETE BEAM UNDER
FLOOR NUMBER
WALL NUMBERING SYSTEM
W10 (250)
WALL THICKNESS (IF SHOWN ON PLAN)
WALL NUMBER
 - C21. TOP MESH FOR SLAB REINFORCEMENT TO BE CONTINUOUS OVER SLAB SUPPORTS

CONCRETE CONT'

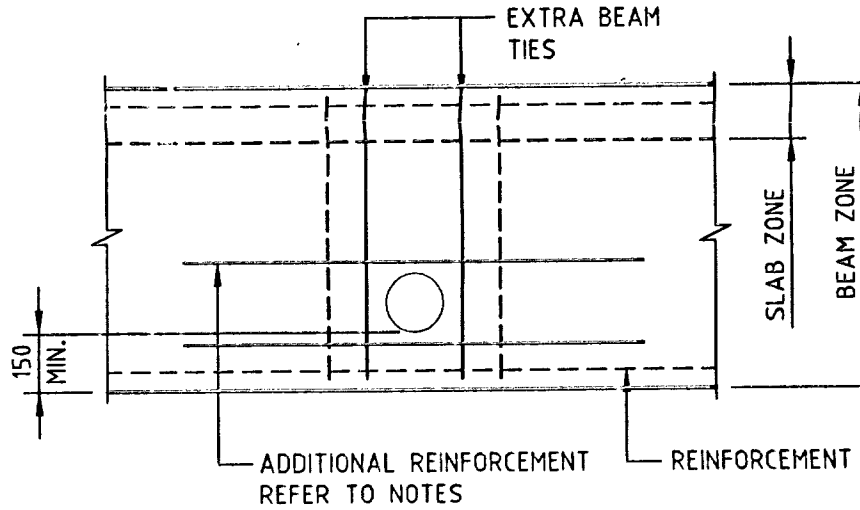
TYPICAL OPENINGS IN SLABS

- C22. FOR OPENINGS LESS THAN 300 x 300mm, BARS TO BE RE-ARRANGED AROUND HOLE.
- C23. FOR PENETRATIONS GREATER THAN 300 x 300mm BUT LESS THAN 1000mm x 1000mm USE DETAILS BELOW.
- C24. FOR PENETRATIONS GREATER THAN 1000 x 1000mm REFER TO ENGINEER'S PLANS. WHERE OPENINGS ARE NOT DETAILED, CONTACT ENGINEER IMMEDIATELY.
- C25. LOCATION OF OPENINGS TO BE TO THE APPROVAL OF THE STRUCTURAL ENGINEER.

TOP BARS: FOR EVERY TWO BARS THAT ARE TERMINATED BY OPENINGS, ADD ONE BAR EACH SIDE USING SAME GRADE AND SIZE OF REINFORCEMENT, WHERE NO TOP BARS ARE SHOWN, ADD 1-N16 TOP EACH SIDE OF OPENING.

PIPE PENETRATION THROUGH BEAM

- C26. MINIMUM DISTANCE FROM BEAM SOFFIT TO PIPE SOFFIT TO BE 150mm.
- C27. FOR PIPES UP TO Ø90, ADD ONE ROW OF TIES EACH SIDE OF PIPE.
- C28. FOR PIPES Ø91 TO Ø150, ADD TWO ROWS OF TIES EACH SIDE OF PIPE AND 1-N16 HORIZONTAL BAR 1200 LONG TOP AND BOTTOM OF PIPE AT EVERY VERTICAL TIE LEG.
- C29. FOR HOLES GREATER THAN Ø150 REFER TO ENGINEER'S DETAILS. WHERE PENETRATIONS ARE NOT DETAILED, CONTACT STRUCTURAL ENGINEER IMMEDIATELY.
- C30. LOCATION OF HOLES TO BE TO THE APPROVAL OF THE STRUCTURAL ENGINEER.



PIERING REQUIREMENT

- C31. WHERE A SERVICE TRENCH IS PARALLEL TO A SIDE OF THE SLAB, WHETHER THE SLAB BE IN AN EXCAVATED OR FILLED AREA, THEN PIERING TO SUPPORT THE SLAB BESIDE THE SERVICE TRENCH IS ONLY REQUIRED IF THE SERVICE LINE IS BELOW A LINE OF INFLUENCE DRAWN FROM THE BOTTOM OF THE EDGE BEAM. REFER TO DIAGRAM BELOW.
- C32. THESE NOTES ARE INTENDED AS A GUIDE. THERE IS ALWAYS A POSSIBILITY OF SITE CONDITIONS REQUIRING VARIATION TO THESE PROCEDURES. IN SUCH CASES, THE STRUCTURAL ENGINEER MUST BE CONSULTED.

REINFORCEMENT

SYMBOL	TYPE	AUS. STAND.	GRADE
N	NORMAL DUCTILITY	4671	500
L	LOW DUCTILITY	4671	500
E	SEISMIC (EARTHQUAKE) DUCTILITY	4671	500
R	PLAIN (ROUND)	4671	250
SL	SQUARE MESH	4671	500
RL	RECTANGULAR MESH	4671	500
TM	TRENCH MESH	4671	500

- R3. ALL REINFORCEMENT TO CONFORM TO AS1302, CURRENT EDITIONS WITH AMENDMENTS.

REINFORCEMENT SYMBOLS:

N DENOTES 500N GRADE DEFORMED BAR
S DENOTES 250S GRADE DEFORMED BAR
R DENOTES 250R GRADE ROUND BAR

THE NUMBER FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN mm.
- R4. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- R5. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- R6. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS.
- R7. SITE BENDING OF N BARS SHALL BE DONE COLD WITH POWER OR MECHANICAL BENDING TOOLS. NOTE: IF N BARS ARE HEATED ABOVE 450°C (LESS THAN RED HEAT) THEY LOSE STRENGTH.

REINFORCEMENT LAPS

- R8. LAP TOP BARS MIDSPAN. LAP BOTTOM BARS AT SUPPORTS. LAPS IN SLAB REINFORCEMENT (U.N.O.) ON PLAN OR DETAILS TO BE AS SHOWN BELOW.

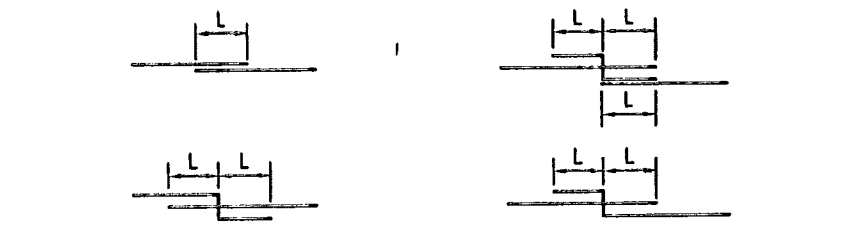
MINIMUM LAPS

BAR SIZE	L (CONCRETE DEPTH < 300)	L (CONCRETE DEPTH > 300)
N12	300	400
N16	400	500
N20	500	600
N24	600	800
N28	800	1000
N32	1000	1250
N36	1200	1500

WHERE LAPS OCCUR AWAY FROM MIDSPAN (TOP STEEL) OR SUPPORTS (BOTTOM STEEL) USE FULL MOMENT LAPS AS SHOWN BELOW. SUBJECT TO APPROVAL STOCK BAR LENGTHS AND FULL MOMENT LAPS MAY BE USED IN SLABS.

FULL MOMENT LAPS

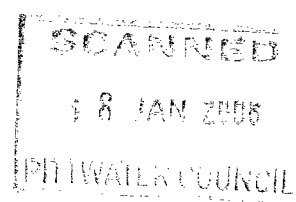
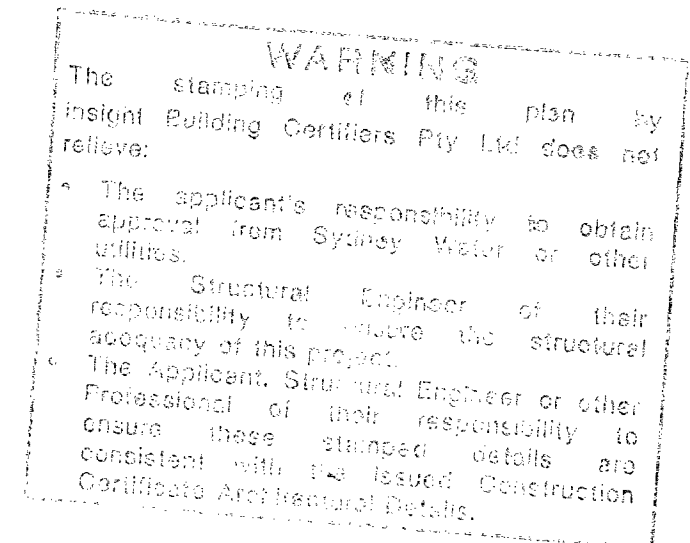
BAR SIZE	L (CONCRETE DEPTH < 300)	L (CONCRETE DEPTH > 300)
N12	400	500
N16	600	800
N20	800	1000
N24	1000	1300
N28	1500	1800
N32	2000	2300
N36	2500	2900



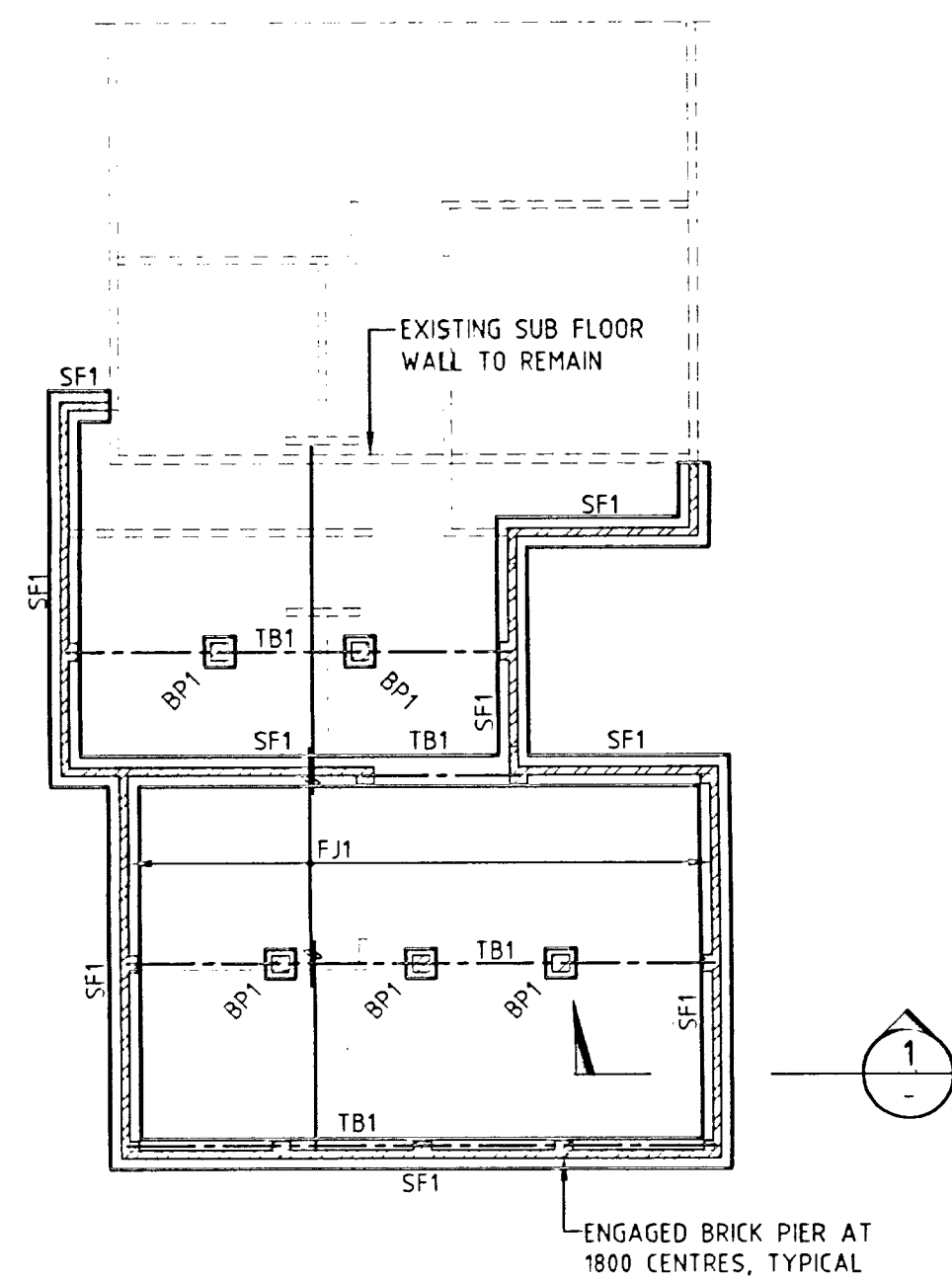
- R9. FABRIC TO CONFORM TO AS1304.
- R10. FABRIC LAPS

ALTERNATIVE FABRIC SPLICE DETAIL

W12x1200 LONG AT WIRE CENTRES
- R11. FABRIC TO EXTEND 70 WITH A CROSSWIRE ONTO WALLS U.N.O.
- R12. A MAXIMUM OF THREE SHEETS OF FABRIC SHALL BE LAPPED AT ANY POINT.



North				Client				Architect				Project				Drawing Title			
				LAURA & PETER DEBOIS				NIGEL MERRYWEATHER ARCHITECTS				ACOR CONSULTANTS				PROPOSED EXTENSION			
								5 ELGATA CLOSE AVALON NSW 2107				1 BILBERRY AVE BILGOLA NSW 2107				GENERAL NOTES			
								PHONE: (02) 9918 2839 FAX: (02) 9918 2439				Level 1, 24 Falcon Street PO Box 822				Drawn			
												Crows Nest NSW 2066				BTk			
												PH: +61 2 9438 5008				Date			
												fax: +61 2 9438 5008				OCT 2007			
												e-mail: acor@acor.com.au				Scale			
																AT			
																Q.A. Check			
																Date			
																Checked			
																Project No.			
																CMR			
																SY07 0659			
																Dwg. No.			
																S1.00			
																Issue			
																A			

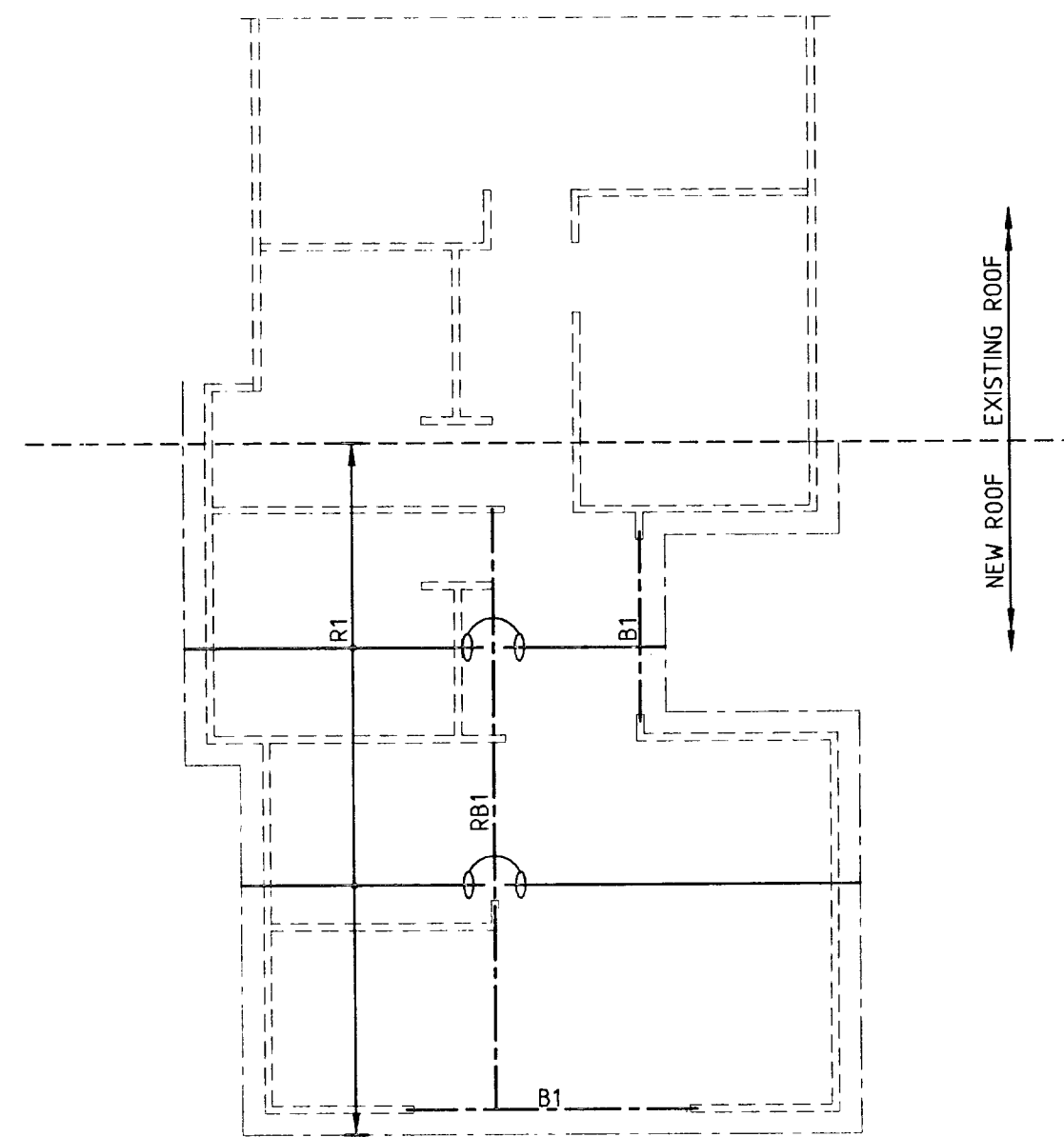


FOOTING AND SUB FLOOR PLAN
SCALE 1:100

TB1 - BEARER 2 x 190 x 45 (F7) TREATED PINE

FJ1 - JOISTS 165 x 45 (F7) TREATED PINE AT 450 CENTRES

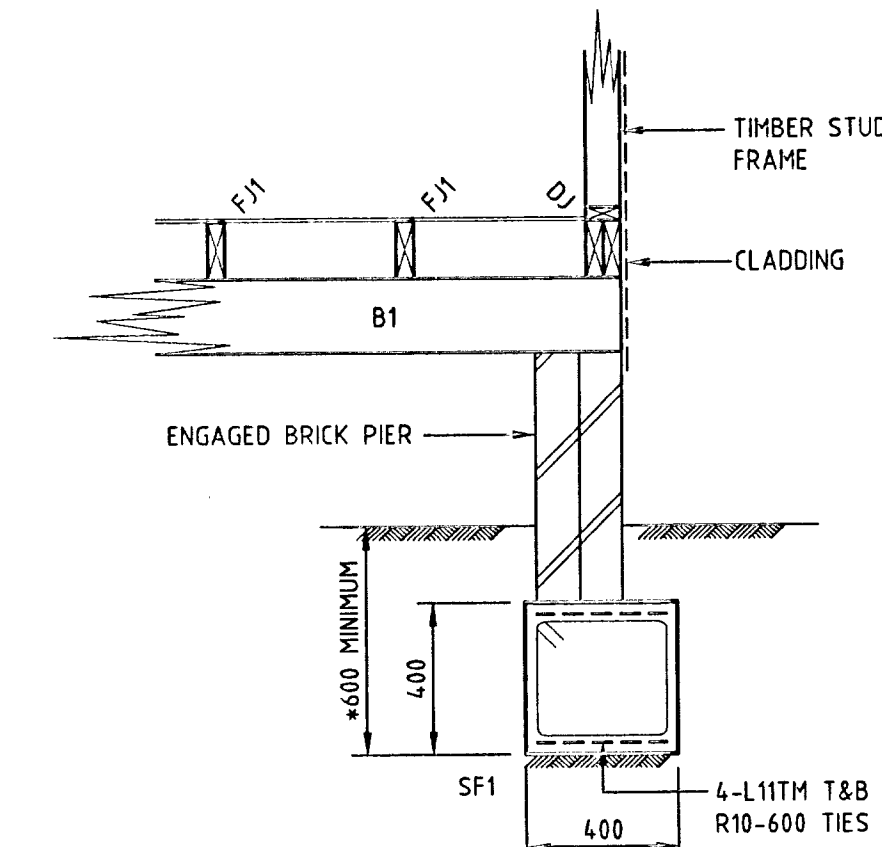
BP1 - 230 SQ BRICK PIER ON 400SQ x 300 DEEP MASS CONCRETE PAD



ROOF FRAMING PLAN
SCALE 1:100

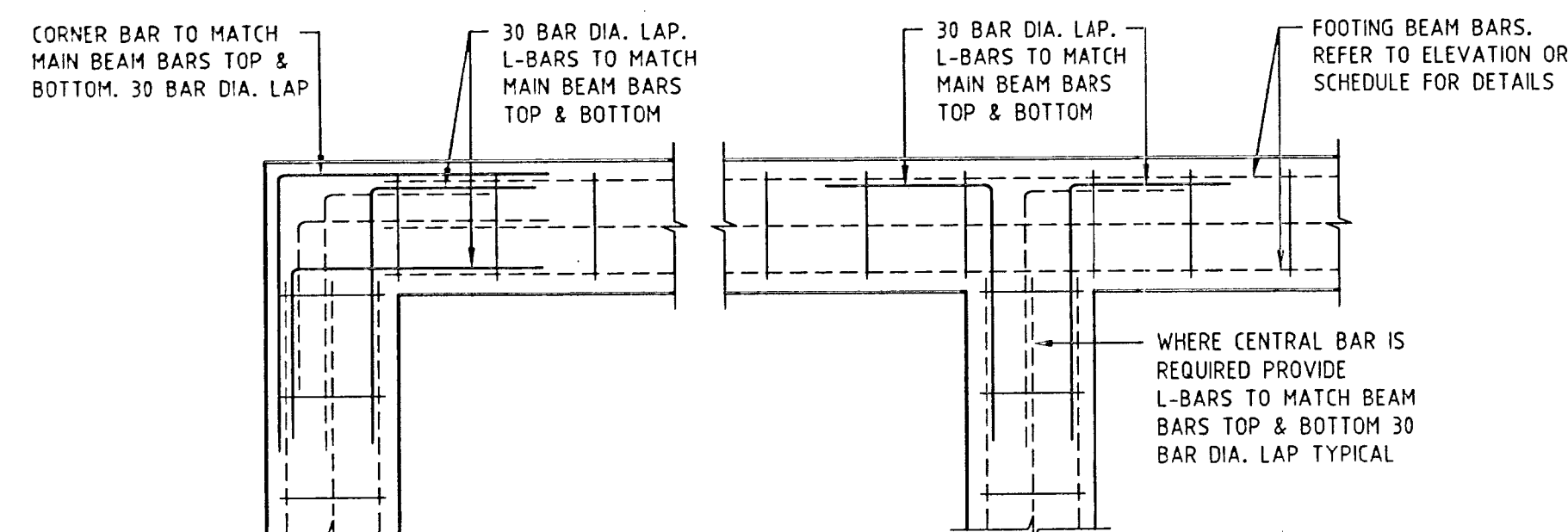
MEMBER SCHEDULE

MARK	SIZE	REMARKS
BEAMS		
B1	2 x 150 x 45 LVL	-
RB1	200 x 45 LVL	-
RAFTERS		
R1	150 x 45 LVL	AT 600 CENTRES



SECTION 1
SCALE 1:20

* - MINIMUM DEPTH TO BOTTOM OF FOOTING IS TO MATCH EXISTING

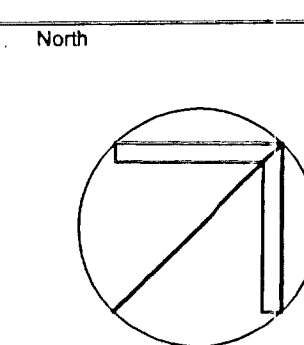


CORNER

T-INTERSECTION

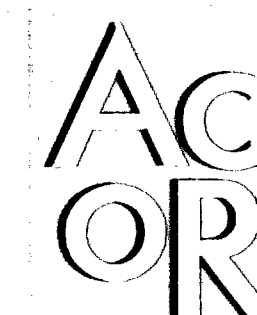
FOOTING BEAM DETAILS
SCALE 1:20

Issue	Description	Date	Drawn	Chkd
A	ISSUED FOR CONSTRUCTION CERTIFICATE	05.11.07	BTK	CHR



Client
LAURA & PETER DEBOIS

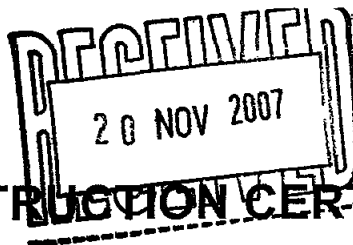
Architect
NIGEL MERRYWEATHER ARCHITECTS
5 ELGATA CLOSE
AVALON NSW 2107
PHONE : (02) 9918 2839
FAX : (02) 9918 2439



ACOR CONSULTANTS
ENGINEERS
MANAGERS
INFRASTRUCTURE
PLANNERS
Level 1, 24 Falcon Street
PO Box 822
Crows Nest NSW 2005
PH +61 2 9438 5208
fax +61 2 9438 5308
e-mail acor@acor.com.au

Project
PROPOSED EXTENSION
1 BILBERRY AVE
BILGOLA NSW 2107

Drawing Title					
FOOTING, SUBFLOOR AND ROOF PLANS AND SECTIONS					
Drawn	Date	Scale	At	G.A. Check	Date
BTK	OCT 2007				
Checked	Project No.	Dwg. No.	Issue		
CMR	SY07 0659	S2.00	A		



APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible.

Mr ☐ Mrs ☒ Ms ☐ Dr ☐ Other

Given Names (or ACN) Family Name (or Company)

Postal Address (we will post all mail to this address)

 Post Code

Daytime telephone Alternate no. Mobile no.

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

Address

As owner(s) of the land to which this application relates: I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

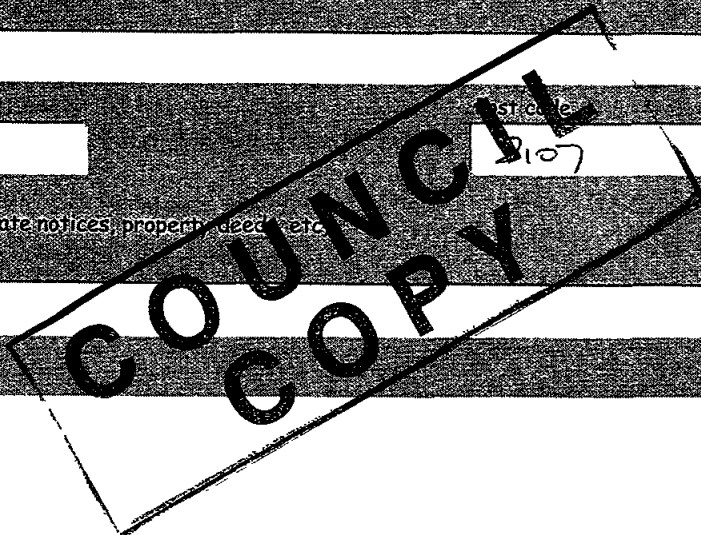
Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no. Street name

Suburb State

Legal Property Description (these details are shown on your rate notices, property deed, etc)
 Lot no. DP no.



4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved

Single storey extension at front of existing house
The extension contains extension of two existing rooms, the addition of two rooms, and an ensuite

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work \$ 120,000

6. Development Consent

Council Consent no. N0208/07

Date of Determination 2 10 07

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification 1a

8. Builder's details

If known, to be completed in the case of residential building work

Name Barrenjoey Constructions - Craig Poppleton

License no. 137445C

Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct

Signature



Date

19/11/07

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes [checked] No []

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes [checked] No []

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable	In the case of an application for a Construction Certificate for building work
[checked]	[]	[]	Three (3) copies of detailed architectural plans and specifications
[checked]	[]	[]	The plan for the building must consist of a general plan drawn to a scale not less than 1 100 and a site plan drawn to a scale not less than 1 200 The general plan of the building is to a) show a plan of each floor section b) show a plan of each elevation of the building c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground d) indicate the height design and full construction details e) indicate the provision for fire safety and fire resistance (if any)
[checked]	[]	[]	Where the proposed building work involves any alteration or addition to or rebuilding of an existing building all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration addition or rebuilding with a separate letter listing the proposed changes being submitted
[]	[]	[checked]	3 copies of a specification a) to describe the construction and materials of which the building is to be built and the method of drainage sewerage and water supply b) state whether the materials proposed to be used are new or second hand and give particular
[]	[]	[checked]	Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification
[]	[]	[checked]	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent has the original Development Consent been modified by Council?
[]	[]	[checked]	Except in the case of an application for or in respect of domestic building work a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated and b) if the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated This list must specify the standard of design of each of those fire safety measures to which they were originally installed c) This list must describe the extent capability and basis of design of each of the measures concerned
[]	[]	[checked]	Copy of BASIX Certificate & Report
[checked]	[]	[]	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989

Owner Builders require Property Owner Builder s Permit issued by the Department of Fair Trading for all projects over \$5 000 In addition to this permit all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building At 1989 as amended This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years

Enquires on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21 Astra House 227 Elizabeth Street Sydney (ph 133220)

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? 832	Gross floor area of building (m ²) as proposed 198
What are the current uses of all or parts of the building(s)/land? Domestic accom	Location 1 Bilberry Avenue, Use Bilgola Plateau.
Does the site contain a dual occupancy? No	What is the gross floor area of the proposed addition or new building (sq metres)? 69m ²
What are the proposed uses of all parts of the building(s) land? Private accom	Number of pre-existing dwellings One
Number of dwellings to be demolished none	How many dwellings proposed? One
How many storeys will the building consist of? Single (one)	Will the new building be attached to the existing building? yes Will the new building be attached to any new building? no

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	☐	Concrete	☐	Aluminium	☐	Timber	☒
Full brick	☐	Timber	☒	Concrete		Steel	☐
Single brick	☐	Other	☐	Concrete tile	☐	Other	☐
Concrete block	☐	Unknown	☐	Fibrous cement	☐	Unknown	☐
Concrete/masonry	☐			Fibreglass	☐		
Concrete	☐			Masonry/terracotta shingle	☐		
Steel	☐			Tiles	☐		
Fibrous cement	☐			Slate	☐		
Hardiplank	☒			Steel	☒		
Timber/weatherboard	☐			Terracotta tile	☐		
Cladding aluminium	☐			Other	☐		
Curtain glass	☐			Unknown	☐		
Other	☐						
Unknown	☐						

Pittwater Council

OFFICIAL RECEIPT

14/01/2008 Receipt No 232010

To LAURA SUSAN DUBOIS

1 BILBERRY AVENUE
BILGOLA PLATEAU

Applic	Reference	Amount
CL Recei	QISL Builders 1 X 30209/07	\$420 00

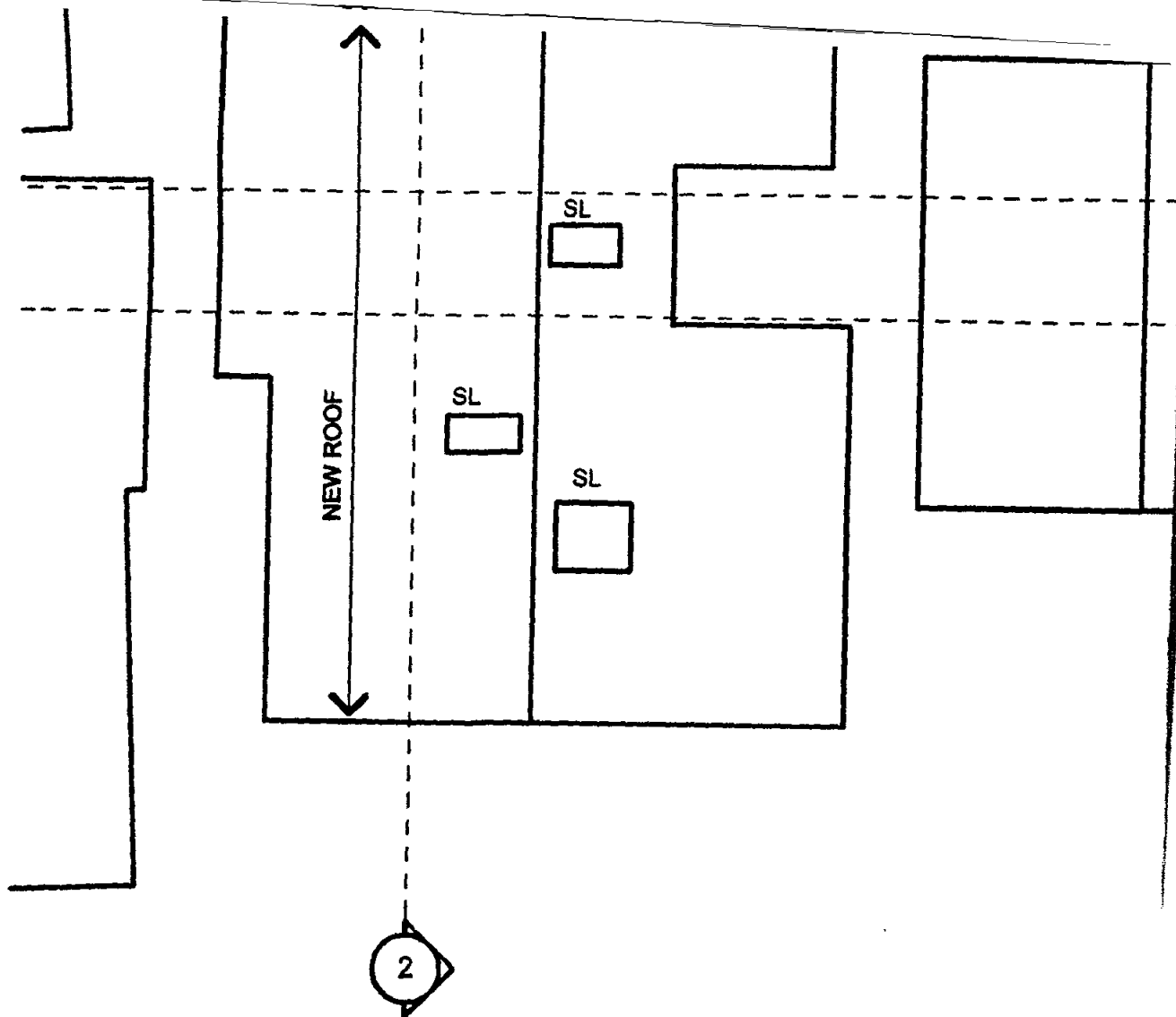
Total \$420 00

Amounts Tendered

Cash	\$0 00
cheque	\$0 00
Db/Cr Card	\$420 00
Money Order	\$0 00
Agency Rec	\$0 00
Total	\$420 00
Rounding	\$0 00
Charge	\$0 00
Nett	\$420 00

Printed 14/01/2008 2 22 09 PM

Cashier AWard



ROOF PLAN

SYDNEY WATER APPROVED

- 1 Position of structure in relation to Sydney Water's assets is satisfactory
- 2 Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainlayer
- 3 It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
- 4 Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994 AS 3500 and the NSW Code of Practice
- 5 Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water
- 6 Property No 3401975

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Reece

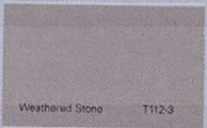
6/11/07

**COUNCIL
COPY**

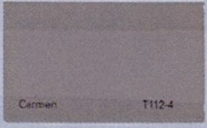
NO28/07



Woodland Grey: Roof, Gutters, Roof Capping

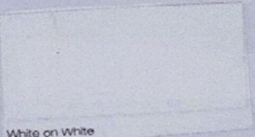


Taubmans
Walls, Down-
Pipes, Carport
Beams +
Posts



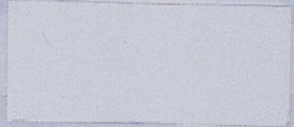
Taubmans

Fascias, Bargeboards, Carport Privacy
Screens, Deck Privacy Screens, Front
Fence, Back Deck Posts + Beams, Front
Door.



Dulux

Window + Door Architraves, internal Ceilings



Dulux

Antique white USA: Eaves

25 MAY 2007

COUNCIL
COPY