

22 October 2025

The General Manager
Northern Beaches Council
PO Box 82
MANLY NSW 1655



Advance Building Approvals Pty Ltd
ABN 93096551816
Suite 1004, 370 Pitt Street, Sydney NSW 2000
PO Box A1123, Sydney South NSW 1235
Email: aba@advanceba.com.au
T: (02) 9283 6299
F: (02) 9283 6252

Attention: Customer Services

Dear Sir/Madam,

**SHOP 2308, 145 OLD PITTWATER ROAD, BROOKVALE
WESTFIELD WARRINGAH MALL
INTERNAL SHOP FITOUT FOR USE AS BUSINESS PREMISES FOR "Sew Smart Alterations"
COMPLYING DEVELOPMENT CERTIFICATE**

Please find enclosed the following documents for the above project:

1. Copy of Complying Development Certificate No. CF25440CD01 issued by Advance Building Approvals Pty Ltd in accordance with the Environmental Planning and Assessment Act 1979;
2. Copy of Complying Development Certificate Application and Appointment of Principal Certifier form;
3. Copy of Notice To Commence Work form;
4. Copy of supporting documents as listed in Attachment A of the CDC.

Please contact the undersigned for any enquiries.

Yours sincerely,

FOR ADVANCE BUILDING APPROVALS PTY LTD

A handwritten signature in black ink, appearing to read "Osman Asanovski", written over a blue rectangular background.

Osman Asanovski
Building Surveyor - Unrestricted

22 October 2025



Sew Smart Alterations
C/o Fernzide
Level 1, Suite 3, 56 Pitt Street
SYDNEY NSW 2000

Advance Building Approvals Pty Ltd
ABN 93096551816
Suite 1004, 370 Pitt Street, Sydney NSW 2000
PO Box A1123, Sydney South NSW 1235
Email: aba@advanceba.com.au
T: (02) 9283 6299
F: (02) 9283 6252

Attention: Will Fernandez

Dear Will,

**SHOP 2308, 145 OLD PITTWATER ROAD, BROOKVALE
WESTFIELD WARRINGAH MALL
INTERNAL SHOP FITOUT FOR USE AS BUSINESS PREMISES FOR "Sew Smart Alterations"
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4. Copy of supporting documents as listed in Attachment A of the CDC.

Notification of Critical Stage Inspections:

Pursuant to the requirements of the Environmental Planning and Assessment Act, you are hereby notified that the following Critical Stage Inspections are required to be carried out by the principal certifier (PC) appointed for this project:

- ***Final Inspection*** – After the building work has been completed and prior to any occupation certificate being issued.

Failure to have the above critical stage inspections carried out will prevent the principal certifier (PC) from issuing an Occupation Certificate. It is required that the PC be given 48 hours' notice prior to any critical stage inspections.

Please contact the undersigned for any enquiries.

Yours sincerely,
FOR ADVANCE BUILDING APPROVALS PTY LTD

A handwritten signature in black ink, appearing to read "Osman Asanovski", is written over a large, light blue, stylized arrow graphic that points upwards and to the right.

Osman Asanovski
Building Surveyor - Unrestricted

CF25440-LT-221025-CD01-Fernzide-OA

Complying Development Certificate

This certificate is issued by the undersigned certifier and gives the applicant permission to carry out the development in accordance with any conditions set out in the certificate and the plans and specifications that have been approved.

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐

Name of Applicant (company or individual) Name of contact person (if Applicant is a company)

Applicant C/o: (Name of company or individual) Name of contact person (if Applicant C/o is a company)

Flat/ Level Street number, name

Suburb or town State Postcode

Daytime telephone Fax Mobile

Email

2. Decision of the certifier

The certificate is issued:

- ☐ without any conditions
- ☒ subject to the conditions listed in **Attachments A & B**
- ☐ to erect a temporary building.
- ☒ The issue of this certificate has been endorsed on the plans, specifications or other documents that were lodged with the application.
- ☐ subject to conditions of the kind referred to in sections 25-29, sections 115-117, section 111 of the *Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021*.

This Certificate is for:

Address:

Lot/DP no.

Description of work:

Endorsed plans / Specifications

Date of this decision

Complying development certificate no.

The decision was made under the following planning instrument:

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008:
 Part 5 - Industrial and Business Alterations Code, and/or
 Part 5A - Industrial and Business Buildings Code, as appropriate

The land use zone within which the land is situated is: E2 - Commercial Centre

3. Information attached to this decision

- ☒ Attachment A: Schedule of endorsed plans and documents relied upon.
- ☒ Attachment B: Conditions applying to complying development certificate under *SEPP (Exempt and Complying Development Codes) 2008*: Part 5 - "Industrial and Business Alterations Code" and Part 5A - "Industrial and Business Buildings Code", and other conditions required under EPA Regulations 2021.
- ☒ Attachment C: Conditions relating to technical compliance issues.
- ☒ Attachment D: Fire Safety Schedule for new/ modified essential fire safety measures.

4. Certification

Osman Asanovski (For Advance Building Approvals Pty Ltd) certifies that:

- ☒ the proposed development is complying development
- ☒ the proposed development will comply with all development standards that apply to the development, and with the requirements of the *Environmental Planning and Assessment Regulation 2021* and *Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021* concerning the issue of this certificate, if it is carried out as set out in this certificate
- ☒ the proposed development will be a class building under the Building Code of Australia when it is completed.

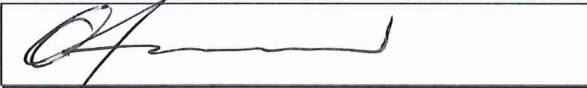
Date of this certificate

Date this certificate will expire

5. Signature

For this certificate to be valid, it must be signed by the certifier.

Signature



Name

Flat/Level

Street number, street name

Suburb or town

State

Postcode

Telephone

Fax

If the certifier is a registered certifier:

Registration no. of the certifier

Registration body of the certifier

ATTACHMENT A

Schedule of endorsed plans/specifications & documents relied upon

(a) Endorsed plans / Specifications

The following drawings are approved for the purpose of CD01.

Drawing no.	101 Rev B, Dated: 17/10/25, 203 Rev B, Dated: 17/10/25
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Note: The CDC approval relates to details highlighted in the above approved plans only.

(b) Supporting documents

Various documents were submitted in support of the CDC application and were relied upon for the assessment and determination of the Complying Development Certificate. These documents include but are not limited to the following:

Supporting documents submitted for CD01:

Item	Document Description	Prepared By	Date
1.	Design Statement (Compliance with the Building Code of Australia)	Will Fernandez of Fernside Pty Ltd	15/09/25
2.	Design Certificate – Fire Services	Craig Jehn of Premier Fire Services Pty Ltd	25/09/25
3.	Independent Review of Base Building Performance Solution	Ian Pickering of Advance Building Approvals Pty Ltd	22/10/25

(c) Exemption from compliance with BCA standards - for proposed works under the subject CDC only: (pursuant to Section 74 of the EP&A (Development Certification & Fire Safety) Regulation 2021)

The following documents were submitted in support of an objection lodged under section 74 for CD01:

Item	Document Description	Prepared By	Date
1.	Design Statement - for RFSS that do not comply with current BCA	Gordon Stalley of Premier Fire Services Pty Ltd	25/09/25
2.	Endorsed plans signed by accredited practitioner (fire safety) - drawing no. FS-01 (Revision A)	Craig Jehn of Premier Fire Services Pty Ltd	25/09/25

ATTACHMENT B

Conditions of Complying Development Certificate

A. CODES SEPP CONDITIONS

- Note 1.** Complying development under the Industrial and Business Alterations Code, the Industrial and Business Buildings Code and the Container Recycling Facilities Code must comply with the requirements of the *Act*, the *Environmental Planning and Assessment Regulation 2021* and the *Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021*.
- Note 2.** Division 5 of Part 6 of the *Environmental Planning and Assessment Regulation 2021* specifies conditions to which certain complying development certificates are subject.
- Note 3.** In addition to the requirements specified for development under this Policy, adjoining owners' property rights, applicable common law and other legislative requirements for approvals, licences, permits and authorities still apply.
- Note 4.** If the development is in the proximity of infrastructure (including water, stormwater or sewer mains, electricity power lines and telecommunications facilities), the relevant infrastructure authority should be contacted before commencing the development.
- Note 5.** Under section 4.29 of the *Environmental Planning and Assessment Act 1979*, a complying development certificate lapses 5 years after the date endorsed on the certificate, unless the development has physically commenced on the land during that period.

A1 Conditions applying before works commence

1 Protection of adjoining areas

A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of the works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

Note: Clauses 2.109 and 2.110 of this Policy specify which scaffolding, hoardings and temporary construction site fences are exempt development and state the applicable standards for that development.

2 Toilet facilities

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

3 Waste management

- (1) A waste management plan for the work must be submitted to the principal certifier at least 2 days before work commences on the site
- (2) The waste management plan must:
 - (a) identify all waste (including excavation, demolition and construction waste materials) that will be generated by the work on the site, and
 - (b) identify the quantity of waste material in tonnes and cubic metres to be:
 - (i) reused on-site, and
 - (ii) recycled on-site and off-site, and
 - (iii) disposed of off-site, and

- (c) if waste materials are to be reused or recycled on-site—specify how the waste material will be reused or recycled on-site, and
 - (d) if waste materials are to be disposed of or recycled off-site—specify the contractor who will be transporting the materials and the waste facility or recycling outlet to which the materials will be taken.
- (3) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (4) The garbage receptacle must have a tight-fitting lid and be suitable for the reception of food scraps and papers.

4 Adjoining wall dilapidation report

- (1) Before commencing any demolition or excavation works, the person having the benefit of the complying development certificate must obtain a dilapidation report on any part of a building that is within 2m of the works.
- (2) If the person preparing the report is denied access to the building for the purpose of an inspection, the report may be prepared from an external inspection.

5 Run-off and erosion controls

Run-off and erosion controls must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on the surrounding land by:

- (a) diverting uncontaminated run-off around cleared or disturbed areas, and
- (b) erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties, and
- (c) preventing the tracking of sediment by vehicles onto roads, and
- (d) stockpiling topsoil, excavated materials, construction and landscaping supplies and debris within the lot.

A2 Conditions applying during the works

Note: The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise.

6 Standard hours for construction

Construction may only be carried out between 7.00 am and 6.00 pm on Monday to Friday, or between 8.00 am and 1.00 pm on Saturdays, and no construction is to be carried out at any time on a Sunday or a public holiday.

7 Works outside standard hours for construction

- (1) Work may be carried out outside the standard hours for construction if the work only generates noise that is:
 - (a) no louder than 5 dB(A) above the rating background level at any adjoining residence in accordance with the *Interim Construction Noise Guideline* (ISBN 978 1 74232 217 9) published by the Department of Environment and Climate Change NSW in July 2009, and
 - (b) no louder than the noise management levels specified in Table 3 of that guideline at other sensitive receivers.
- (2) Work may be carried out outside the standard hours for construction:
 - (a) for the delivery of materials—if prior approval has been obtained from the NSW Police Force or any other relevant public authority, or
 - (b) in an emergency, to avoid the loss of lives or property or to prevent environmental harm.

8 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

9 Demolition

Any demolition must be carried out in accordance with AS 2601—2001, *The demolition of structures*.

10 Maintenance of site

- (1) All materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials (including excavation, demolition and construction waste materials) must be managed on the site and then disposed of at a waste management facility.
- (3) Copies of receipts stating the following must be given to the principal certifier:
 - (a) the place to which waste materials were transported,
 - (b) the name of the contractor transporting the materials,
 - (c) the quantity of materials transported off-site and recycled or disposed of.
- (4) Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
- (5) During construction:
 - (a) all vehicles entering or leaving the site must have their loads covered, and
 - (b) all vehicles, before leaving the site, must be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.
- (6) At the completion of the works, the work site must be left clear of waste and debris.

11 Earthworks, retaining walls and structural support

- (1) Any earthworks (including any structural support or other related structure for the purposes of the development):
 - (a) must not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot, and
 - (b) must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property, and
 - (c) that is fill brought to the site—must contain only virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 to the *Protection of the Environment Operations Act 1997*, and
 - (d) that is excavated soil to be removed from the site—must be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005*.
- (2) Any excavation must be carried out in accordance with *Excavation Work: Code of Practice* (ISBN 978-0-642-785442 [PDF] and ISBN 978-0-642-785459 [DOCX]), published in July 2012 by Safe Work Australia.

12 Drainage connections

- (1) If the work is the erection of, or an alteration or addition to, a building, the roof stormwater drainage system must be installed and connected to the drainage system before the roof is installed.
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.

12A Contamination discovered during works

- (1) If during works on the land comprising the lot, the land is found to be contaminated, within the meaning of the Contaminated Land Management Act 1997—
 - (a) all works must stop immediately, and
 - (b) the Environment Protection Authority and the council must be notified of the contamination.
- (2) Land is found to be contaminated for the purposes of this clause if the person having the benefit of the complying development certificate or the principal certifier knows or should reasonably suspect the land is contaminated.

Note - Depending on the nature and level of the contamination, remediation of the land may be required before further work can continue.

13 Archaeology discovered during excavation

If any object having interest due to its age or association with the past is uncovered during the course of the work:

- (a) all work must stop immediately in that area, and
- (b) the Office of Environment and Heritage must be advised of the discovery.

Note. Depending on the significance of the object uncovered, an archaeological assessment and excavation permit under the *Heritage Act 1997* may be required before further work can continue.

14 Aboriginal objects discovered during excavation

If any Aboriginal object (including evidence of habitation or remains) is discovered during the course of the work:

- (a) all excavation or disturbance of the area must stop immediately in that area, and
- (b) the Office of Environment and Heritage must be advised of the discovery in accordance with section 89A of the *National Parks and Wildlife Act 1974*.

Note. If an Aboriginal object is discovered, an Aboriginal heritage impact permit may be required under the *National Parks and Wildlife Act 1974*.

15 When a survey certificate is required

- (1) If any part of the work is the erection of a new building, or an alteration or addition to an existing building, that is located less than 3m from the lot boundary, a survey certificate must be given to the principal certifier
 - (a) before any form work below the ground floor slab is completed, or
 - (b) if there is no such form work—before the concrete is poured for the ground floor slab.
- (2) The survey certificate must be prepared by a registered land surveyor and show the location of the work relative to the boundaries of the site.

A3 Conditions applying before the issue of an occupation certificate

16 Vehicular access

If the work involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the work on the site is obtained.

17 Utility services

- (1) If the work requires alteration to, or the relocation of, utility services on, or adjacent to, the lot on which the work is carried out, the work is not complete until all such works are carried out.
- (2) If the work is the subject of a notice of requirements for water supply or sewerage services (or both) by a water utility or an entity authorised by the utility, the work must be satisfactorily completed and any monetary contributions required to be paid to the relevant water supply authority must be paid before the occupation certificate is issued.
- (3) If the work is the subject of a compliance certificate under section 73 of the *Sydney Water Act 1994*, the work must be satisfactorily completed and any monetary contributions required to be paid to the Sydney Water Corporation must be paid before the occupation certificate is issued.

18 Mechanical ventilation systems

If the work includes a mechanical ventilation system that is a **regulated system** within the meaning of the *Public Health Act 2010*, the system must be notified as required by the *Public Health Regulation 2012*, before an occupation certificate (whether interim or final) for the work is issued.

19 Food businesses

If the work relates to a **food business** within the meaning of the *Food Act 2003*, the food business must be notified as required by that Act, or licensed as required by the *Food Regulation 2010*, before an occupation certificate (whether interim or final) for the work is issued.

20 Premises where skin penetration procedures are carried out

If the work relates to premises at which a **skin penetration procedure**, within the meaning of the *Public Health Act 2010*, will be carried out, the premises must be notified as required by Part 4 of the *Public Health Regulation 2012* before an occupation certificate (whether interim or final) for the work is issued.

A4 Operational requirements

21 Hours of operation

- (1) If there are existing conditions on a development consent applying to hours of operation, the development must not be operated outside the hours specified in those conditions.
- (2) If there are no existing conditions on a development consent applying to hours of operation, the development must not be operated outside the following hours:
 - (a) if the development involves a new use as specialised retail premises or other commercial premises—7.00 am to 10.00 pm Monday to Saturday and 7.00 am to 8.00 pm on a Sunday or a public holiday,
 - (b) if the development involves a new use as something other than a specialised retail premises or other commercial premises and adjoins or is opposite a residential lot within a residential zone or Zone RU5 Village—7.00 am to 7.00 pm Monday to Saturday and no operation on a Sunday or a public holiday,
 - (c) in any other case not referred to in paragraph (a) or (b)—7.00 am to 7.00 pm Monday to Saturday and 9.00 am to 6.00 pm on a Sunday or a public holiday.

22 Noise

The development must comply with the Noise Policy.

23 Lighting

- (1) All new external lighting must:
 - (a) comply with *AS/NZS 4282:2019 Control of the obtrusive effects of outdoor lighting*, and
 - (b) be mounted, screened and directed in a way that it does not create a nuisance or light spill on to buildings on adjoining lots or public places.
- (2) Lighting at vehicle access points to the development must be provided in accordance with the following standards—
 - (i) *AS/NZS 1158.0:2005, Lighting for roads and public spaces, Part 0: Introduction*,
 - (ii) *AS/NZS 1158.1.1:2005, Lighting for roads and public spaces, Part 1.1: Vehicular traffic (Category V) lighting—Performance and design requirements*,
 - (iii) *AS/NZS 1158.1.2:2010, Lighting for roads and public spaces, Part 1.2: Vehicular traffic (Category V) lighting—Guide to design, installation, operation and maintenance*,
 - (iv) *AS/NZS 1158.2:2020, Lighting for roads and public spaces, Part 2: Computer procedures for the calculation of light technical parameters for Category V and Category P lighting*,
 - (v) *AS/NZS 1158.3.1:2020, Lighting for roads and public spaces, Part 3.1: Pedestrian area (Category P) lighting—Performance and design requirements*,
 - (vi) *AS/NZS 1158.4:2015, Lighting for roads and public spaces, Part 4: Lighting of pedestrian crossings*,
 - (vii) *AS/NZS 1158.5:2014, Lighting for roads and public spaces, Part 5: Tunnels and underpasses*.

24 Use of driveways and parking areas

- (1) All driveways and parking areas must be unobstructed at all times.
- (2) Except as otherwise permitted by an existing condition of the most recent development consent (other than a complying development certificate) that applies to the premises, driveways and car spaces -
 - (a) must not be used for the manufacture, storage or display of goods, materials or any other equipment, and
 - (b) must be used solely for vehicular access and for the parking of vehicles associated with the use of the premises.

24A Loading and unloading of goods or materials

- (1) Loading and unloading goods or materials must not be carried out on a public road.
- (2) This condition does not apply to a complying development certificate for development involving a building with a gross floor area less than 500m² in Zone B1, B2, B3, B4 or B8 that existed before 1 February 2022.

24B Garbage and waste storage

- (1) A garbage and waste storage area for recyclable and non-recyclable waste materials and receptacles for those materials must—
 - (a) be provided as part of the development, and
 - (b) be located entirely within the lot on which the development is being carried out and not on a road or road reserve, and
 - (c) comply with the following appendices in the document entitled *Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities* (ISBN 978-1-74293-944-5), published by the NSW Environment Protection Authority in December 2012—
 - (i) Appendices A and B, for the size and location of garbage and storage areas and the size of waste receptacles,
 - (ii) Appendices C and D, for the design of openings of waste storage areas and loading bay turning circles for waste removal vehicles,
 - (iii) Appendix E, for standard signs for waste storage areas,
 - (iv) Appendix F for the design and operational capacity of waste storage areas.
- (2) The waste storage area must—
 - (a) be screened, and
 - (b) be located behind the primary road frontage building line, and
 - (c) not be located in any car parking, loading or landscaped area, and
 - (d) not be located on any side of the building that faces an adjoining lot on which there is a dwelling.

25 Landscaped area (planting and maintenance)

- (1) Any tree or shrub that fails to establish within 2 years of the initial planting date must be replaced with the same species of tree or shrub.
- (2) All landscaped areas on the site must be maintained on an on-going basis.

A5 Conditions applying to entertainment venues**26 Application of prescribed conditions of development consent**

The conditions of a development consent for the use of a building as an entertainment venue prescribed for the purposes of the *Act*, s 4.17(11) are conditions of a complying development certificate for the use of a building as an entertainment venue.

Note - See the *Environmental Planning and Assessment Regulation 2021*, Schedule 3A.

B. OTHER CONDITIONS REQUIRED UNDER PART 6 – DIVISION 5 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION 2021

B1 Section 146 – Compliance with BCA and insurance requirements under the Home Building Act 1989

- (1) A complying development certificate for development that involves any building work must be issued subject to the following conditions:
 - (a) that the work must be carried out in accordance with the requirements of the *Building Code of Australia*,
 - (b) for residential building work that requires a contract of insurance under the *Home Building Act 1989*—a contract of insurance must be in force before the building work authorised to be carried out by the certificate commences.
- (2) A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the *Building Code of Australia* (as in force on the date the application for the relevant complying development certificate is made).
- (3) This section does not limit the other conditions to which a complying development certificate may be subject.
- (4) This section does not apply:
 - (a) to the extent to which an exemption from a provision of the *Building Code of Australia* or a fire safety standard is in force under the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*, or
 - (b) to the erection of a temporary building, other than a temporary structure to which subsection (2) applies.
- (5) In this section, a reference to the *Building Code of Australia* is a reference to the *Building Code of Australia* as in force on the date on which the application for the relevant complying development certificate is made.

B2 Section 147 - Fire safety systems in class 2–9 buildings

- (1) A complying development certificate for building work involving the installation, extension or modification of a relevant fire safety system in a class 2, 3, 4, 5, 6, 7, 8 or 9 building must be issued subject to a condition that the building work must not commence unless –
 - (a) plans have been submitted to the principal certifier that show—
 - (i) for building work involving the installation of the relevant fire safety system—the layout, extent and location of key components of the relevant fire safety system, or
 - (ii) for building work involving the extension or modification of the relevant fire safety system—the layout, extent and location of the new or modified components of the relevant fire safety system, and
 - (b) specifications have been submitted to the principal certifier that—
 - (i) describe the basis for the design, installation and construction of the relevant fire safety system, and
 - (ii) identify the provisions of the *Building Code of Australia* on which the design of the system is based, and
 - (c) the plans and specifications—
 - (i) have been certified by a compliance certificate as complying with the relevant provisions of the *Building Code of Australia*, or
 - (ii) have been endorsed by an accredited practitioner (fire safety) as complying with the relevant provisions of the *Building Code of Australia*, and
 - (d) if the plans and specifications were submitted before the complying development certificate was issued—the plans and specifications are endorsed by a certifier with a statement that the certifier is satisfied they correctly identify the relevant performance requirements and deemed-to-satisfy provisions, and
 - (e) if the plans and specifications were not submitted before the complying development certificate was issued—the plans and specifications are endorsed by the principal certifier with a statement that the principal certifier is satisfied they correctly identify the relevant performance requirements and deemed-to-satisfy provisions.
- (2) Subsection (1)(c)(ii) does not apply to the extent of an exemption under the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (3) In this section—
relevant fire safety system means the following—
 - (a) a hydraulic fire safety system,
 - (b) a fire detection and alarm system,
 - (c) a mechanical ducted smoke control system.

B3 Section 148 – Notice to neighbours of commencement of work

- (1) This section applies to a complying development certificate for development involving—
 - (a) the erection of a new building, or
 - (b) an addition to an existing building, or
 - (c) the demolition of a building.
- (2) This section applies only if the development will be carried out on a lot that has a boundary within 20 metres of the boundary of another lot on which a dwelling is located.
- (3) A complying development certificate must be issued subject to a condition that the person having the benefit of the certificate must give each neighbour written notice of the person's intention to commence the work authorised by the certificate—
 - (a) for development on relevant land—at least 7 days before commencing work, or
 - (b) otherwise—at least 2 days before commencing work.
- (4) In this section—
neighbour and **relevant land** have the same meaning as in section 134.

B4 Section 149 – Erection of signs

- (1) This section applies to a complying development certificate for development involving building work, subdivision work or demolition work.
- (2) A complying development certificate must be issued subject to a condition that the requirements of subsections (3) and (4) must be complied with.
- (3) A sign must be erected in a prominent position on a site on which building work, subdivision work or demolition work is being carried out—
 - (a) showing the name, address and telephone number of the principal certifier for the work, and
 - (b) showing the name of the principal contractor, if any, for building work and a telephone number on which the principal contractor may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.
- (4) The sign must be—
 - (a) maintained while the building work, subdivision work or demolition work is being carried out, and
 - (b) removed when the work is completed.
- (5) This section does not apply in relation to—
 - (a) building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or
 - (b) Crown building work certified to comply with the *Building Code of Australia* under the *Act*, Part 6.

B5 Section 150 – Notification of *Home Building Act 1989* requirements

- (1) This section applies to a complying development certificate if—
 - (a) the development involves residential building work, and
 - (b) the principal certifier is not the council.
- (2) A complying development certificate must be issued subject to a condition that the work is carried out in accordance with the requirements of this section.
- (3) Residential building work must not be carried out unless the principal certifier has given the council written notice of the following—
 - (a) for work that requires a principal contractor to be appointed—
 - (i) the name and licence number of the principal contractor, and
 - (ii) the name of the insurer of the work under the *Home Building Act 1989*, Part 6,
 - (b) for work to be carried out by an owner-builder—
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under the *Home Building Act 1989*—the number of the owner-builder permit.
- (4) If the information notified under subsection (3) is no longer correct, further work must not be carried out unless the principal certifier has given the council written notice of the updated information.
- (5) This section does not apply in relation to Crown building work certified to comply with the *Building Code of Australia* under the *Act*, Part 6.

B6 Section 151 – Fulfilment of BASIX commitments

A complying development certificate for the following development must be issued subject to a condition that each commitment listed in a relevant BASIX certificate must be fulfilled—

- (a) BASIX development,
- (b) BASIX optional development, if the application for the complying development certificate was accompanied by a BASIX certificate.

B7 Section 152 – Development involving asbestos material

- (1) A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions:
 - (a) prescribed asbestos removal work must be undertaken by a person who conducts a business of asbestos removal work in accordance with the Work Health and Safety Regulation 2017, clause 458 (a **licensed person**),
 - (b) the person having the benefit of the complying development certificate must give the principal certifier a copy of a signed contract with a licensed person before development under the complying development certificate commences,
 - (c) the contract must indicate whether asbestos will be removed, and if so, must specify the landfill site, which may lawfully receive asbestos, to which the asbestos will be delivered,
 - (d) if the contract indicates that asbestos will be removed to a specified landfill site—the person having the benefit of the complying development certificate must give the principal certifier a copy of a receipt from the operator of the landfill site stating that all the asbestos referred to in the contract has been received by the operator.
- (2) In this section –

asbestos removal work has the same meaning as in the Work Health and Safety Regulation 2017.

friable asbestos has the same meaning as in the Work Health and Safety Regulation 2017.

non-friable asbestos has the same meaning as in the Work Health and Safety Regulation 2017.

prescribed asbestos removal work means asbestos removal work that involves the removal of—

- (a) non-friable asbestos from an area of more than 10 square metres, or
- (b) friable asbestos.

Note 1 - The effect of subsection (1)(a) is that the development will be a workplace to which the Work Health and Safety Regulation 2017 applies while asbestos removal work is being undertaken.

Note 2 - Information on the removal and disposal of asbestos to landfill sites licensed to accept asbestos is available from the Environment Protection Authority.

B8 Section 153 – Shoring and adequacy of adjoining property

- (1) This section applies to a complying development certificate for development that involves excavation that extends below the level of the base of the footings of a building, structure or work, including a structure or work in a road or rail corridor, on adjoining land.
- (2) The complying development certificate must be issued subject to a condition that the person having the benefit of the certificate must, at the person's own expense -
 - (a) protect and support the building, structure or work from possible damage from the excavation, and
 - (b) if necessary, underpin the building, structure or work to prevent damage from the excavation.
- (3) This section does not apply if -
 - (a) the person having the benefit of the complying development certificate owns the adjoining land, or
 - (b) the owner of the adjoining land has given written consent to the condition not applying.

B9 Section 154 – Traffic generating development

If an application for a complying development certificate is required to be accompanied by a certificate of the relevant roads authority under section 128, the complying development certificate must be issued subject to a condition that any requirements specified in the certificate of the relevant roads authority must be complied with.

B10 Section 155 – Development on contaminated land

If an application for a complying development certificate is required to be accompanied by a statement referred to in section 127(3), the complying development certificate must be issued subject to a condition that the requirements specified in the statement must be complied with.

B11 Section 156 – Development contributions

- (1) This section applies if a council's contributions plan provides for the payment of a monetary section 7.11 contribution or a section 7.12 levy in relation to development for a particular purpose (a **relevant purpose**), whether or not the development is classed as complying development under the contributions plan.
- (2) A complying development certificate that authorises development for a relevant purpose must be issued subject to the following conditions –
 - (a) the condition required by the *Act*, section 4.28(9) requiring payment of a monetary section 7.11 contribution or a section 7.12 levy,
 - (b) the contribution or levy must be paid before the work authorised by the certificate commences.
- (3) This section applies despite a provision to the contrary in the council's contributions plan.
- (4) In this section—

section 7.11 contribution means the dedication of land, the payment of a monetary contribution or the provision of a material public benefit, as referred to in the *Act*, section 7.11.

section 7.12 levy means the payment of a levy, as referred to in the *Act*, section 7.12.

B12 Section 157 - Payment of security

- (1) This section applies to a complying development certificate authorising the carrying out of development if
 - (a) the development involves the demolition of a work or building, the erection of a new building or an addition to an existing building, and
 - (b) the estimated cost of the development, as specified in the application for the certificate, is \$25,000 or more, and
 - (c) the development will be carried out on land adjacent to a public road, and
 - (d) at the time the application for the certificate is made, the council for the area in which the development will be carried out has specified, on its website, an amount of security that must be paid in relation to development –
 - (i) of the same type or description, or
 - (ii) carried out in the same circumstances, or
 - (iii) carried out on land of the same size or description.
- (2) A complying development certificate must be issued subject to a condition that the amount of security referred to in subsection (1)(d) will be given, in accordance with this section, to the council before the building work or subdivision work authorised by the certificate commences.
- (3) The applicant may give the security to the council by—
 - (a) a deposit with the council, or
 - (b) a guarantee satisfactory to the council.
- (4) The council may use the security to meet the cost of making good damage caused to council property as a consequence of doing a thing, or not doing a thing, authorised or required by the complying development certificate, including the cost of an inspection to determine if damage has been caused.
- (5) The balance of the security remaining after meeting the costs referred to in subsection (4) must be refunded to, or at the direction of, the person who gave the security.

B13 Section 158 – Principal certifier be satisfied that preconditions met before commencement of work

- (1) This section applies to a complying development certificate that involves building work or subdivision work.
- (2) The complying development certificate must be issued subject to the condition that the principal certifier for the building work or subdivision work, and over which the principal certifier has control, must be satisfied that any preconditions in relation to the work that are required to be met before the work commences have been met before the work commences.

C. CONDITIONS RELATING TO “CAR PARKING” UNDER CODES SEPP**C1 Clause 5A.6F – Carparking and access**

- (1) For a building with a gross floor area less than 500m² in Zone E1, E2, MU1, B1, B2, B3, B4, B8, IN4, SP1, SP3, SP5 or W4 that existed before 1 February 2022 –
 - (a) car parking must be provided in accordance with an existing condition relating to car parking that applies to the use of the land, or
 - (b) if there is no existing condition relating to car parking—the development must not reduce the number of car parking spaces on the land on which the development is carried out.
- (1A) Otherwise, car parking must be provided –
 - (a) in accordance with any relevant requirements contained in an environmental planning instrument or development control plan applying to the land, or
 - (b) if there are no relevant requirements referred to in paragraph (a) - in accordance with the document entitled Guide to Traffic Generating Developments, Version 2.2, published by the Roads and Traffic Authority in October 2002.
- (1B) If a contribution in relation to car parking in compliance with a contributions plan under the Act, Division 7.1 is imposed as a condition of approval under the Environmental Planning and Assessment Regulation 2021, section 156, the contribution may be made instead of complying with subclause (1) or (1A).
- (2) New car parking must be constructed to comply with the following standards—
 - (a) AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking,
 - (b) AS 2890.2:2018, Parking facilities, Part 2: Off-street commercial vehicle facilities,
 - (c) AS 2890.3:2015, Parking facilities, Part 3: Bicycle parking,
 - (d) AS/NZS 2890.6:2009, Parking facilities, Part 6: Off-street parking for people with disabilities.
- (3) If car parking is in connection with a tertiary institution, the following additional development standards apply—
 - (a) must not increase or reduce the number of car spaces currently approved for the land,
 - (b) if the parking area is on grade, provide at least 1 tree with a mature height of at least 8m for every 6 cars.

Note - Consent from the relevant roads authority may be required under section 138 of the Roads Act 1993 for the building of any kerb, crossover or driveway. See clause 1.18(1)(e).

ATTACHMENT C

CONDITIONS RELATING TO TECHNICAL COMPLIANCE ISSUES

1. All building work must be carried out in accordance with the provisions of the BCA (as in force on the date the application for the relevant complying development certificate is made).
2. Unobstructed path of travel with a minimum clear width of 1000 mm must be maintained to all exits at all times throughout the floor.
3. The public way must not be obstructed by any; materials, vehicles, refuse skips, or the like, under any circumstances. Non-compliance with this requirement will result in the issue of Notice by Council to stop all work on site.
4. All materials used in the building must comply with specification 7 (Fire Hazard Properties) of the Building Code of Australia.
5. The efficient coverage and operation of the fire hose and access to the fire hydrant service must not be impaired by the partitioning layout.
6. All glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288 "Glass in buildings - Selection and Installation". Certification for design and installation is to be submitted to the principal certifier (PC) prior to issue of Occupation Certificate.
7. All fully enclosed office/work areas not provided with natural ventilation must be mechanically ventilated or air-conditioned in accordance with F6D6 of the Building Code of Australia. Design and installation are to be certified to Clause F6D6 of the BCA, prior to the issue of Occupation Certificate.
8. Access and facilities for peoples with disabilities must be provided in accordance with Part D4 of the BCA, the Premises Standards and the relevant provisions of AS 1428.1-2009 & AS 1428.4.1-2009.
9. Any door, shutter, grille or the like which is installed in a required exit or in a path of travel to a required exit must be provided in accordance with D3D24 and/or D3D26 of the Building Code of Australia. Where it is proposed to fit a lockset, failsafe device or any security equipment to a door, the design and installation must be in accordance with Clause D3D26 of the BCA. Design and installation are to be certified to Clause D3D24 and/or D3D26 of the BCA prior to the issue of Occupation Certificate.
10. All new works shall comply with the relevant provisions of Section J (Energy Efficiency) of the BCA.
11. An **Occupation Certificate** must be obtained from the principal certifier (PC) and a copy furnished to Council, in accordance with the *Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021*, prior to commencement of occupation or use of the whole or any part of a new building, an altered portion of, or an extension to an existing building.
12. A **Fire Safety Certificate** must be furnished to the principal certifier (PC) for all of the items listed in the Fire Safety Schedule forming part of this approval prior to any consent for occupancy/partial occupancy being granted. A copy of the Certificate must be submitted to Council if it was not the PC.
13. An **Annual Fire Safety Statement** must be given to Council and the Fire Rescue NSW commencing within 12 months after the date on which Council receives the initial Fire Safety Certificate.

ATTACHMENT D

Fire Safety Schedule

Refer attached

Note:

This Fire Safety Schedule includes existing fire safety measures already installed in the building and measures that are proposed to be installed and/or modified under this application.

The list of existing essential fire safety measures that are already installed in the building are based on information provided by the Applicant (such as the Annual Fire Safety Statement) with the CC/CDC Application Form.

Fire Safety Schedule

Part 10 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021



Please note:

- A fire safety schedule must deal with the whole of the building not just part of the building.
- Please complete all sections in full using CAPITAL LETTERS.
- Information to assist to complete each section is provided at the end of this document.

Section 1: Location of the building

Address (Street No., Street Name, Suburb and Postcode)

Shop 2308, 145 Old Pittwater Road BROOKVALE NSW 2100

Lot No. (if known) CP/DP/SP No. (if known) Building name (if applicable)

103 1247294 Westfield Warringah Mall

Section 2: Reissue of Fire Safety Schedule (Section 80A of the Regulation)

☒ Not applicable – Fire Safety Schedule is not being re-issued.

☐ Reissued Fire Safety Schedule (please state reason below)

Reason for Reissue of Schedule

☐ Original Schedule Lost or Destroyed

☐ Correction of errors or omissions.

Section 3: Reference Details (Section 78 of the Regulation)

Reference Type

Reference Number (if known)

COMPLYING DEVELOPMENT CERTIFICATE

CDC-313151

Section 4: Fire Safety Measures for the building – excluding Critical Fire Safety Measures (Section 79 of the Regulation)

Item No. Fire safety measure

Minimum standard of performance

Current (Existing)

WARRINGAH MALL SHOPPING CENTRE INCLUDING LIBRARY	
AIR CONDITIONING & MECHANICAL VENTILATION SYSTEMS	BCA CLAUSE E2.2, AS 1668.1-1998*, AS 1668.2 - 1991, BCA PERFORMANCE REQUIREMENT EP2.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SCIENTIFIC SERVICES LABORATORY (SSL) TO PERMIT REDUCED SMOKE EXHAUST RATES IN THE MAJOR TENANCIES & EXHAUST RATES SPECIFIED IN PROTOCOLS DOCUMENT**
AUTOMATIC FAIL-SAFE DEVICES	BCA D2.19 & D2.21, AS 4085 - 1992
AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	AS2118.1-1999
EMERGENCY LIGHTING	BCA PART E4, AS 2293.1-1987
EMERGENCY VEHICULAR PERIMETER ACCESS	BCA C2.4, BCA PERFORMANCE REQUIREMENT CP9, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**

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EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	AS 2220.1 - 1989*, AS 2220.2-1989*, BCA PERFORMANCE REQUIREMENT EP4.3, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT** & AE&D ALTERNATIVE SOLUTION REPORT NO. 1386 REV00, DATED 10/8/2010 FOR DELETION OF BGA'S FROM ANCHOR CARPARK BCA 2013 SECTION E4.9 & AS 1670.4-2004
ESSENTIAL SERVICES SUPPLY	AS SPECIFIED IN PROTOCOLS DOCUMENT**
EVACUATION MANAGEMENT PLAN	AS 3745 - 2002, AS SPECIFIED IN PROTOCOLS DOCUMENT**
EXIT DOORS & PATHS OF TRAVEL TO THE EXITS	BCA SECTION D, PART 9, DIVISION 7, EP&A REGULATION 2000
EXIT SIGNS	BCA PART E4, AS 2293.1 - 1987, AS 2293.1-1987
FAIL SAFE DEVICES	BCA CLAUSE D2.19 AND D2.21
FIRE BLANKETS	AS 2444-1995, AS 2444-2001
FIRE CONTROL CENTRE	BCA SPEC E1.8, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**
FIRE CONTROL PANELS & BRIGADE CONNECTIONS	BCA E2.2*, AS 1670.1-1995*, AS 4428.6- 1997 (FIRE ALARM LINK)*
FIRE DAMPERS	AS 1682.2-1990*
FIRE DETECTORS AND ALARM SYSTEMS	BCA E2.2*, AS 1670.1-1995*, AS 1668.1-1998*
FIRE EXTINGUISHERS (PORTABLE)	BCA E1.6, AS 2444-1995, AS 2444-2001
FIRE HOSE REELS	BCA E1.4*, AS 2441-1988*, BCA PERFORMANCE REQUIREMENT EP1.1 - ALTERNATIVE SOLUTION IN RELATION TO FIRE HOSE REEL CLEARANCE, REFER TO AE&D REPORT DATED APRIL 2007*
FIRE HYDRANTS & MAINS	BCA E1.3*, AS 2419.1-1994*, ORDINANCE 70, PART 27.2*, NON-COMPLIANCE IN RELATION TO HYDRANT CLEARANCE IN SOME AREAS
FIRE INDICES FOR MATERIALS	BCA C1.10, AS 1530
FIRE-RATED OR SMOKE-RATED DOORS, PANELS OR WINDOWS	BCA PART C3, CLAUSE & SPECIFICATION C3.4 & AS 1905.1-1997, AS1905.1 - 1990 & AS1530.4 - 1999
FIRE RESISTING STRUCTURES & EXITS	BCA SECTIONS C & D*
FIRE SHUTTERS	AS 1905.1-1990, AS 1530.4-1999
LEGEND	* MEANS THE STANDARD OF PERFORMANCE AS MODIFIED BY THE ALTERNATIVE SOLUTION DEVELOPED BY SSL AND AS DETAILED IN THE PROTOCOLS DOCUMENT DATED 31 AUGUST 2007 ** MEANS THAT STANDARD PROTOCOLS DOCUMENT DATES 31 AUGUST 2017
LEGEND	** MEANS THE STANDARD PROTOCOLS DOCUMENT DATED 31 AUGUST 2007 * MEANS THE STANDARD OF PERFORMANCE AS MODIFIED BY THE ALTERNATIVE SOLUTION DEVELOPED BY SSL AND AS DETAILED IN THE PROTOCOLS DOCUMENT DATES 31 AUGUST 2007
PATHS OF TRAVEL	EP&A REG 2000 CLAUSE 186
PENETRATION IN FIRE-RATED CONSTRUCTION	BCA PART C3*, AS 1530.4 - 1997*, AS 4072.1 - 1992*, AS SPECIFIED IN PROTOCOLS DOCUMENT**

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ROADWAY ADJOINING WOOLWORTHS	BCA PERFORMANCE REQUIREMENT CP9, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**
SMOKE EXHAUST SYSTEMS	AS 1668.1-1998*, BCA PERFORMANCE REQUIREMENT EP2.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SCIENTIFIC SERVICES LABORATORY (SSL) TO PERMIT REDUCED SMOKE EXHAUST RATES IN THE MAJORTENANCIES*, EXHAUST RATES SPECIFIED IN THE PROTOCOLS DOCUMENT**
SMOKE LOUVERS- NORTH COURT/MALL	BCA E2.4, AS 2665-2001 & BS 7346, PART 1 - 1990*, BCA PERFORMANCE REQUIREMENT EP.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**
SPRINKLER SYSTEMS	BCA E1.5*, AS 2118.1-1999*, AS 2118.1-1982*, ORDINANCE 70, PART 27.3*
STORAGE LIMITATIONS	AS SPECIFIED IN PROTOCOLS DOCUMENT**
WARNING SYSTEMS ASSOCIATED WITH LIFTS (INCLUDING SIGNS)	BCA PART E3, CLAUSE E3.3* BCA CLAUSE D2.23* ENVIRONMENT PLANNING & ASSESSMENT REGULATION 2000, CLAUSE 183*
WARNING SIGNS	ENVIRONMENTAL PLANNING & ASSESSMENT REGULATION 2000, CLAUSE 183*
WARRINGAH MALL – BROOKVALE HOUSE	
AUTOMATIC FIRE DETECTION AND ALARM SYSTEM (SMOKE DETECTION SYSTEM) THROUGHOUT ALL AREAS INCLUDING CAR PARK (THERMAL DETECTORS CAN BE INSTALLED IN THE CAR PARK) SMOKE DETECTOR TO BE PROVIDED WITHIN 1.5M OF EACH ENTRY DOOR TO THE FIRE STAIRS ON LEVEL 2	BCA SPEC E2.2A AND AS1670.1-2004 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED 01/09/2014 PREPARED BY AED FIRE
BUILDING OCCUPANT WARNING SYSTEM (BOWS) – THROUGHOUT ALL AREAS INCLUDING CAR PARK	BCA CLAUSE E2.2A & AS 1670.1 - 2004 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED 01/09/2014 PREPARED BY AED FIRE
EMERGENCY LIGHTING	BCA PART E4.2, E4.4 & AS 2293.1-2005
EXIT SIGNS	BCA PART E4.5, E4.6, E4.8 & AS 2293.1 - 2005,
FIRE HYDRANT SYSTEM	BCA CLAUSE E1.3, & AS 2419.1-2994, ORDINANCE 70, PART 27.2
FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING JOINTS, GAPS & MISCELLANEOUS PENETRATIONS	BCA CLAUSE C3.15 & AS 1530.4-2005 & AS 4072.1-2005 & INSTALLED IN ACCORDANCE WITH THE TESTED PROTOTYPE
FIRE HOSE REEL SYSTEMS	BCA E1.4, AS 2441-1988
SMOKE DETECTORS	BCA SPEC C3.4 AND AS1288-2006 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED.... PREPARED BY AED FIRE
FAIL SAFE DEVICES	BCA CLAUSE D2.19 AND D2.21
LIGHTWEIGHT CONSTRUCTION	BCA CLAUSE C1.8, SPEC A2.4, SPEC 1.8 & SPEC C1.10
WARRINGAH MALL – ZONE 5 CARPARK INFILL & NEW SECURITY ROOM	
AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	BCA 2014 SPECIFICATION E1.5 & AS 2118.1- 1999
EMERGENCY LIGHTING	BCA 2014 CLAUSE E4.2, E4.4 & AS 2293.1-2005

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	EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	BCA 2014 CLAUSE E4.9 & AS 1670.4-2004
	EXIT SIGNS	BCA 2014 CLAUSE E4.5, NSW E4.6, E4.8 & AS2293.1 - 2005,
	FIRE DOORS	BCA2014 SPECIFICATION C3.4 & AS1905.1-2005
	FIRE HYDRANT SYSTEM	BCA 2014 CLAUSE E1.3, & AS 2419.1-2005
	FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING – ELECTRICAL PENETRATIONS	BCA 2014 CLAUSE C3.15 & AS 1530.4-2005 & AS4072.1-2005 & INSTALLED IN ACCORDANCE WITH THE TESTED PROTOTYPE
	HOSE REEL SYSTEMS	BCA 2014 CLAUSE E1.4, AS 2441-2005
	MECHANICAL AIR HANDLING SYSTEM (CARPARK MECHANICAL VENTILATION SYSTEM)	BCA2014 TABLE E2.2A & CLAUSE 5.5 OF AS/NZ 1668.1-1998 & FANS WITH METAL BLADES SUITABLE FOR OPERATION AT NORMAL TEMPERATURE MAY BE USED & THE ELECTRICAL POWER & CONTROL CABLING NEED NOT BE FIRE RATED
HOYTS CINEMAS 1-9 & MAIN FOYER		
	AUTOMATIC FAIL-SAFE DEVICES	AS 1670-1995 & MANUFACTURERS SPEC.
	AUTOMATIC FIRE DETECTION AND ALARM SYSTEM	BCA 96 2.2A/H101.17.1 & AS 1670.1-1995
	AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM)	AS2118.1-1982
	EMERGENCY LIGHTING	BCA CI E4.2, 7 E4.4/ AS 2293.1-1987
	EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	BCA CI E4.9/AS 2220 PARTS 1 & 2 - 1989
	EXIT SIGNS	BCA 96 CI E4.5, E4.6 7 E4.8/AS 2293.1 - 1987
	FIRE ALARM COMMUNICATION LINK	AS 4428.6/AS 3013-1995
	FIRE DAMPERS	AS 1668.1-1998/AS1682.1 & 2
	FIRE DOORS	BCA SPEC C3.4 & AS/NZS 1905.1-1997
	FIRE HOSE REEL SYSTEM	ORD 70 MINISTERIAL SPEC 10/ AS 2441-1998
	FIRE HYDRANT SYSTEM	BCA 96 CI E1.3/AS 2419.1-1994
	FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING	AS 1530.1
	FIRE SHUTTERS & FIRE WINDOWS	BCA SPEC C3.4 & NSW H11.17.3
	FIRE SHUTTERS TO BIO BOX PORTS	BCA SPEC C3.4 & NSW H11.17.3
	FIRE SPRAY TO STEEL STRUCTURE & MECHANICAL DUCTWORK	AS 1530.3 & MANUFACTURERS SPEC
	LIGHTWEIGHT FIRE-RATED CONSTRUCTION	BCA 96 SPEC C1.8 & MANUFACTURERS SPEC
	MECHANICAL AIR HANDLING SYSTEMS	AS 1668.1-1991
	PATHS OF TRAVEL	EP&A REG 2000 CLAUSE 186
	PORTABLE FIRE EXTINGUISHERS	BCA 96 CI E1.6/AS 2444.1-1995
	SMOKE CONTROL SYSTEM (CINEMAS 1-9 AND MAIN FOYER)	SSL FIRE ENGINEERING REPORT XR0248/R1 JULY 1999 BASED ON 2.5M3 PER SEC PER CINEMA
	WARNING & OPERATIONAL SIGNS	EPA REG 2000 PART 9 DIV 7

Proposed (New or Modified including section 84(6) of the Regulation)

	AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	AS2118.1-1999
	EMERGENCY LIGHTING	BCA 2022 E4D2, E4D4 AS 2293.1-2018

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EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	AS 2220.1 - 1989*, AS 2220.2-1989*, BCA PERFORMANCE REQUIREMENT EP4.3, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT** & AE&D ALTERNATIVE SOLUTION REPORT NO. 1386 REV00, DATED 10/8/2010 FOR DELETION OF BGA'S FROM ANCHOR CARPARK BCA 2013 SECTION E4.9 & AS 1670.4-2004
EXIT SIGNS	BCA 2022 E4D5, E4D6, E4D8 AS 2293.1-2018
FIRE EXTINGUISHERS (PORTABLE)	BCA 2022 E1D14 AS 2444-2001

Details of Fire Safety Building Code of Australia (BCA) Performance Solution Report(s)

(Ref No./Title of report/Author/Date) BCA Performance Requirement(s) BCA DtS Provision(s) and details of non-compliance

No new reports applicable.

Section 5: Critical Fire Safety Measures – where applicable to the building (Section 79 of the Regulation)

Note: A critical fire safety measure is one where the performance is verified at intervals of less than 12 months through the submission of a supplementary fire safety statement.

Item No. Fire safety measure Minimum standard of performance
Current (Existing)

Nil applicable.

Proposed (New or Modified)

Nil applicable.

Section 6: Details of approved exemptions from compliance with BCA standards for a relevant fire safety system (Section 74 of the Regulation)

Item No. Relevant fire safety measure Description of exemption

AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	The system will provide (as a minimum) the same level of protection that is currently provided to the building, and the operational performance of the system will not be diminished
EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	The existing system will provide Alert and Evacuation tones within the tenancy consistent with the tones delivered to the remainder of the building. The operational performance will therefore not be diminished. New devices and spacing to current standard.

Section 7: Name of authority or registered certifier issuing this schedule

Name Organisation (Business or Council Name)

Osman Asanovski

(NOTE: The information provided in this fire safety schedule was obtained from the Annual Fire Safety Statement (AFSS) provided by the applicant. We have not validated the contents of the AFSS.

Advance Building Approvals

Business Address (Street No., Street Name, Suburb and Postcode)

Fire Safety Schedule



Part 10 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

Suite 1004, Level 10, 370 Pitt Street SYDNEY NSW 2000

Registration Number (Where Applicable)

BDC05245

Date of Issue

22/10/2025

Fire Safety Schedule



Part 10 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

Please note:

The following information is provided to help persons completing this fire safety schedule (FSS) template and does not comprise part of the form. The following pages do not have to be displayed in the building or submitted to the local Council or the Commissioner of Fire and Rescue NSW or attached to any fire safety certificate or annual fire safety statement.

General

- Please print in CAPITAL LETTERS and complete all relevant sections in full.
- A reference to 'the Regulation' is a reference to the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- The completed fire safety schedule form must be attached to the relevant application.
- An earlier fire safety schedule is superseded by a later fire safety schedule and ceases to have effect when the later fire safety schedule is issued.
- A fire safety schedule must deal with the whole of the building and not only the part of the building to which the development consent, complying development certificate, construction certificate or fire safety order relates.
- Further information about building fire safety is available on the 'Fire safety' page of the Department's website at <https://www.fairtrading.nsw.gov.au/housing-and-property/reforms-to-fire-safety-regulation-2022>.

Section 1: Description of the building

- The address and other property details should be provided here.

Section 2: Reissue of Fire Safety Schedule

- The purpose of this section is to specify whether the fire safety schedule is a new schedule or a schedule that has been reissued under section 80A of the Regulation.
- An initial fire safety schedule issued when a Development Consent, Complying Development Certificate, Construction Certificate, or a fire safety order is issued is not taken to be a re-issued Schedule.
- The re-issue of a fire safety schedule may occur because the original schedule was lost or destroyed or to correct errors or omissions in the fire safety schedule.
- It must be noted that a fire safety schedule **cannot** be reissued under section 80A of the Regulation if the error or omission is due to building work or a change in plans or specifications for the fire safety measures of the building.
- A private certifier **cannot** re-issue a schedule under s80A after an occupation certificate has been issued by the certifier.
- A council that reissues a fire safety schedule where the 'original' was not required to be in the approved form does not need to issue the replacement schedule on the approved form. Instead, a council may reissue the schedule in the same form as the schedule being replaced.

Section 3: Reference Details

- Provide details of the relevant reference document by selecting the relevant type from the drop-down list.
- The reference number of the relevant Development Consent, Construction Certificate, Complying Development Certificate or Fire Safety Order Reference must be listed where known.
- For ease of use only one reference to a relevant document type is necessary for filling out this part. It is unnecessary to reference multiple Development Consents, staged CCs, or CDCs that are/or were once applicable to the building over its lifetime.

Section 4: Fire Safety Measures currently implemented OR proposed to be implemented for the building

- The purpose of this section is to identify those current and proposed fire safety measures that must be implemented for the building.

Fire safety measures

- A proposed fire safety measure is taken to be either a required measure not currently installed in the building or an existing measure which is being altered.
- Fire safety measures include both statutory fire safety measures and other fire safety measures. The statutory fire measures are specified in section 79(4) of the Regulation and include portable fire extinguishers, fire hydrants, fire sprinklers, fire detection and alarm systems and lightweight construction.
- Other fire safety measures could include any measure that is specific to the building such as those required as part of a fire safety Building Code of Australia (BCA) performance solution for the building.

Fire Safety Schedule



Part 10 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

Minimum standard of performance

- The minimum standard of performance for a fire safety measure describes the technical specification for the design, installation and operation of the measures. The minimum standard of performance is generally determined by the BCA and should not be confused with the specified maintenance activities which are used for maintenance of a fire safety measure.
- Where noting the minimum standard of performance for a fire safety measure (FSM) care needs to be taken to ensure relevant details are provided. When expressing a minimum standard of performance for a FSM the following referencing sequence should be used: (the Building Code of Australia (BCA) edition applicable to the FSM, then any relevant BCA Deemed-to-Satisfy Clause(s) or Specification(s), then any relevant Reference Document(s) (such as Australian Standards) and the applicable edition (year) of that Referenced Standard.
- If an application relates only to a part of a building and the required fire safety measures and their associated minimum standard of performance varies from other parts of the building, the fire safety schedule must clearly identify the different fire safety measures and/or different standards of performance in a building.

Using the table

- If there are no existing fire safety measures specify 'Nil' in the first row under both 'Current' and 'Minimum standard of performance'. The remaining rows of the table under 'Current' can be deleted.
- If there are no proposed fire safety measures specify 'Nil' in the first row under both 'Proposed' and 'Minimum standard of performance'. The remaining rows of the table under 'Proposed' can be deleted.
- Additional rows can be added under 'Current' and 'Proposed' measures if required.

Performance solutions

- The fire safety schedule must identify all fire safety measures that are required as part of a fire safety BCA performance solution, including any reference to the BCA performance solution report document when specifying the standard of performance for each measure.
- Provide identifying details of any fire engineered BCA performance solution report(s) relevant to those corresponding fire safety measures in the table 'Details of Building Code of Australia Performance Solution Report(s)'.
- Details including the author of the report, the relevant BCA performance requirements about which the report demonstrates compliance, and a brief description of the relevant BCA deemed-to-satisfy provision(s) considered are to be provided here.

Section 5: Critical Fire Safety Measures currently implemented OR proposed to be implemented in the building

- The purpose of this section is to identify those current or proposed critical fire safety measures for the building.
- A critical fire safety measure is a measure that requires periodic assessment and certification at intervals of less than 12 months, because of its nature, the environment, or other circumstances.
- Not all buildings will be subject to critical fire safety measures and this section must only be filled out where a building has critical fire safety measures as identified by the registered certifier (council or private) or appropriate authority.
- Each critical fire safety measure and the associated minimum standard of performance must be listed.
- The intervals, of less than 12 months, at which the critical fire safety measure must be assessed and requiring the submission of a supplementary fire safety statement must also be specified.
- It is up to the registered certifier (council or private) or appropriate authority to identify what is a critical fire safety measure and the frequency in which a supplementary fire safety statement is required to be lodged to the council.
- If there are no applicable critical fire safety measures insert 'Nil' in the row under 'Current', 'Proposed' and 'Minimum standard of performance'. The remaining rows of the table under 'Current' and 'Proposed' can be deleted.
- Additional rows can be added to the table if required.

Section 6: Exemption from BCA standard for a relevant fire safety system

- The purpose of this section is to identify in accordance with section 23(3)(b) of the Regulation any exemptions from BCA standards for the fire safety building work granted under a construction certificate by a certifier resulting from an objection under section 74 of the Regulation.
- Objections made under this provision relate to the operational performance of a relevant fire safety system.
- A relevant fire safety system is defined by the Regulation and can be either a hydraulic fire system, a fire detection and alarm system, or a mechanical ducted smoke control system.
- In this section the applicant must specify the relevant fire safety measure to which an exemption applies. In addition, a detailed description of the exemption is to be provided.
- If there are no exemptions relevant to the building insert 'Nil' in the first row under both 'Relevant Fire Safety System' and 'Details of the exemption'. The remaining rows of the table can be deleted.
- Additional rows may be added to the table if required.

Fire Safety Schedule

Part 10 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021



Section 7: Name and contact details of the person issuing the schedule

- The purpose of this section of the form is to include details of the person or authority that is issuing the schedule.
- Where the fire safety schedule is issued by a registered certifier details of the registration number of the certifier are to be provided.
- The date of issue must also be included on the fire safety schedule.

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Fire Safety Statement

Part 12 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021



Please note:

Information to assist building owners to complete each section of the statement is provided on pages 3, 4 and 5.

Section 1: Type of statement

This is (mark applicable box): ☒ an annual fire safety statement (complete the declaration at Section 8 of this form)
☐ a supplementary fire safety statement (complete the declaration at Section 9 of this form)

Section 2: Description of the building or part of the building

This statement applies to: ☒ the whole building ☐ part of the building

Address (Street No., Street Name, Suburb and Postcode)

WARRINGAH MALL, 145 OLD PITTWATER RD, BROOKVALE NSW 2100

Lot No. (if known) DP/SP (if known) Building name (if applicable)
00642 WESTFIELD WARRINGAH MALL

Provide a brief description of the building or part (building use, number of storeys, construction type etc)

CLASS:

TYPE: RETAIL AND CARPARK

SIZE: O200

STORIES ABOVE GROUND: 1

STORIES BELOW GROUND: 0

Section 3: Name and address of the owner(s) of the building or part of the building

Full Name (Given Name/s and Family Name) *

C/O SCENTRE GROUP LIMITED

* Where the owner is not a person/s but an entity including a company or trust insert the full name of that entity.

Address (Street No., Street Name, Suburb and Postcode)

188 PITT STREET SYDNEY 2000

Section 4: Fire safety measures

Fire safety measure	Minimum standard of performance	Date(s) assessed	APFS *
WARRINGAH MALL SHOPPING CENTRE INCLUDING LIBRARY	BCA CLAUSE E2.2, AS 1668.1-1998*, AS 1668.2 - 1991, BCA PERFORMANCE REQUIREMENT EP2.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SCIENTIFIC SERVICES LABORATORY (SSL) TO PERMIT REDUCED SMOKE EXHAUST RATES IN THE MAJOR TENANCIES & EXHAUST RATES SPECIFIED IN PROTOCOLS DOCUMENT**	24/07/2024	F016208A
AIR CONDITIONING & MECHANICAL VENTILATION SYSTEMS	BCA D2.19 & D2.21, AS 4085 - 1992	24/07/2024	F016208A
AUTOMATIC FAIL-SAFE DEVICES	AS2118.1-1999	25/07/2024	F016208A
✓ AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	BCA PART E4, AS 2293.1-1987	15/08/2024	F016208A
✓ EMERGENCY LIGHTING	BCA C2.4, BCA PERFORMANCE REQUIREMENT CP9, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**	29/08/2024	F016208A
EMERGENCY VEHICULAR PERIMETER ACCESS			

WARRINGAH MALL, 145 OLD PITTWATER RD, BROOKVALE NSW 2100

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Part 15 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021



WARRINGAH MALL SHOPPING CENTRE INCLUDING LIBRARY

✓ EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	AS 2220.1 - 1989*, AS 2220.2-1989*, BCA PERFORMANCE REQUIREMENT EP4.3, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT** & AE&D ALTERNATIVE SOLUTION REPORT NO. 1386 REV00, DATED 10/8/2010 FOR DELETION OF BGA'S FROM ANCHOR CARPARK	24/07/2024	F016208A
ESSENTIAL SERVICES SUPPLY	AS SPECIFIED IN PROTOCOLS DOCUMENT**	15/08/2024	F016208A
EVACUATION MANAGEMENT PLAN	AS 3745 - 2002, AS SPECIFIED IN PROTOCOLS DOCUMENT**	15/08/2024	F016208A
EXIT DOORS & PATHS OF TRAVEL TO THE EXITS	BCA SECTION D, PART 9, DIVISION 7, EP& A REGULATION 2000	29/08/2024	F016208A
✓ EXIT SIGNS	BCA PART E4, AS 2293.1 - 1987, AS 2293.1-1987	15/08/2024	F016208A
FAIL SAFE DEVICES	BCA CLAUSE D2.19 AND D2.21	24/07/2024	F016208A
FIRE BLANKETS	AS 2444-1995, AS 2444-2001	15/08/2024	F016208A
FIRE CONTROL CENTRE	BCA SPEC E1.8, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**	15/08/2024	F016208A
FIRE CONTROL PANELS & BRIGADE CONNECTIONS	BCA E2.2*, AS 1670.1-1995*, AS 4428.6- 1997 (FIRE ALARM LINK)*	15/08/2024	F016208A
FIRE DAMPERS	AS 1682.2-1990*	29/08/2024	F016208A
✓ FIRE DETECTORS AND ALARM SYSTEMS	BCA E2.2*, AS 1670.1-1995*, AS 1668.1-1998*	23/07/2024	F016208A
✓ FIRE EXTINGUISHERS (PORTABLE)	BCA E1.6, AS 2444-1995, AS 2444-2001	15/08/2024	F016208A
FIRE HOSE REELS	BCA E1.4*, AS 2441-1988*, BCA PERFORMANCE REQUIREMENT EP1.1 - ALTERNATIVE SOLUTION IN RELATION TO FIRE HOSEREEL CLEARANCE, REFER TO AE&D REPORT DATED APRIL 2007*	15/08/2024	F016208A
FIRE HYDRANTS & MAINS	BCA E1.3*, AS 2419.1-1994*, ORDINANCE 70, PART 27.2*, NON-COMPLIANCE IN RELATION TO HYDRANT CLEARANCE IN SOME AREAS	25/07/2024	F016208A
FIRE INDICES FOR MATERIALS	BCA C1.10, AS 1530	15/08/2024	F016208A
FIRE-RATED OR SMOKE-RATED DOORS, PANELS OR WINDOWS	BCA PART C3, CLAUSE & SPECIFICATION C3.4 & AS 1905.1-1997, AS 1905.1 - 1990 & AS 1530.4 - 1999	15/08/2024	F016208A
FIRE RESISTING STRUCTURES & EXITS	BCA SECTIONS C & D*	15/08/2024	F016208A
FIRE SHUTTERS	AS 1905.1-1990, AS 1530.4-1999	24/07/2024	F016208A
LEGEND	* MEANS THE STANDARD OF PERFORMANCE AS MODIFIED BY THE ALTERNATIVE SOLUTION DEVELOPED BY SSL AND AS DETAILED IN THE PROTOCOLS DOCUMENT DATED 31 AUGUST 2007 ** MEANS THAT STANDARD PROTOCOLS DOCUMENT DATES 31 AUGUST 2017	15/08/2024	F016208A
LEGEND	** MEANS THE STANDARD PROTOCOLS DOCUMENT DATED 31 AUGUST 2007 * MEANS THE STANDARD OF PERFORMANCE AS MODIFIED BY THE ALTERNATIVE SOLUTION DEVELOPED BY SSL AND AS DETAILED IN THE PROTOCOLS DOCUMENT DATES 31 AUGUST 2007	15/08/2024	F016208A
PATHS OF TRAVEL	EP&A REG 2000 CLAUSE 186	29/08/2024	F016208A

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PENETRATION IN FIRE-RATED CONSTRUCTION	BCA PART C3*, AS 1530.4 - 1997*, AS 4072.1 - 1992*, AS SPECIFIED IN PROTOCOLS DOCUMENT**	15/08/2024	F016208A
ROADWAY ADJOINING WOOLWORTHS	BCA PERFORMANCE REQUIREMENT CP9, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**	15/08/2024	F016208A
SMOKE EXHAUST SYSTEMS	AS 1668.1-1998*, BCA PERFORMANCE REQUIREMENT EP2.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SCIENTIFIC SERVICES LABORATORY (SSL) TO PERMIT REDUCED SMOKE EXHAUST RATES IN THE MAJORTENANCIES*, EXHAUST RATES SPECIFIED IN THE PROTOCOLS DOCUMENT**	24/07/2024	F016208A
SMOKE LOUVERS- NORTH COURT/MALL	BCA E2.4, AS 2665-2001 & BS 7346, PART 1 - 1990*, BCA PERFORMANCE REQUIREMENT EP.2, AS DETAILED IN THE FIRE SAFETY ENGINEERING SOLUTION BY SSL*, AS SPECIFIED IN THE PROTOCOLS DOCUMENT**	24/07/2024	F016208A
SPRINKLER SYSTEMS	BCA E1.5*, AS 2118.1-1999*, AS 2118.1-1982*, ORDINANCE 70, PART 27.3*	25/07/2024	F016208A
STORAGE LIMITATIONS	AS SPECIFIED IN PROTOCOLS DOCUMENT**	15/08/2024	F016208A
WARNING SYSTEMS ASSOCIATED WITH LIFTS (INCLUDING SIGNS)	BCA PART E3, CLAUSE E3.3* BCA CLAUSE D2.23* ENVIRONMENT PLANNING & ASSESSMENT REGULATION 2000, CLAUSE 183*	29/08/2024	F016208A
WARNING SIGNS	ENVIRONMENTAL PLANNING & ASSESSMENT REGULATION 2000, CLAUSE 183*	29/08/2024	F016208A
WARRINGAH MALL – BROOKVALE HOUSE			
AUTOMATIC FIRE DETECTION AND ALARM SYSTEM (SMOKE DETECTION SYSTEM) THROUGHOUT ALL AREAS INCLUDING CAR PARK (THERMAL DETECTORS CAN BE INSTALLED IN THE CAR PARK)	BCA SPEC E2.2A AND AS1670.1-2004 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED 01/09/2014 PREPARED BY AED FIRE	24/07/2024	F016208A
SMOKE DETECTOR TO BE PROVIDED WITHIN 1.5M OF EACH ENTRY DOOR TO THE FIRE STAIRS ON LEVEL 2			
BUILDING OCCUPANT WARNING SYSTEM (BOWS) - THROUGHOUT ALL AREAS INCLUDING CAR PARK	BCA CLAUSE E2.2A & AS 1670.1 - 2004 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED 01/09/2014 PREPARED BY AED FIRE	24/07/2024	F016208A
EMERGENCY LIGHTING	BCA PART E4.2, E4.4 & AS 2293.1-2005	15/08/2024	F016208A
EXIT SIGNS	BCA PART E4.5, E4.6, E4.8 & AS 2293.1 - 2005, BCA CLAUSE E1.3, & AS 2419.1-2994, ORDINANCE 70, PART 27.2	15/08/2024	F016208A
FIRE HYDRANT SYSTEM		25/07/2024	F016208A
FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING JOINTS, GAPS & MISCELLANEOUS PENETRATIONS	BCA CLAUSE C3.15 & AS 1530.4-2005 & AS 4072.1-2005 & INSTALLED IN ACCORDANCE WITH THE TESTED PROTOTYPE	29/08/2024	F016208A
FIRE HOSE REEL SYSTEMS	BCA E1.4, AS 2441-1988	29/08/2024	F016208A

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WARRINGAH MALL SHOPPING CENTRE INCLUDING LIBRARY

SMOKE DETECTORS	BCA SPEC C3.4 AND AS1288-2006 AND FIRE ENGINEERING REPORT F1518 FER REV01 DATED.... PREPARED BY AED FIRE	29/08/2024	F016208A
FAIL SAFE DEVICES	BCA CLAUSE D2.19 AND D2.21	24/07/2024	F016208A
LIGHTWEIGHT CONSTRUCTION	BCA CLAUSE C1.8, SPEC A2.4, SPEC 1.8 & SPEC C1.10	29/08/2024	F016208A
WARRINGAH MALL – ZONE 5 CARPARK INFILL & NEW SECURITY ROOM			
AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLERS)	BCA 2014 SPECIFICATION E1.5 & AS 2118.1-1999	25/07/2024	F016208A
EMERGENCY LIGHTING	BCA 2014 CLAUSE E4.2, E4.4 & AS 2293.1-2005	15/08/2024	F016208A
EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	BCA 2014 CLAUSE E4.9 & AS 1670.4-2004	24/07/2024	F016208A
EXIT SIGNS	BCA 2014 CLAUSE E4.5, NSW E4.6, E4.8 & AS 2293.1 - 2005,	15/08/2024	F016208A
FIRE DOORS (excluding Myer)	BCA2014 SPECIFICATION C3.4 & AS1905.1-2005	15/08/2024	F016208A
FIRE HYDRANT SYSTEM	BCA 2014 CLAUSE E1.3, & AS 2419.1-2005	15/08/2024	F016208A
FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING – ELECTRICAL PENETRATIONS	BCA 2014 CLAUSE C3.15 & AS 1530.4-2005 & AS 4072.1-2005 & INSTALLED IN ACCORDANCE WITH THE TESTED PROTOTYPE	29/08/2024	F016208A
HOSE REEL SYSTEMS	BCA 2014 CLAUSE E1.4, AS 2441-2005	15/08/2024	F016208A
MECHANICAL AIR HANDLING SYSTEM (CARPARK MECHANICAL VENTILATION SYSTEM)	BCA2014 TABLE E2.2A & CLAUSE 5.5 OF AS/NZ 1668.1-1998 & FANS WITH METAL BLADES SUITABLE FOR OPERATION AT NORMAL TEMPERATURE MAY BE USED & THE ELECTRICAL POWER & CONTROL CABLING NEED NOT BE FIRE RATED	24/07/2024	F016208A
HOYTS CINEMAS 1-9 & MAIN FOYER			
AUTOMATIC FAIL-SAFE DEVICES	AS 1670-1995 & MANUFACTURERS SPEC.	25/07/2024	F022934A
AUTOMATIC FIRE DETECTION AND ALARM SYSTEM	BCA 96 2.2A/H101.17.1 & AS 1670.1-1995	25/07/2024	F022934A
AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM)	AS2118.1-1982	25/07/2024	F022934A
EMERGENCY LIGHTING	BCA CI E4.2, 7 E4.4/ AS 2293.1-1987	5/09/2024	F057486A
EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM	BCA CI E4.9/AS 2220 PARTS 1 & 2 - 1989	25/07/2024	F022934A
EXIT SIGNS	BCA 96 CI E4.5, E4.6 7 E4.8/AS 2293.1 - 1987	5/09/2024	F057486A
FIRE ALARM COMMUNICATION LINK	AS 4428.6/AS 3013-1995	25/07/2024	F022934A
FIRE DAMPERS	AS 1668.1-1998/AS1682.1 & 2	25/07/2024	F056188A
FIRE DOORS	BCA SPEC C3.4 & AS/NZS 1905.1-1997	25/07/2024	F022934A
FIRE HOSE REEL SYSTEM	ORD 70 MINISTERIAL SPEC 10/ AS 2441-1998	25/07/2024	F022934A
FIRE HYDRANT SYSTEM	BCA 96 CI E1.3/AS 2419.1-1994	25/07/2024	F022934A
FIRE SEALS PROTECTING OPENINGS IN FIRE RESISTING COMPONENTS OF THE BUILDING	AS 1530.1	25/07/2024	F022934A

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FIRE SHUTTERS & FIRE WINDOWS	BCA SPEC C3.4 & NSW H11.17.3	25/07/2024	F022934A
FIRE SHUTTERS TO BIO BOX PORTS	BCA SPEC C3.4 & NSW H11.17.3	25/07/2024	F022934A
FIRE SPRAY TO STEEL STRUCTURE & MECHANICAL DUCTWORK	AS 1530.3 & MANUFACTURERS SPEC	25/07/2024	F022934A
LIGHTWEIGHT FIRE-RATED CONSTRUCTION	BCA 96 SPEC C1.8 & MANUFACTURERS SPEC	25/07/2024	F022934A
	AS 1668.1-1991	25/07/2024	F056188A
MECHANICAL AIR HANDLING SYSTEMS			
PATHS OF TRAVEL	EP&A REG 2000 CLAUSE 186	25/07/2024	F022934A
PORTABLE FIRE EXTINGUISHERS	BCA 96 CI E1.6/AS 2444.1-1995	25/07/2024	F022934A
Smoke Control System (Cinemas 1-9 and Main Foyer)	SSL Fire Engineering Report XRO248/R1 July 1999 Based on 2.5m3 per sec. per Cinema	25/07/2024	F056188A
WARNING & OPERATIONAL SIGNS	EPA REG 2000 PART 9 DIV 7	25/07/2024	F022934A

* See notes on page 4 about how to correctly identify an accredited practitioner (fire safety) (APFS). Also, new rows can be added if required.

Section 5: Inspection of fire exits and paths of travel to fire exits (Part 15)

Part of the building inspected	Date(s) inspected	APFS *
WHOLE (excl Cinemas)	29/08/2024	F016208A
Cinemas	25/07/2024	F022934A

* See notes on page 4 about how to correctly identify an accredited practitioner (fire safety) (APFS). Also, new rows can be added if required.

Section 6: Name and contact details of each accredited practitioner (fire safety) (APFS)*

Full name (Given Name/s and Family Name)	Address	Phone	APFS*	Signature
SCOTT LEYS	LEVEL 20, 99 WALKER STREET NORTH SYDNEY 2060	1300 725 797	F016208A	
JAMES ROSS	46/9 Hoyle Avenue Castle Hill NSW 2154	02 9894 5559	F022934A	
Richard Habib	icielectricalservices@gmail.co m.au	0416 970 841	F057486A	
Nathan Gale	Unit 2/13 Pioneer Ave Tuggerah NSW 2259	1300 513 525	F056188A	

* Where applicable – see notes on page 4 for further information.

Section 7: Details of the person making the declaration in section 8 or 9

Full name (Given Name/s and Family Name)

WILL FARENDEN

Organisation (if applicable)

SCENTRE GROUP

Title/Position (if applicable)

CENTRE MANAGER

Address (Street No, Street Name, Suburb and Postcode)

145 OLD PITWATER RD, BROOKVALE NSW 2100

WARRINGAH MALL, 145 OLD PITWATER RD, BROOKVALE NSW 2100

Fire Safety Statement

Part 15 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021



Phone

02 9903 5075

Email

WFARENDEN@SCENTREGROUP.COM

* The person making the declaration in section 8 or 9 must not be an APFS listed in section 6 or their employer/employee or direct associate.

Section 8: Annual fire safety statement declaration

I, WILL FARENDEN (insert full name) being the: ☐ owner ☒ owner's

Fire Safety Statement



Part 15 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

declare that:

- a) each essential fire safety measure specified in this statement has been assessed by an accredited practitioner (fire safety) as capable of performing:
 - i. for an essential fire safety measure specified in the fire safety schedule, to a standard no less than that specified in the schedule, or
 - ii. for an essential fire safety measure applicable to the building but not specified in the fire safety schedule, to a standard no less than that to which the measure was originally designed and implemented, and
- b) the building has been inspected by an accredited practitioner (fire safety) and was found, when it was inspected, to be in a condition that did not disclose grounds for a prosecution under Part 15 of the Regulation.

Owner/Agent Signature

A handwritten signature in black ink, appearing to be 'W. J. [unclear]', written over a horizontal line.

Date issued

26/09/2024

Section 9: Supplementary fire safety statement declaration

I, (insert full name) being the: ☐ owner ☐ owner's agent

declare that each critical fire safety measure specified in this statement has been assessed by an accredited practitioner (fire safety) as capable of performing to at least the standard required by the current fire safety schedule for the building.

Owner/Agent Signature

Date issued

Note:

- A fire safety statement for a building must not be issued unless the statement is accompanied by a fire safety schedule for the building in accordance with the Regulation.
- The building owner(s) are also responsible for ensuring that essential fire safety measures are maintained in accordance with section 81 of the Regulation. An agent cannot be made responsible for this requirement.

Fire Safety Statement

Information to help building owners complete the Fire Safety Statement form



Please note:

The following information has been provided to help building owners complete the fire safety statement template and does not comprise part of the form. The following pages do not have to be displayed in the building and need not be submitted to the local council and the Commissioner of Fire and Rescue NSW.

General

- Please print in CAPITAL LETTERS and complete all relevant sections in full.
- A reference to 'the Regulation' is a reference to the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- An 'APFS' is an accredited practitioner (fire safety) as defined in the Dictionary in the Regulation.
- The completed fire safety statement form must be submitted to both the local council and Fire and Rescue NSW.
- Please contact your local council for further information about how to submit the completed statement.
- Completed statements need to be emailed to Fire and Rescue NSW at afss@fire.nsw.gov.au. For further information about this process, please visit the '**Error! Hyperlink reference not valid.**' page at www.fire.nsw.gov.au.
- As soon as practicable after issuing the fire safety statement, the building owner must ensure a copy (together with a copy of the current fire safety schedule) is displayed in a prominent location within the building.
- Further information about building fire safety is available on the 'Fire safety in buildings' page of the Department's website at www.planning.nsw.gov.au.

Section 1: Type of statement

- Mark the applicable box to identify if the statement being issued is an annual fire safety statement or a supplementary fire safety statement.
- An annual fire safety statement is issued under Part 12 of the Regulation and relates to each essential fire safety measure that applies to the building.
- A supplementary fire safety statement is issued under Part 12 of the Regulation and relates to each critical fire safety measure that applies to the building.

Section 2: Description of the building or part of the building

- Mark the applicable box to identify whether the statement relates to the whole building or part of the building.
- In addition to the address and other property identifiers, a brief description of the building or part is to be provided. This could include the use(s) of the building (e.g. retail, offices, residential, assembly, carparking), number of storeys (above and/or below ground), construction type or other relevant information.
- If the description relates to part of a building, the location of the part should be included in the description.

Section 3: Name and address of the owner(s) of the building or part of the building

- Provide the name and address of each owner of the building or part of the building.
- The owner of the building or part of the building could include individuals, a company, or an owner's corporation.

Section 4: Fire safety measures

- The purpose of this section is to identify all of the fire safety measures that apply to a building or part of a building.
- The statutory fire safety measures are listed in section 79 of the Regulation.
- Fire safety measures include both essential fire safety measures and critical fire safety measures. They include items such as portable fire extinguishers, fire hydrants, fire sprinklers, fire detection and alarm systems and lightweight construction.
- Essential fire safety measures are those fire safety measures which are assessed on an annual basis, while critical fire safety measures are those which are required to be assessed at more regular intervals (as detailed on the fire safety schedule). These terms are defined in the Dictionary in the Regulation.
- For annual fire safety statements, the table in section 4 must list each of the essential fire safety measures that apply to the building or part of the building and the relevant standard of performance. The date(s) on which these measures were assessed and inspected must be within the 3 months prior to the date the annual fire safety statement is issued.

Fire Safety Statement

Information to help building owners complete the Fire Safety Statement form



- For supplementary fire safety statements, the table in section 4 must list each of the relevant critical fire safety measures that apply to the building or part and the relevant standard of performance. The date(s) on which these measures were assessed and inspected must be within 1 month prior to the date the supplementary fire safety statement is issued.
- The accreditation number of the APFS who assessed a fire safety measure listed in section 4 must be nominated against the relevant measure(s) in the column titled 'APFS'. If the APFS is not required to hold accreditation, the name of the APFS must be listed. Further information relating to the accreditation of practitioners is provided at section 6.

Section 5: Inspection of fire exits and paths of travel to fire exits (Part 15)

- This section applies only to an annual fire safety statement.
- The purpose of this section is to identify that an APFS has inspected the fire safety notices, fire exits, fire exit doors and the paths of travel to fire exits in the building or part of the building and found there has been no breach of Part 15 of the Regulation.
- The table in section 5 must detail the parts of the building that were inspected. The date(s) of the inspection(s) must be within the 3 months prior to the date the annual fire safety statement is issued.
- The accreditation number of the APFS who inspected the whole or part of the building listed in section 5 must be nominated against the relevant part in the column titled 'APFS'. Further information relating to the accreditation of practitioners is provided at section 6.

Section 6: Name and contact details of each accredited practitioner (fire safety) (APFS)

- An APFS is a person engaged by the building owner(s) to undertake the assessment of fire safety measures in section 4 and the inspection of the buildings exit systems in section 5 (for an annual fire safety statement).
- The purpose of this section is to record the name, address and contact details of each APFS who assessed a fire safety measure listed in section 4 or inspected the building or part of the building as specified in section 5.
- Each APFS listed in the table must also sign the fire safety statement. Alternatively, an APFS could provide the building owner or agent with a separate signed document to indicate their assessment of the fire safety measure/s and the relevant standard of performance. In addition, where the relevant practitioner that inspected the matters in section 5 did not sign the fire safety statement, they would need to address section 5 in a separately signed document.
- A building owner must select an APFS from a register of practitioners accredited under an approved industry accreditation scheme. The accreditation number of each relevant APFS must be listed on the form.
- If the building owner has determined the competence of a person to act as a APFS because the Commissioner for Fair Trading is satisfied there are no practitioners accredited under an industry approved accreditation scheme to assess a specific fire safety measure and has authorised the owner to do so, there is no requirement to include an accreditation number on the form.
- Further information about the approved industry accreditation schemes can be found on the 'Fire safety practitioners' page of the NSW Fair Trading website at www.fairtrading.nsw.gov.au.

Section 7: Details of the person making the declaration in section 8 or 9

- The purpose of this section of the form is to detail the name, address and contact details of the person who is making the required declaration i.e., the person who completes and signs section 8 or section 9 of the form. This could be the owner(s) of the building or a nominated agent of the owner(s).
- Where a person makes the required declaration on behalf of an organisation (as the owner of the building), the name of the organisation and the title/position of the person must be provided. The person making the required declaration as a representative of the organisation must have the appropriate authority to do so.
- Where a person makes the required declaration on behalf of the owner(s) (as the owner's agent), this person must have the appropriate authority from the building owner(s) to undertake this function.
- In the case of a building with multiple owners, one owner may make the required declaration, however each of the other owners must authorise that owner to act as their agent.
- The person making the required declaration must not be an APFS who is listed in section 6 or their employer/employee or direct associate. This recognises the different roles and responsibilities for building owner(s) and the APFS in the fire safety statement process. This is important because the Regulation makes building owners responsible for declaring that fire safety measures have been assessed and the building inspected (for the purposes of section 5) by an APFS. This ensures that building owners, who are ultimately responsible, remain engaged in the fire safety statement process.

Fire Safety Statement

Information to help building owners complete the Fire Safety Statement form



- In addition, only the building owner(s) can determine that a person is competent to perform the fire safety assessment functions where there is no person who holds accreditation.

Section 8: Annual fire safety statement declaration

- The person completing this section is the person who is making the required declaration for the annual fire safety statement in accordance with section 88 of the Regulation and is the same person as detailed in section 7. The person making this required declaration must identify if they are the owner or the owner's agent.
- **In making the required declaration, the building owner or agent is not declaring that each fire safety measure meets the minimum standard of performance, but rather that each fire safety measure has been assessed, and was found by an APFS to be capable of performing to that standard, as listed in section 4. In performing this function, the building owner or owner's agent could obtain documentation from each APFS to verify that the standard of performance has been met, prior to completing the form.**
- The person who makes the required declaration by completing section 8 or section 9 of the form must not be an APFS who was involved in the assessment of any of the fire safety measures, or inspection of the building for the purposes of the statement, or their employer/employee or direct associate. This is to ensure that building owners, who are ultimately responsible, remain engaged in the fire safety statement process.

Section 9: Supplementary fire safety declaration

- The person completing this section is the person who is making the required declaration for the supplementary fire safety statement in accordance with section 90 of the Regulation and is the same person as detailed in section 7. The person making this required declaration must identify if they are the owner or the owner's agent.
- The information provided above in relation to section 8 on what the owner is declaring also applies to a supplementary fire safety statement.

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Advance Building Approvals Pty Ltd
Suite 1004, 370 Pitt Street Sydney NSW 2000
Tel: (02) 9283 6299 Fax: (02) 9283 6252

Application for a Complying Development Certificate and Appointment of Principal Certifier Form

Date received: 15/09/25

Information for the Applicant:

- a. You can use this form to apply for approval to carry out a proposal that is classed as complying development. The planning instrument made under the *Environmental Planning and Assessment Act 1979* applying to your property will identify whether your proposal is complying development. To complete this form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.
- b. It is recommended that applicants should obtain a planning certificate issued under s10.7 of the *Environmental Planning and Assessment Act 1979* from the Local Council and provide it to the certifier with this application. This may expedite the determination of the application.

1. Details of the applicant

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other			
Name of Applicant (company or individual) Sew Smart Alteration		Name of contact person (if Applicant is a company) Istil Islam	
Applicant C/o: (Name of company or individual) Fernzide		Name of contact person (if Applicant C/o is a company) Will Fernandez	
Unit no. / Level. Level 1 Suit 3	Street number, street name 56 Pitt Street		
Suburb Sydney	State NSW	Postcode 2000	
Daytime telephone 	Fax 	Mobile 0433434720	
Email Willf@Fernzide.com			

2. Identify the land

Unit no. / Level 2308	Street number, street name 145 Old Pittwater Road		
Suburb Brookvale	State NSW	Postcode 2100	
Lot no. 103	DP/MPS no. DP1247294		

3. Estimated cost of the development

\$ 150,000 Including GST

4. Describe the development

Type of work proposed:	Building work ☒	Subdivision work ☐
Describe the work Retail fitout of existing shop located in Westfield Warringah Mall		
Does the proposal involve any change of use ? (Yes / No)		Yes: ☐ No: ☒
Existing use	Retail	New use (if changed)
Existing BCA classification	6	New BCA classification (if changed)
Is the building listed as a heritage item in any local environmental planning instrument or in the State Heritage Register under the <i>Heritage Act 1977</i> ?		Yes: ☐ No: ☒

5. Information / Confirmation provided by the Applicant

(All information must be provided, questions must be answered for this Application to be processed)

a) Environmental Planning Instruments						
What is the "environmental planning instrument" under which the development is complying development?						
☒ State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, OR						
☐ Other environmental planning instrument (EPI) 						
b) Asbestos						
Will any bonded asbestos material or friable asbestos material be disturbed, repaired or removed in carrying out the development?						
Yes: ☐ What is the estimated area of the material? m ² No: ☒						
c) Information required by Planning Portal						
No of storeys	The existing building contains (including above and below ground storeys): storeys					
Site area	The area of proposed work is: 46.2 m ²					
d) Existing Fire Safety Schedule (List of existing essential fire safety measures in the existing building)						
The following is provided with this application (Tick (✓) the following box where appropriate:)						
☒ Refer to attached Annual Fire Safety Statement (for existing building)						
☐ Refer to attached Fire Safety Schedule (for new building or buildings under construction)						
e) Proposed Fire Safety Schedule (List of proposed essential fire safety measures to be installed/modified in the existing building)						
The following is provided with this application (Tick (✓) the following box where appropriate:)						
☒ Refer to Fire Safety Schedule to be issued with the CC/CDC						
☐ Refer to Design Statement issued by Accredited Practitioner (Fire Safety)						
f) Design & Building Compliance Declaration (Confirm development type and whether "design and building compliance declarations" are required under Design & Building Practitioners Regulation 2021.)						
The proposed development is in either building type 1 or 2 below:				Are declarations required under D&BP Reg? (Please tick ONE appropriate box only for either 1 or 2)		
1	Building does not contain residential (Class 2) parts.			For both fitout or non-fitout works	☐ No	
2	Building contains residential (Class 2) parts	Non-fitout	proposed work is not fitout, such as an extension	☐	Yes	
		Fitout	Proposed fitout is NOT in Class 5 (Office), or Class 6 (Retail), or Class 9a (health/residential care), or Class 9b (Assembly/school) parts of the building	☐	Yes	
			In Class 5 (Office), or Class 6 (Retail), or Class 9a, or Class 9b parts of building	Proposed fitout includes works that relate to structural components of the building (such as slab penetrations, etc....)	☐	Yes
					Proposed fitout does not include any works that relate to structural components of the building.	☒

6. Applicant's Signature

The applicant, who has entered into a Written Contract with Advance Building Approvals (ABA) for provision of certification services, and whose details are provided in Section 1 of this Form, must sign the application.

(Note: The "Applicant C/o" shall NOT sign this section unless written authorisation from the Applicant has been obtained and can be provided upon request.)

Signature



I confirm that:

- The above information and confirmation are true and accurate.
- I have obtained the land owner's consent for this application. In the event that the owner(s) issues a separate letter of consent in lieu of signing Section 7 (Owner's Consent) of this Application Form, I confirm that the owner(s) has been informed of and agreed with all the terms as set out in Section 7 of this Application Form.

Name: Isti Islam

Date: 15 SEP 2025

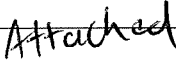
7. Signatures (Owner's Consent)

Owners' Consent

- Every owner of the land must sign this application.
- If the owner is a company, this form must be signed by an authorised director of the company.
- If the property is a unit under strata title, or a lot in a community title, this form must be signed by the chairman or the secretary of the Body Corporate or the appointed managing agent.
- If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc.)

I/We confirm that I am / we are the owner(s) of the above Property (as detailed in Section 2 of this Form). I/We:

- Consent to this application and any future amendments in relation to this application;
- Authorise the Applicant with details provided in Section 1 of this form to submit all relevant applications to the registered certifier for the issue of complying development certificate, construction certificate and occupation certificate for this development.
- Consent to the registered certifier granting staged approvals (if necessary) to this application.
- Consent to permit Advance Building Approvals staff to enter the land to carry out inspection relating to this application and any future amendments in relation to this application;
- Authorise the Tenant, the contractors and consultants who are employed/contracted or commissioned by the Tenant, or me/us to carry out the proposed building work, as the Owner's agent to sign and issue Fire Safety Certificates (as required under the *Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021*).

Owner 1		Owner 2	
Company Name:		Company Name:	
Name (if not Co.):		Name (if not Co.):	
Address:		Address:	
Tel:		Tel:	
Signature:		Signature:	
Date:		Date:	

8. Signatures (By Owner or Tenant) - Appointment of Principal Certifier (PC)

Details of Principal Certifier (PC):

Name of registered certifier:	Harry Cheuk	Saeid Askarian	Ian Pickering	Alan Tran	Osman Asanovski
Registration no:	BDC0060	BDC0014	BDC3151	BDC05233	BDC05245
Principal Certifier for this application:					✓

Statement of Appointment of Principal Certifier (PC):

- I appoint the above registered certifier employed by Advance Building Approvals as the Principal Certifier for the proposed work under this application and any future amendments in relation to this application.
- I consent to the replacement of the appointed Principal Certifier by another registered certifier of Advance Building Approvals at their discretion should the appointed registered certifier be unable to take up the role as PC.
- I confirm that I am the owner of the property or person having the benefit of the development consent for development as detailed in Section 4 of this Form.

Signature and details of Person Appointing Principal Certifier (PC):

Signature: 		I am signing in the capacity of: (Tick ✓ appropriate box)		Owner ☐ See owner's consent above	
				Tenant ☒ I hold a valid lease agreement with the land/strata unit owner	
Name:	Isti Islam	Company name:	Sew Smart Alteration		
Email:	contact@sewsmart.com.au	Company address:	2308, 145 Old Pittwater Road Brookvale NSW 2100		
Tel:					
Mobile:	0433 946 046	Date:	15 SEP 2025		

9. Plans and specifications of the land and development

You need to provide the plans and specifications of your proposal to help the registered certifier determine whether it complies with set standards and requirements. Please confirm that you have attached this material by placing a cross in the appropriate boxes ☐:

☐ **A site plan of the land, drawn to scale that indicates:**

- the location of the land, the measurements of the boundaries of the land, the size of the land and which direction is north
- existing vegetation and trees on the land
- the location and uses of buildings that are already on the land
- the existing levels of the land in relation to buildings and roads
- the location and uses of buildings on sites that adjoin the land.

☐ **Plans or drawings of the proposal, drawn to scale that indicate, where relevant:**

- the location of any buildings or structures on the land, any proposed extensions or additions, the boundaries of the land, and any development on adjoining land
- the floor plans of each proposed building
- each elevation of the proposed building(s)
- how high the proposed development will be in relation to the land
- the level of the lowest floor, the level of any yard or unbuilt area and the level of the ground
- any changes that will be made to the level of the land by excavation, filling or otherwise
- the arrangements you have made for parking, where vehicles will enter and leave the site, and how vehicles will move about the site
- the fire safety and fire resistance measures (if any) and their height, design and construction
- how the land will be landscaped or otherwise treated and what types of vegetation will be used (including their height and maturity)
- how you intend to drain the land.

Where you propose to alter, add to or rebuild a building that is already on the land, please mark the plans (by colour or otherwise) to show the proposed alteration, addition or rebuilding work.

☐ **The specifications for the development that:**

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify plans and specifications that have already been approved, you need to mark the approved plans and specifications (by colour or otherwise) to show the modification.

10. Other attachments

You need to provide other material that is relevant to the type of work you propose to do.
Please indicate the material you have attached by placing a cross in the appropriate boxes ☐:

1. If you are going to **carry out building work**:

- ☐ a copy of any compliance certificates on which you rely
- ☐ where you propose to meet the performance requirements of the *Building Code of Australia* (BCA) by using a performance solution to the deemed-to-satisfy provisions of the BCA:
 - a list of the performance requirements you will meet by using the performance solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you reply.
- ☐ evidence of any accredited component, process or design on which you seek to rely. *Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2021 and Environmental Planning and Assessment (Development Certification & Fire Safety) Regulation 2021.*
- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details must include:
 - a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land*The lists must describe the extent, capability and the basis of design of each measure.*
- ☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building.
This plan will assist the registered certifier to assess whether the work will reduce the fire protection capacity of the building.
- ☐ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.
- ☐ a long service levy, to construct a building, unless:
 - a long service levy has already been paid for the building
 - the cost of construction is less than \$250,000
 - the building will be constructed for a public authority and those who will do the work are employed by that public authority
 - the building will be constructed by or for a church or non-profit organisation and will be built wholly or partly by volunteers, or
 - the building will be constructed by an owner-builder.

2. If you are going to **change the use of a building** or the classification of a building under the *Building Code of Australia* (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the *Building Code of Australia*.

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

11. Schedule to application for a complying development certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes ☐ No ☐

Yes ☐ No ☐

Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

12. Privacy policy

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

SCENTRE GROUP

4 September 2025

Will Fernandez
willf@fernside.com

Dear Will,

Lease of Shop – 2308 - Westfield Warringah - Trading as Sew Smart
Address of Centre - Cnr Condamine St & Old Pittwater Road, Warringah
Lot & DP – Lot 103 DP 1247294 Warringah Mall (Formerly Lot 100 DP 1015283 Warringah Mall)

An application to the appropriate authorities (council, etc) may be required prior to your fitout. Please contact the local authorities or accredited certifier to confirm their requirements.

Should an application be required, this letter shall serve as our consent for you to lodge an application with the local authority or accredited certifier. This letter should be attached to your plans and the application form when submitting to the local authority or accredited certifier.

It is imperative that you submit your plans as soon as possible. You do not have to wait for Scentre Group design concept approval before submitting plans.

Please be aware any delays in lodging plans with the local authorities could result in time delays and additional costs to you.

Should you require any further information, please do not hesitate to contact me.

Yours sincerely

Scentre Shopping Centre Management Pty Limited



Deborah Kim
Retail Design Manager
02 9028 8500
dekim@scentregroup.com

Leasing & Retail Solutions
Scentre Shopping Centre Management Pty Limited
ABN 55 000 712 710



Advance Building Approvals Pty Ltd
Suite 1004, 370 Pitt Street Sydney NSW 2000
Tel: (02) 9283 6299 Fax: (02) 9283 6252

Notice to Council of Intention to Commence Work & Appointment of Principal Certifier

Date received: 18/09/23

Information for the Applicant:

This form can be used to:

- notify the council that you intend to commence building or subdivision work
- notify the council and the consent authority that you have appointed a principal certifier.

To complete this form, please place a cross in the boxes ☐ and fill out the white sections as appropriate.

1. Details of the applicant / person giving notice

Important note for the Applicant: The applicant / person giving notice to the council must be the person having the benefit of the development consent or the complying development certificate for the development.

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other

Name of Applicant (company or individual)

Sew Smart Alteration

Name of contact person (if applicant is a company)

Isti Islam

Applicant C/o: (Name of company or individual)

Fernzide

Name of contact person (if Applicant C/o is a company)

Will Fernandez

Unit no. / Level

Level 1 Suit 3

Street number, street name

56 Pitt Street

Suburb

Sydney

State

NSW

Postcode

2000

Daytime telephone

0433434720

Fax

Mobile

0433434720

Email

Willf@Fernzide.com

2. Details of the land to be developed

Unit no. / Level

2308

Street number, street name

145 Old Pittwater Road

Suburb

Brookvale

State

NSW

Postcode

2100

Lot no.

105

DP/MPS no.

DP 24729A

3. Description of the work proposed

Type of work proposed:

Building ☒

Subdivision ☐

Description of the work

Retail fitout of existing shop located in Westfield Warringah Mall

4. Details of the development approvals granted

Details of the development consent:

Development application no.

Date the consent was granted

Where a construction certificate has been issued for the building:

Construction certificate no.

Date the certificate was issued

OR,

Complying development certificate no.

Date the certificate was issued

5. Steps taken by the applicant

Indicate the steps you have taken by placing a cross in the appropriate boxes ☐.

- ☒ I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work
- ☒ The owner or the person with the benefit of the development consent has appointed the following principal certifier (PC) for the whole project as described in items 2 & 3 above. (Refer to CC/CDC Application and Appointment of Principal Certifier (PC) Form or separate appointment letter)

Name of the Principal Certifier

Osman Asanovski (For Advance Building Approvals Pty Ltd)

Address of the Principal Certifier

**Suite 1004, Level 10
370 Pitt Street, Sydney NSW 2000**

Telephone no. of the Principal Certifier

02-9283 6299

Where the Principal Certifier is a registered certifier:

Registration no. of certifier

BDC05245

6. Residential building work

1. Are you going to build a house or other dwelling or alter or add to a dwelling?

No ☒ Please go directly to Section 7

Yes ☐ Please complete part 2. and 3. below

2. Are you an owner-builder?

Yes ☐ What is your owner-builder permit no.?

No ☐ The work must be carried out by a principal contractor who is the holder of a valid contractor licence?

What is the name of the principal contractor? (Please print names of company and contact person)

What is the telephone no. of the principal contractor?

What is the contractor licence no. of the principal contractor?

Please complete part 3. Below

MIA

6. continued

3. Does Clause 56 (Exemptions from Insurance for multi-storey buildings) of the Home Building Regulation 2014 applies to this development?
- Yes ☐ ➤ Please go directly to Section 7.
- No ☐ ➤ Please go to item 4. of this Section.
4. Is the reasonable market cost of the labour and materials to be used less than \$20,000?
- Yes ☐ ➤ Attach to this notice a declaration (signed by each owner of the land) that the reasonable market cost of the labour and materials to be used is less than \$20,000.
- No ☐ ➤ Attach to this notice evidence (a certificate of insurance pursuant to Part 6 of the Home Building Act 1989) that the licensed person is insured to carry out this type of work.

Note: Where an owner-builder engages any sub-contractor for any work component exceeding \$20,000 in cost, a contract of insurance pursuant to Part 6 of the Home Building Act must be in force for each component.

7. Date the work will commence

Subject to full payment of all required section 7.11 and/or section 7.12 contributions to the relevant authorities, the building/subdivision work described above is intended to commence on*:

(* Note: Not less than 2 days from the date of the notice)

24/10/25

8. Acknowledgement by Principal Certifier

The Principal Certifier must sign this notice.

I acknowledge that in the case of residential building work, I have seen evidence that the builder is licensed and insured, or that I have seen evidence that the building works are to be undertaken by a person with an owner-builder permit.

I acknowledge that I have been appointed as the Principal Certifier (PC) for this development.

Signature



Name of Principal Certifier

Osman Asanovski

Date

24/10/25

9. Signature by applicant / person giving notice

The applicant/person giving notice, whose details are provided in Section 1 of this Form, must sign this section. (Note: The "Applicant C/o" shall NOT sign this section unless written authorisation from the Applicant has been obtained and can be provided upon request.)

Signature



Name

Isti Islam

Date

15 SEP 2025

I confirm that all section 7.11 and/or section 7.12 contributions applicable to this project will be paid to the relevant authorities before commencement of any works on site.

10. Privacy policy

The information you provide in this notice is required under the *Environmental Planning and Assessment Act 1979* if you are going to erect a building or carry out subdivision work. If you do not provide the information to the consent authority, you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the council if the information you have provided in this notice is incorrect or changes.

DESIGN STATEMENT
Compliance with the Building Code of Australia

Site Details:					
Level/Unit/Shop no.	2308	Street no. / Street name:	145 Old Pittwater Rd		
Suburb:	Brookvale	State:	NSW	Postcode:	2100
Description of Work:		Alteration & Fitout			

	Design Specification	Building Code of Australia (BCA) requirement (For version of BCA applicable as on the date of submission of CC or CDC)
1.	All floor, wall and ceiling materials and linings will have fire hazard properties complying with <u>BCA Specification 7</u>	<u>Specification 7</u> of the BCA requires floor, walls and ceilings to comply with Group number, CRF values and smoke development indices requirements as nominated in that part of the BCA.
2.	All door handles, locks and fail-safe devices will comply with <u>Clause D3D26</u> of the BCA;	<u>Clause D3D26</u> of the BCA requires all door handles to: "Be readily openable without a key from the side that faces a person seeking egress, by a single hand downward or pushing action on a single device which is located between 900mm and 1,100mm from the floor, except if it is fitted with a fail-safe device..."
3.	All automatic (power operated) doors will comply with <u>Clause D3D24</u> of the BCA.	<u>Clause D3D24(2)(d)</u> of the BCA requires that a doorway serving as a required exit or forming part of a required exit, if fitted with a door which is power-operated:- i. It must be able to be opened manually under a force of not more than 110N if there is a malfunction or power source failure; and ii. If it leads directly to a road or open space it must open automatically if there is a power failure to the door or on the activation of a fire or smoke alarm anywhere in the fire compartment served by the door. <u>Clause D3D24(3)</u> of the BCA requires that a power-operated door in a path of travel to a required exit, must be able to be opened manually under a force of not >110N if there is a malfunction or failure of the power source.
4.	All exits and paths of travel to an exit from any point on the floor, including the minimum unobstructed width of any path of travel to exits, will comply with <u>D2D8</u> of the BCA	<u>Clause D2D8</u> of the BCA requires that the unobstructed width of each exit or path of travel to an exit, except for doorways, (including spacing of shop fittings) must not be less than 1m.
5.	Balustrades and handrails will comply with <u>BCA Clauses D3D17 to D3D23</u> , and <u>AS1170</u>	<u>Clauses D3D17 to D3D23</u> of the BCA specify all requirements of balustrades and handrails. <u>AS 1170</u> specifies the structural loading requirements.
6.	Fire Hose Reels (FHR) & Fire Hydrant (FH) coverage to comply with relevant BCA requirements.	FHR coverage shall comply with <u>Clause E1D3</u> of the BCA and <u>AS 2441</u> . FH coverage shall comply with <u>Clause E1D2</u> of the BCA and <u>AS 2419.1</u> .
7.	All glazing including decals will comply with <u>AS 1288</u> , <u>AS 2047</u> , <u>AS 1170</u> and <u>AS1428.1-2009</u> .	<u>Clause B1D4(h)</u> of the BCA requires all glazing to comply with <u>AS 1288</u> and <u>AS 2047</u> . <u>Part B1D3</u> of the BCA requires glazing members to compliance with Structural Loading Code <u>AS 1170</u> .
8.	Disable access, facilities and circulation space will comply with <u>Part D4</u> of the BCA and <u>AS 1428.1-2009</u> and <u>AS 1428.4.1-2009</u> ;	<u>Part D4</u> of the BCA requires access for people with disabilities to comply with <u>AS 1428.1-2009</u> and <u>AS 1428.4.1-2009</u> .
9.	Artificial lighting not to exceed the maximum illumination power density specified under <u>Clause J7D3</u> & <u>Table J7D3a</u> as applicable	<u>Clause J7D3</u> & <u>Table J7D3a</u> of the BCA requires all artificial lighting not to exceed the maximum illumination power density of 14W/m ² for general retail space, 14W/m ² for restaurant/café and 2.5/4.5 W/m ² for office space (excluding lighting in display cabinet, signage and emergency lighting).
10.	Artificial lighting for all rooms or space on a floor must be individually operated by a switch or other control device in accordance with <u>Clause J7D4(5)</u> of the BCA.	<u>Clause J7D4(5)</u> of the BCA requires that artificial lighting in a natural lighting zone adjacent to windows in a storey of a class 5, 6 or 8 building, of more than 250m ² must be separately controlled from artificial lighting not in a natural lighting zone except where the room containing the natural lighting zone is less than 20m ² , or....
11.	All windows and doors to proposed new shopfronts will comply with the energy efficiency sealing requirements under <u>Clause J5D5</u> of the BCA.	<u>Clause J5D5</u> of the BCA sets out requirements on the type of device required to be installed to external door opening to a conditioned space to prevent significant amounts of conditioned air being continuously lost.
12.	All required essential fire safety measures will be provided and /or adjusted (where appropriate) to comply with the base building fire safety schedule and alternative solution requirements, unless otherwise altered in the fire safety schedule issued with the CC/CDC approval for the proposed works. Refer to Fire Safety Schedule (or Annual Fire Safety Statements) issued for the base building and the CC/CDC issued for the proposed works.	

I, the undersigned, confirm that:

The proposed works will be designed and constructed in accordance with the above BCA design specification by appropriately qualified persons who have:

- Appropriate current professional indemnity insurance (taken up by the designer or their employer as appropriate) to the satisfaction of the building owner or the principal authorising the design work; AND
- Relevant experience in the area of design work being certified.

I also confirm that all necessary evidence, certificates and documentations required to demonstrate compliance with the BCA and DA consent conditions will be forwarded to Advance Building Approvals prior to the commencement of the relevant work or the issue of the Occupation Certificate

The following details must be provided in full:

Name:	Will Fernandez	Qualifications:	
Company Name:	Fernzide	ABN No:	87 834 572 419
Company Address:	Level 1 Suit 3, 56 Pitt Street Sydney NSW 2000	Tel:	
Signature:		Position Title:	Principle
		Date:	15 SEP 2025

Section 74 - Exemption from BCA standards for Fire Safety building works, Environmental Planning and Assessment (Development and certification of Fire Safety) Regulation 2021

Premises: Westfield Warringah Mall – Tenancy 2308 Sew Smart Alteration

Design Drawing ref: FS-01 Rev A dated 25th September 2025

1. We note that the standards of performance of the relevant fire safety systems listed in column 4 of Table A attached, which serve the tenancy, are the base building standards of performance nominated on the current AFSS.
2. The base building standards of performance are different to the standards specified within the relevant provisions of the Building Code of Australia 2022 (refer column 2 of Table A).
3. The infrastructure for each of these systems currently complies with the technical requirements of the base building standards but not the technical requirements of the latest standards.
4. The relevant fire safety systems which serve the tenancy cannot comply with the relevant provisions of the BCA without an upgrade to the infrastructure which serves the whole of the system(s). The cost of a full system upgrade would be hundreds of thousands of dollars. The basis of this objection is that it is unreasonable for the Owner to be compelled to upgrade the system when there is no reduction to the operational performance of the system as a result of the new and modified work.
5. We recommend that the Owner lodge this objection with the Certifying Authority that compliance with the specified provisions of the BCA that relate to the operational performance of the systems listed in Table A is unreasonable or unnecessary.
6. The grounds of the objection are as follows:

Automatic Fire Suppression System (Sprinklers): The system will provide (as a minimum) the same level of protection that is currently provided to the building, and the operational performance of the system will not be diminished.

EWIS: the existing system will provide Alert and Evacuation tones within the tenancy consistent with the tones delivered to the remainder of the building. The operational performance will therefore not be diminished. New devices and spacing to current standard.

Accredited Practitioner (Fire Safety) who endorsed the plans and specifications: C. Jehn (Wet/Dry Fire)

Engineer who endorsed the proposed objection: G. Stalley

I, Gordon Stalley endorse the non-compliance as detailed in this Objection and note that if accepted there will be no reduction in the operational performance of the relevant fire systems noted in Table A

Signed:



G. Stalley

Date: 25.09.2025

Premises: Westfield Warringah Mall – Tenancy 2308 Sew Smart Alteration

Design Drawing ref - FS-01 Rev A dated 25th September 2025

Table A

Existing and proposed standards of performance of relevant fire safety systems serving the building works:

Measure	Standard of Performance under BCA 2022	Standard of performance as noted on the buildings Annual Fire Safety Statement	Proposed standard of performance or “same” as existing.
Automatic Fire Suppression System (sprinklers)	BCA 2022, Cl. E1D4 and Spec 17, and AS2118.1-2017 Amt 1 & 2	AS2118.1-1999	Same (system modified)
Automatic Fire Detection and Alarm System	BCA 2022, and Spec. 20 and AS1670.1-2018 Amt 1	Nil Works	Same (system unaltered)
Emergency Warning & Intercommunication Systems	BCA 2022, Cl E4D9 and AS1670.4-2018 Amt 1	BCA 2013 Section E4.9 & AS1670.4-2004	Same (system modified)
Fire Hydrant Systems	BCA 2022, Cl E1D2, AS2419.1-2021	Nil Works	Same (system unaltered)
Fire Hose Reels	BCA 2022, Cl E1D3, AS2441-2005	Nil Works	Same (system unaltered)

Note 1: The standard of performance of new work is proposed to be the same as the standard of performance of the base building system in accordance with Section 74 of the EP&A Regulation 2021. Where the existing standard of performance is not correctly described in the current AFSS, the proposed standards nominated for new work is the standard that has been identified by the accredited practitioner (fire safety) as the actual standard of performance of the current systems.



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A Premier Services Group Company

PREMIER SERVICES GROUP AUST & NZ PTY LTD
2-3/3 Gibbes Street, CHATSWOOD NSW 2067
PO BOX 682, WILLOUGHBY NSW 2068
PH: (02) 8422 6888
ABN: 30 087 986 258
www.premierservicesgroup.com.au

FIRE SERVICE - DESIGN CERTIFICATE

For

**WESTFIELD WARRINGAH
145 OLD PITTWATER ROAD
BROOKVALE NSW 2100
TENANCY – 2308 SEW SMART ALTERATION**

I / We certify the Fire Services for the Fitout described below has been designed in accordance with the relevant Standard Codes, Specification and references relied upon in the design of these Systems.

BUILDING DESCRIPTION:

Westfield Warringah Mall
Tenancy – 2308

DRAWING NUMBER:

FS-01 Rev A – Dated: 25.09.2025

STANDARD OF PERFORMANCE APPLICABLE FOR THESE WORKS

Automatic Fire Sprinklers System	AS2118.1-1999
Emergency Warning & Intercommunication Systems	BCA 2013 Section E4.9 & AS1670.4-2004

Name of Accredited Practitioner	signature	Date
C. Jehn – F052659D		25.09.2025

Fire services Specification

Essential/Critical fire safety measures	Standard of performance as noted on the current AFSS for the building (refer note 1)
Automatic Fire Suppression System (Sprinkler)	AS218.1-1999
Emergency Warning & Intercommunication Systems	BCA 2013 Section E4.9 & AS1670.4-2004

Note 1:

We recommend that an objection be lodged with the certifying authority for the existing standard of performance for the building to apply to the new work under Section 74 - Exemption from BCA standards for Fire Safety building works, Environmental Planning and Assessment (Development and Fire Safety) Regulation.

Accredited Practitioner (Fire Safety)

Endorsed by: C. JEHN

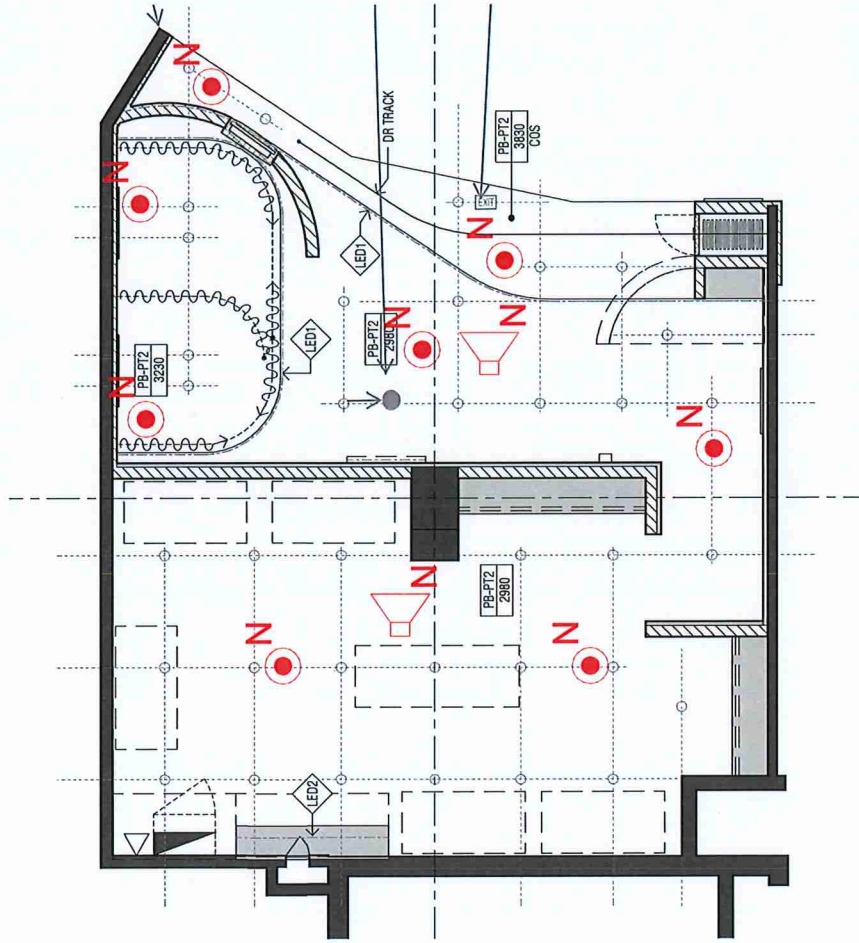
Signed:

Date: 25.09.2025

Accredited Practitioner No. F052658D & DEP000157

General note:

Fire services design drawing is based on information provided at the time of inspection only. Final design layout pending RCP, lighting layout and coordination with other services.



Symbol	Description
	NEW SEMI RECESSED SPRINKLER
	NEW CEILING SPEAKER

NO	DESCRIPTION	DATE	APPROVED
1	DESIGN DRAWING	25.09.2025	

PREMIER FIRE
 A Fire Protection Specialist
 1/100 The Esplanade, Suite 101, North Sydney, NSW 1585
 Tel: 02 9439 1000
 Email: info@premierfire.com.au
 Website: www.premierfire.com.au

PROJECT
 WESTFIELD WARRINGAH
 TENANCY 2308
 SEW SMART ALTERATION

DRAWING TITLE
 FIRE PROTECTION SERVICES

DRAWING STATUS			
SCALE	DATE	CHECKED	APPROVED
1:50	25.09.2025	MM	MM
PROJECT FILE: FS-01			

22 October 2025

Advance Building Approvals Pty Ltd
Suite 1004, 370 Pitt Street
SYDNEY NSW 2000



Advance Building Approvals Pty Ltd
ABN 93096551816
Suite 1004, 370 Pitt Street, Sydney NSW 2000
PO Box A1123, Sydney South NSW 1235
Email: aba@advanceba.com.au
T: (02) 9283 6299
F: (02) 9283 6252

Attention: Osman Asanovski

Dear Osman,

**SHOP 2308, 145 PITTWATER ROAD, BROOKVALE
INTERNAL SHOP FITOUT FOR USE AS BUSINESS PREMISES FOR "Sew Smart Alterations"
INDEPENDENT REVIEW OF BASE BUILDING PERFORMANCE SOLUTION**

I refer to the application for a Complying Development Certificate for the proposed works at the above premises. The design of the base building at the above address is subject to performance solutions relating to fire safety requirements under the Building Code of Australia.

As requested, I provide comments in accordance with Section 137(3A) of the Environmental Planning and Assessment Regulation 2021. I have reviewed the submitted drawings (as listed below) for the proposed works and checked against the relevant sections of the Fire Engineering Report (see Report no. listed below). I advise that the proposed works are consistent with the base building performance solutions.

Other Supporting Documents:

- Design Statement (Compliance with the Building Code of Australia) prepared by Will Fernandez of Fernzide, dated 15 September 2025

Drawings Submitted:

- 110 Rev B, Dated: 17/10/25 & 203 Rev B, Dated: 17/10/25

Fire Engineering Reports:

- FIRE ENGINEERING REPORT F1518 FER REV01 DATED 01/09/2014 PREPARED BY AED FIRE
- AE&D ALTERNATIVE SOLUTION REPORT NO. 1386 REV00, DATED 10/8/2010;
- ALTERNATIVE SOLUTION IN RELATION TO FIRE HOSE REEL CLEARANCE, AE&D REPORT DATED APRIL 2007
- ALTERNATIVE SOLUTION DEVELOPED BY SSL AND PROTOCOLS DOCUMENT DATED 31 AUGUST 2007

Please note that this statement shall not be construed as a compliance certificate as defined under Part 6 of the Environmental Planning and Assessment Act 1979. The issue of this statement shall not relieve the responsibilities of the relevant certifying authorities, design consultants and contractors from ensuring that the design and construction of the proposed fitout comply with the relevant recommendations and schedule of work required by the Fire Engineering Report.

Yours sincerely,

FOR ADVANCE BUILDING APPROVALS PTY LTD

A handwritten signature in blue ink, appearing to read "Ian Pickering", with a stylized flourish at the end.

Ian Pickering
Director

CF25440-LT-221025-Alt Sol Statement-IPIP

Record of Pre-CDC Inspection

(Section 140 of EP&A Regulation 2021)

Site Details						
Address:	Shop 2308, 145 Old Pittwater Road, Brookvale					
Description of work:	Internal shop fitout for use as business premises for "Sew Smart Alterations "					
CDC No:	CF25440CD01					
Date CDC lodged:	18/09/21					
Record of Inspection						
Date of Inspection:	21/10/21					
Type of Inspection:	Pre-CDC inspection					
Principal Certifier:	Name of Registered Certifier:	Harry Cheuk	Saeid Askarian	Ian Pickering	Alan Tran	Osman Asanovski
	Registration No:	BDC0060	BDC0014	BDC3151	BDC05233	BDC05245
	Principal Certifier:					✓
Inspection Notes:						
Other Details required under Section 17 of EP&A (DC & FS) Regulation 2021						
S140(g)	Provide details of Current Fire Safety Measures in the existing building					
	Refer to attached Fire Safety Schedule which include a list of new and/or modified essential fire safety measures for the proposed development					
S140(h)	Do the plans and specifications accompanying the CDC application adequately and accurately depict the existing site conditions?					
	Yes ☒ (in general)	No ☐ (in general) Provide further details (where appropriate):				
S140(i)(i)	Are there any features of the site, or any building on the site, that would result in the proposed development the subject of the CDC application NOT BEING COMPLYING DEVELOPMENT?					
	No ☒ (in general)	Yes ☐ (in general) Provide further details (where appropriate):				
S140(i)(ii)	Are there any features of the site, or any building on the site, that would result in the proposed development the subject of the CDC application NOT COMPLYING WITH THE BUILDING CODE OF AUSTRALIA?					
	No ☒ (in general)	Yes ☐ (in general) Provide further details (where appropriate):				