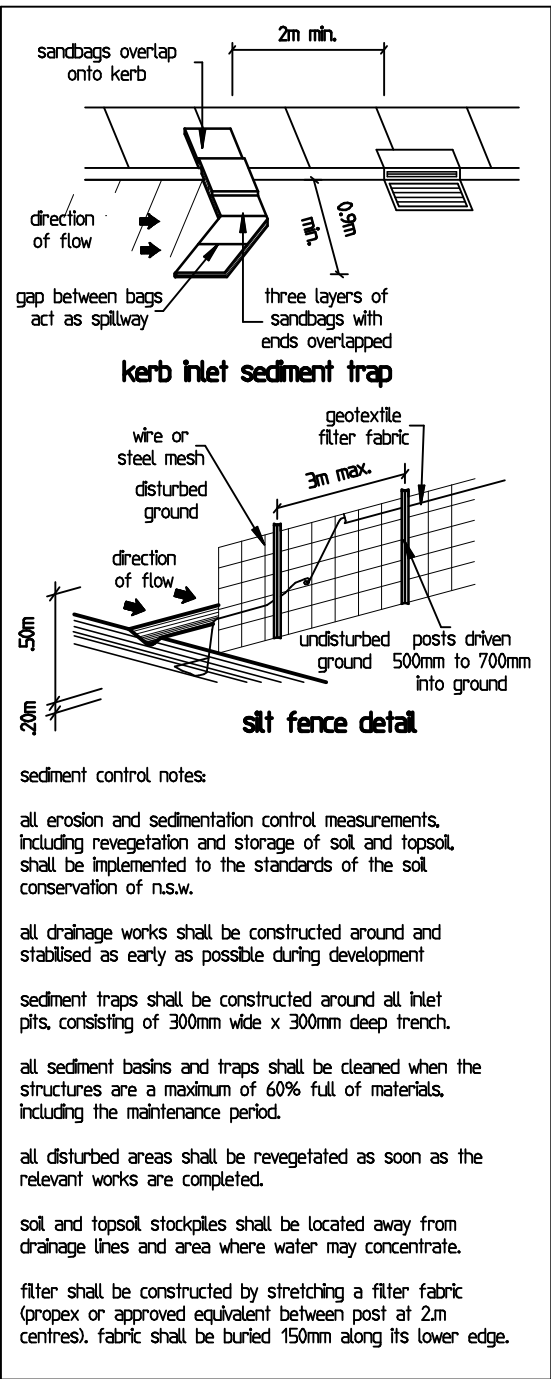




**sediment control notes:**

- all erosion and sedimentation control measurements, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of n.s.w.
- all drainage works shall be constructed around and stabilised as early as possible during development
- sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
- all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of materials, including the maintenance period.
- all disturbed areas shall be revegetated as soon as the relevant works are completed.
- soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
- filter shall be constructed by stretching a filter fabric (propex or approved equivalent between post at 2m centres), fabric shall be buried 150mm along its lower edge.

**general site notes:**

- “as selected” refers to as selected by the owner
- final location of buildings to be verified on site by a registered surveyor
- Sewer & Stormwater layout is diagrammatic only and subject to contractors assessment and/or any construction constraints. Drainage location and connection points are to be established on-site.
- sewer to local authorities requirements.
- all ground lines to be verified on-site by the builder.
- written dimensions to take precedence over scaling, any plan discrepancies to be referred back to a&n design.
- finished floor levels may vary (+/- 200mm) from those indicated on plan, due to site clearing, demolition, contour inconsistencies etc.
- see elevations regarding all dropped edge beam details.
- tender/contract relevant to this proposal to be read in conjunction with this plan
- window spacings shown on plan are approximate and may vary on site.
- plan to be read in-conjunction with engineering plans
- all retaining walls, driveways, garden steps & fencing by owner unless noted otherwise
- window and door heights on elevations are approximate only and may vary on site
- no works are to be carried out over an easement.
- no works are to be carried out over council property without prior council approval

**NCC and Australian Standards:**

- all aspects of construction to be compliant with relevant performance requirements of the NCC and Australian Standards including, but not limited to, the following:
- termite control measures:
  - redstop pipe penetrations
  - granite guard application to perimeter walls in accordance with AS3660.1 Clause 6.59 & 6.60
- structural post note:
  - steel & h/w timber posts to eng's details to support steel beams over, to be located within timber stud wall frames.
  - balcony attachments & supports to be in accordance with Clause 3.10.6 of Volume 2 of the NCC
  - isolated masonry piers to be constructed in accordance with Clause Part 3.3.6 of Volume 2 of the NCC
  - refer to structural engineers plans for post type & locations.
- bricklayer note:
  - bricklayers to verify all brick dimensions on site before commencing any work, if there is any discrepancy or doubt do not hesitate to contact the builder
- stairs and balustrade note:
  - the stairs will be constructed in accordance with the requirements of Clause 3.9.1.2 of Volume 2 of the NCC
  - the finish of all stairs will meet the requirements of Clause 3.9.1.4 of Volume 2 of the NCC
  - any landings will meet the requirements of Clause 3.9.1.5 of Volume 2 of the NCC
  - the stairs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.4 of Volume 2 of the NCC
  - the balustrades servicing the dwelling (both internal & external) to meet the requirements of Clause 3.9.2.3 Volume 2 of the NCC
- note:
  - all first floor bedroom windows to be provided with protection in accordance with Clause 3.9.2.6. of Volume 2 of the NCC
  - first floor rooms other than bedrooms in accordance with Clause 3.9.2.7 of Volume 2 of the NCC
- note:
  - exhaust system to be installed as per flow rates specified in Clause 3.8.7.3 of Volume 2 of the NCC & must be discharged directly via shaft or duct to outdoor air or ventilated roof space in accordance with Clause 3.8.7.4 of Volume 2 of the NCC
- note:
  - hard wired photo-electric smoke alarms to be installed in accordance with Clause 3.7.5 of Volume 2 of the NCC and associate standard AS 3786
- note:
  - articulation joints will be provided in brickwork in accordance with the requirements of Clause 3.3.5.13 of Volume 2 of the NCC and associated standard AS4773.1-2015
- note:
  - lift off hinges to be provided where a door is within 1200mm of a toilet pan in accordance with req. of Clause 3.8.3.3 of Volume 2 of the NCC
- note:
  - external cladding as selected to be in accordance with Clause 3.5.4 of Volume 2 of the NCC
- note:
  - waterproofing of the wet areas will be carried out in accordance with AS3740 and Clause 3.8.1.2 and 3.8.1.3 of Volume 2 of the NCC
- note:
  - building sealing to roof lights, external doors and windows and construction of ceilings, walls and floors to be provided in accordance with Clauses 3.12.3.1-6 of Volume 2 of the NCC
- note:
  - garage and driveway profiles/grades to comply in accordance with associated standard AS2890



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FOR

MR M. E. & C. D. WILSON

AT

LOT 46 N°44 BIX ROAD,  
DEE WHY

DP:15318

COUNCIL

NORTHERN BEACHES

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|------------|-------------------|-------------|-----------|
| F          | Resite/Amendments | OA          | 12.07.22  |
| E          | Long Section BB   | JZ          | 26.5.22   |
| D          | Amendments        | JZ          | 05.04.22  |
| C-1        | Final Plans       | DT          | 22.03.22  |
| B          | CC Plans          | DB          | 13.10.21  |
| A          | Site Plan         | LB          | 03.08.21  |
| REV        | DESCRIPTION       | DWN         | DATE      |
| house type | BRONTE 30         | DRAWING N°: | AND-34577 |
| facade     | HUNTINGTON        | SHEET       | 1 of 8    |
| hand       | RH                | JOB N°:     | 403704    |
|            |                   | MASTER      | AND-34895 |

|                         |                   |                          |          |
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| B                       | CC Plans          | DB                       | 13.10.21 |
| A                       | Site Plan         | LB                       | 03.08.21 |
| REV                     | DESCRIPTION       | DWN                      | DATE     |
| house type<br>BRONTE 30 |                   | DRAWING N°:<br>AND-34577 |          |
| facade<br>HUNTINGTON    |                   | SHEET<br>2 of 8          |          |
| hand<br>RH              | JOB N°:<br>403704 | MASTER<br>AND-34895      |          |





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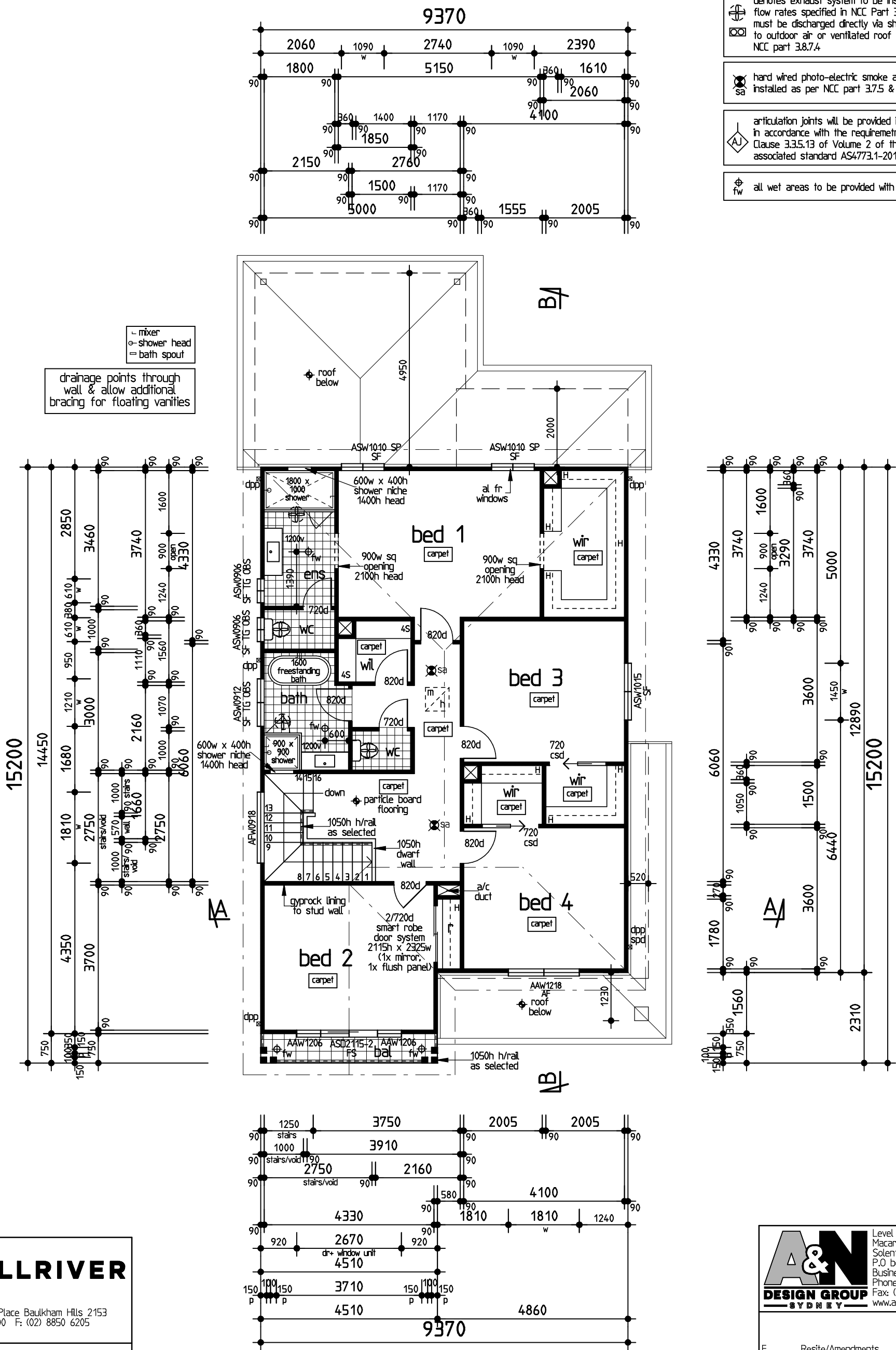
AT LOT 46 N°44 BIX ROAD,  
DEE WHY

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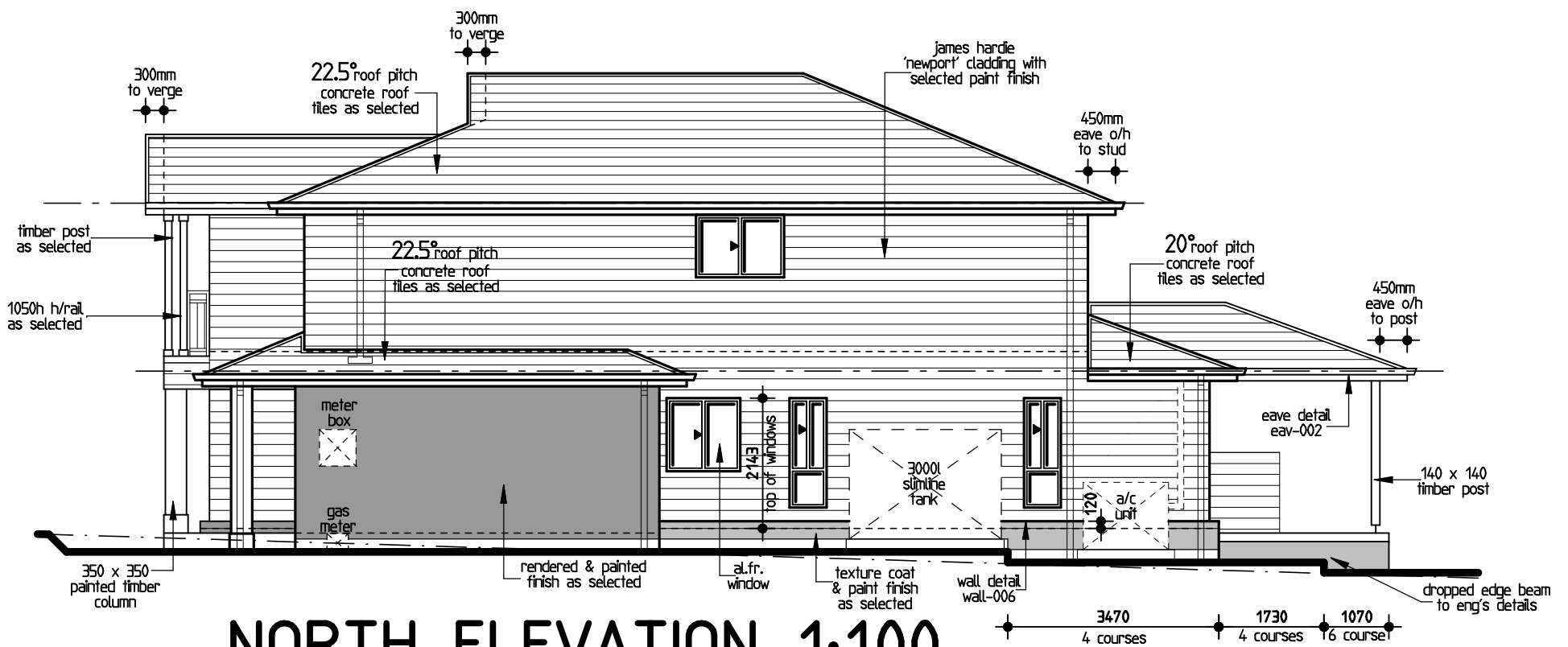
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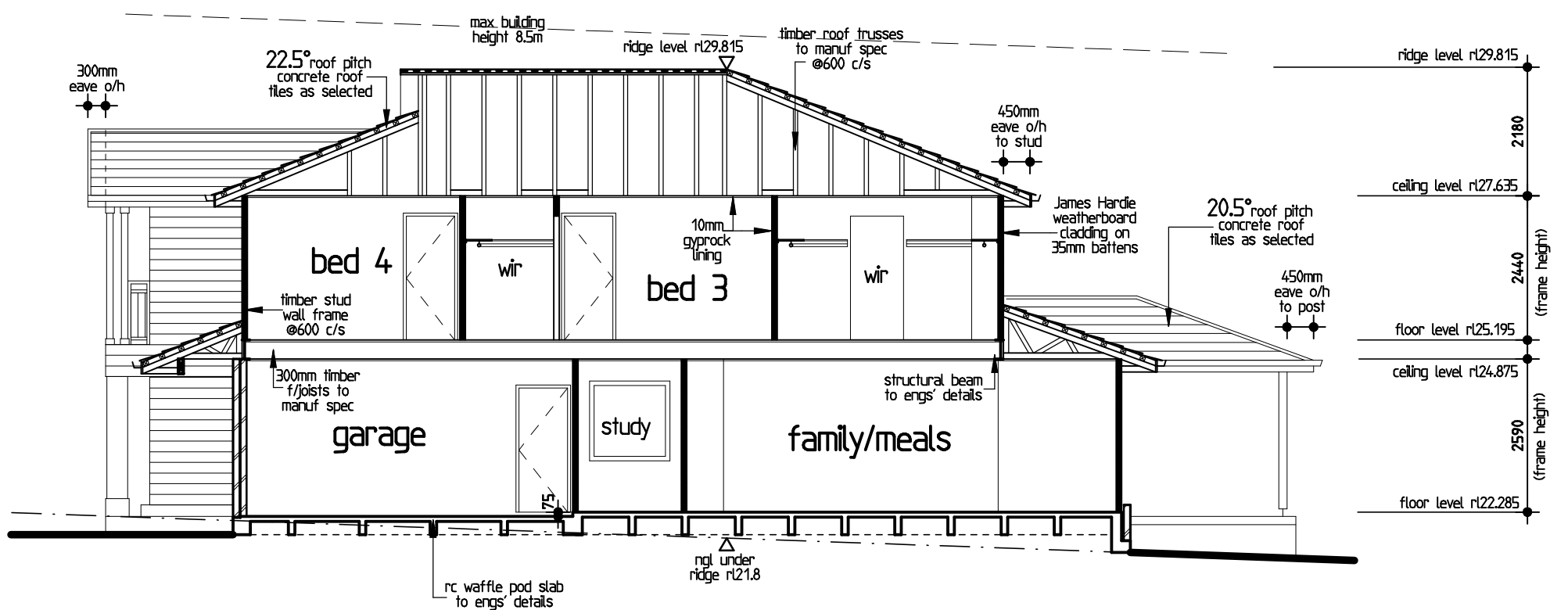
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| D          | Amendments        | JZ          | 05.04.22  |
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| B          | CC Plans          | DB          | 13.10.21  |
| A          | Site Plan         | LB          | 03.08.21  |
| REV        | DESCRIPTION       | DWN         | DATE      |
| house type | BRONTE 30         | DRAWING N°: | AND-34577 |
| facade     | HUNTINGTON        | SHEET       | 4 of 8    |
| hand       | RH                | JOB N°:     | 403704    |
|            |                   | MASTER      | AND-34895 |

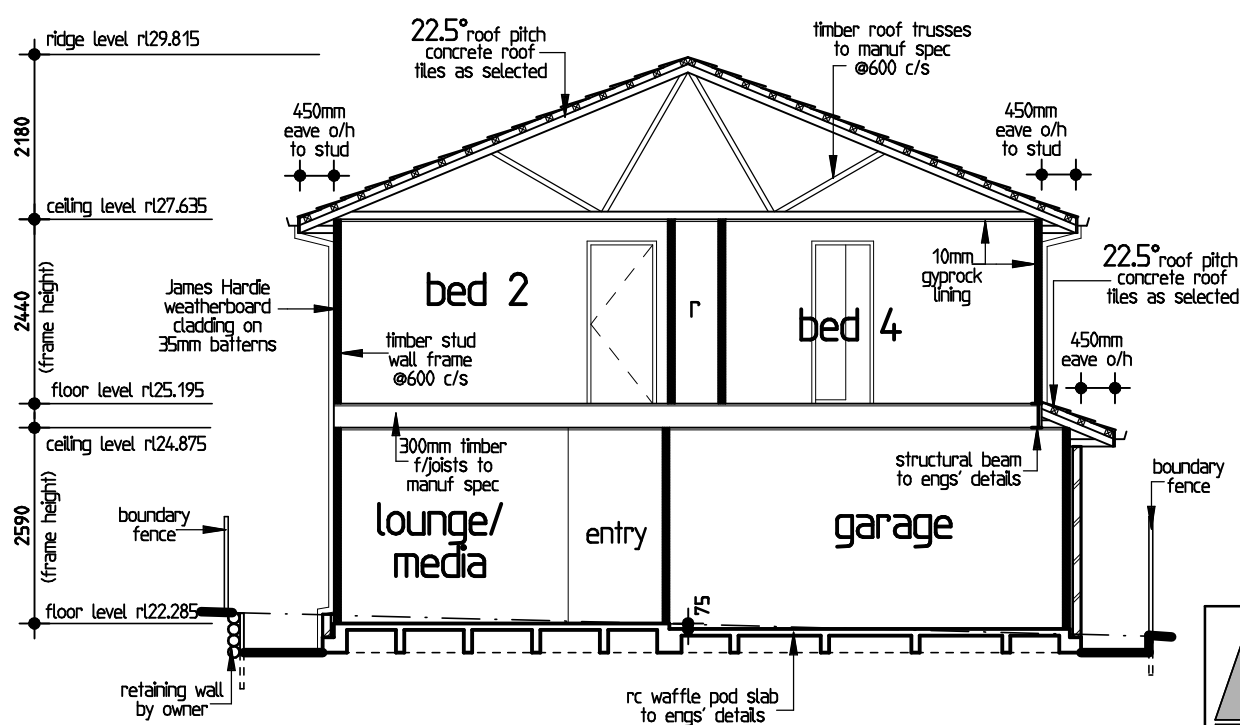




**NORTH ELEVATION 1:100**



**SECTION B-B 1:100**



**SECTION A-A 1:100**

**Key construction and insulation materials**  
(see BASIX & NatHERS certificate for all commitment details)

- vapour control wall wrap to external framed walls
- R2.0 batts to external walls of living areas (excludes garage)
- R2.0 batts to internal walls between garage & living
- R3.5 batts to ceiling of living areas (excludes garage)
- roof sarking to underside of roof



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DEE WHY

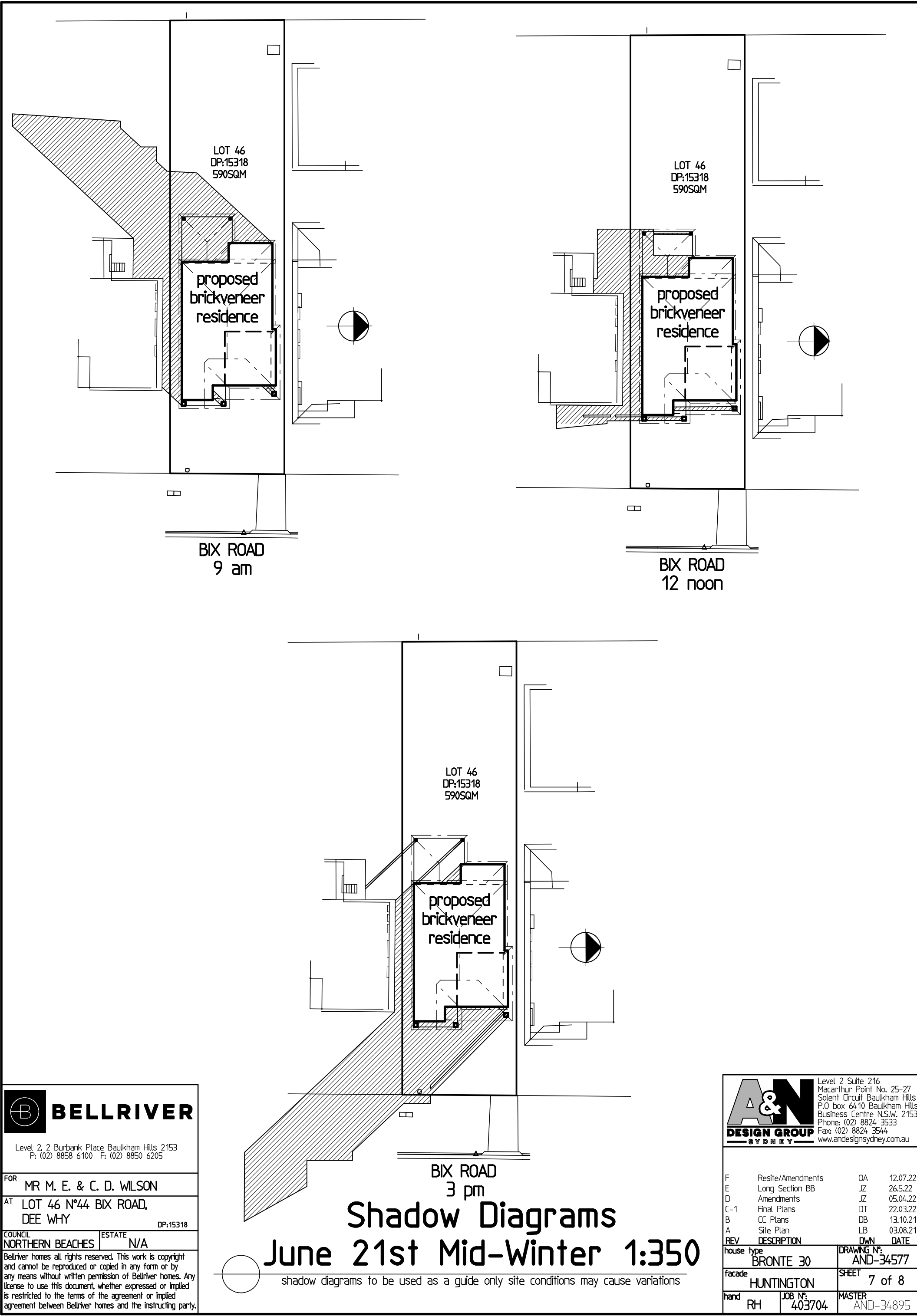
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| D          | Amendments        | JZ          | 05.04.22  |
| C-1        | Final Plans       | DT          | 22.03.22  |
| B          | CC Plans          | DB          | 13.10.21  |
| A          | Site Plan         | LB          | 03.08.21  |
| REV        | DESCRIPTION       | DWN         | DATE      |
| house type | BRONTE 30         | DRAWING N°: | AND-34577 |
| facade     | HUNTINGTON        | SHEET       | 6 of 8    |
| hand       | RH                | JOB N°:     | 403704    |
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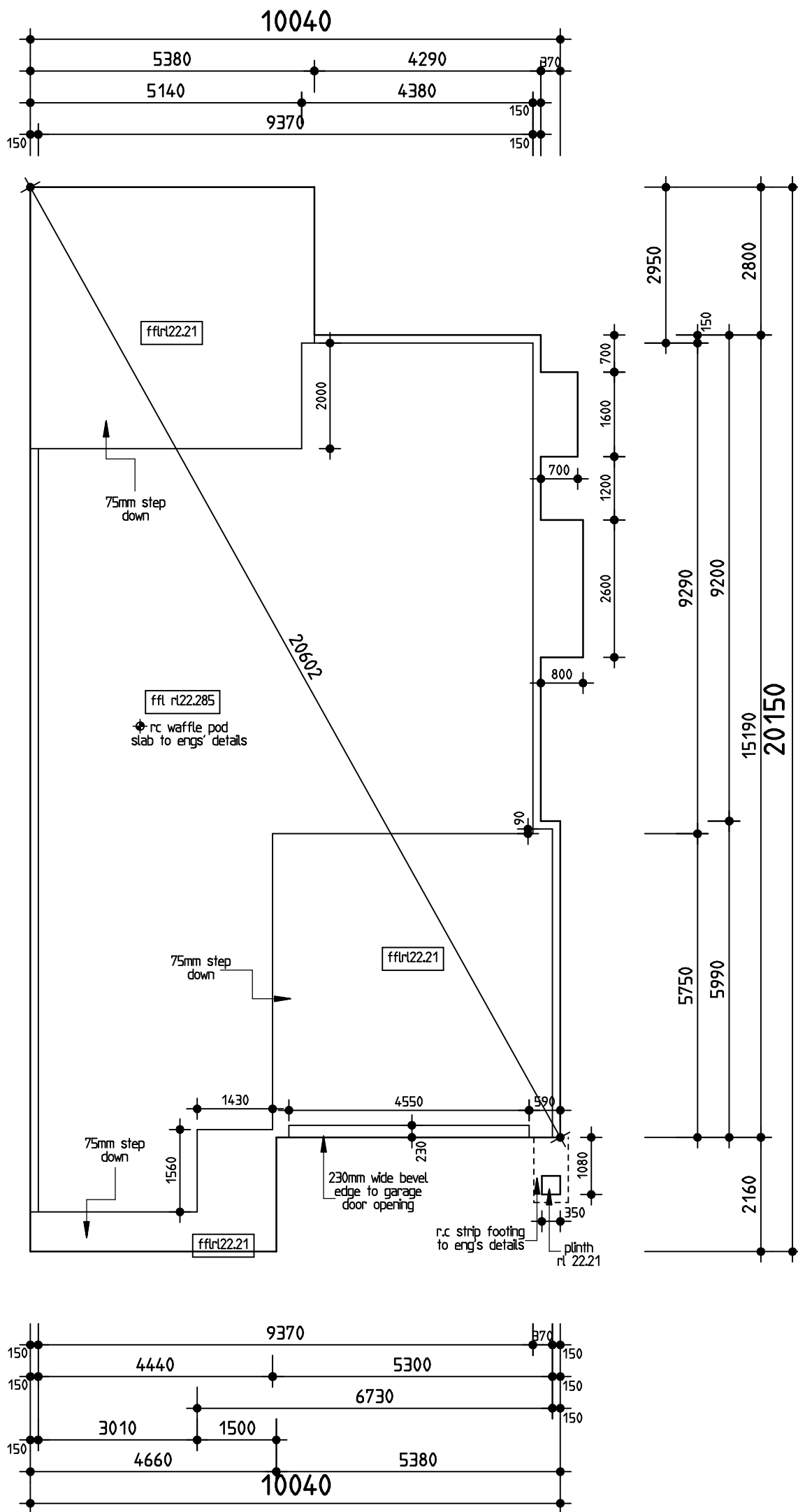
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| C-1 | Final Plans       | DT  | 22.03.22 |
| B   | CC Plans          | DB  | 13.10.21 |
| A   | Site Plan         | LB  | 03.08.21 |

|            |            |             |           |
|------------|------------|-------------|-----------|
| house type | BRONTE 30  | DRAWING N°: | AND-34577 |
| facade     | HUNTINGTON | SHEET       | 7 of 8    |
| hand       | RH         | JOB N°:     | 403704    |
|            |            | MASTER      | AND-34895 |

# Shadow Diagrams

## June 21st Mid-Winter 1:350

shadow diagrams to be used as a guide only site conditions may cause variations



## SLAB PLAN 1:100

Refer to floor plans for  
locations of plumbing  
stack & drainage points

slab plan to be cross referenced  
with floor plans, any discrepancies  
are to be verified before proceeding



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| A          | Site Plan         | LB          | 03.08.21  |
| REV        | DESCRIPTION       | DWN         | DATE      |
| house type | BRONTE 30         | DRAWING N°: | AND-34577 |
| facade     | HUNTINGTON        | SHEET       | 8 of 8    |
| hand       | RH                | JOB N°:     | 403704    |
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