

the certification group
enhancing building performance

R178535

13 October 2005

Pittwater Council,
P.O. Box 882,
Mona Vale NSW 1660

Dear Sir/Madam,

**Re: Development Application No. N0337/05
Our Construction Certificate No. 194/2005
Premises: No. 277 Lower Plateau Road, Bilgola Plateau**

Please find attached a copy of the following:-

- Construction Certificate, stamped approved plans and relevant documentation.
- Notice to Commence Building Work.
- Appointment of a Principal Certifying Authority.

In accordance with the regulations we have enclosed a cheque for the sum of \$30.00 for the submission of the Part 4A certificate.

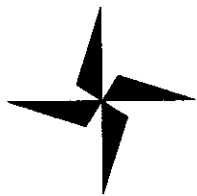
Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you.

**NB: (Please forward receipt for the above \$30.00 fee to The Certification Group P/L.
PO Box 870 Narrabeen NSW 2101)**

Yours faithfully,

Wayne Treble- Director
The Certification Group P/L

28 Cook Terrace Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632



the certification group
enhancing building performance

CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

CONSTRUCTION CERTIFICATE NO: 194/2005

DETERMINATION

Decision: Approved
Date of Decision: 13 October 2005

SUBJECT LAND

Address: 277 Lower Plateau Road, Bilgola Plateau
Lot No, DP: Lot 7 DP 221637

DESCRIPTION OF DEVELOPMENT

Carport, driveway crossover & replacement of retaining wall.

APPLICANT

Name: Cerian Lowri Griffiths-Brondum
Address: 277 Lower Plateau Road, Bilgola Plateau
Contact Number: (tel) tel: 9973 1858 mob: 0403 084 942

OWNER

Name: Cerian Lowri Griffiths-Brondum
Address: 277 Lower Plateau Road, Bilgola Plateau
Contact Number: (tel) tel: 9973 1858 mob: 0403 084 942

BUILDER

Contractor License No: Steve Robbie
Lic.No.82361C

28 Cook Terrace Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632

PLANS AND SPECIFICATIONS

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "The Certification Group" stamp.

DRAWING NUMBER	DATE
Architectural Plan No's: 776-01 Issue A, 776-02 Issue A, 776-03 Issue A, 776-04 Issue A, 776-05 Issue A prepared by: J.D Evans and Company Pty Ltd	26/09/2005

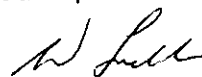
ATTACHMENTS

Structural Plan No's: 22696-S1/A, 22696-S2/A prepared by: Jack Hodgson Consultants Pty Ltd	4/07/2005
Stormwater Management Plan No: 22696-H1 Issue A prepared by: Jack Hodgson Consultants Pty Ltd	16/09/2005
Driveway Plan No: 22696-C1 prepared by: Jack Hodgson Consultants Pty Ltd	16/09/2005
Form 2 prepared by: Jack Hodgson Consultants Pty Ltd	15/09/2005
Schedule of works prepared by: Jack Hodgson Consultants Pty Ltd	19/09/2005
Driveway Access Profile prepared by: Pittwater Council - Amended	12/10/2005
Schedule of external finishes prepared by: J.D Evans and Company Pty Ltd	Undated
Long Service Levy Receipt No.176120	8/09/2005
Sydney Water Quick Check Stamp Property No.3446209	16/09/2005
Construction Certificate Application Form	12/09/2005

CERTIFICATE

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A (5) of the Environmental Planning and Assessment Act 1979.

SIGNATURE



DATE OF ENDORSEMENT

13/10/2005

CERTIFICATE NO

194/2005

CERTIFYING AUTHORITY

Name of Certifying Authority
Name of Accredited Certifier
Registration No
Contact No
Address

THE CERTIFICATION GROUP P/L
Wayne Treble
P0100 - NSW Dept of Planning
PH (02) 9944 8222, FAX (02) 9944 6330
PO BOX 870 NARRABEEN NSW 2101

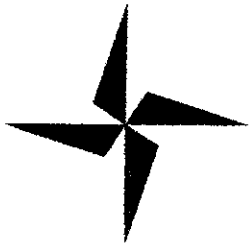
DEVELOPMENT CONSENT

Council
Development Consent No
Date of Determination

Pittwater Council
N0337/05
30 August 2005

BUILDING CODE OF AUSTRALIA
CLASSIFICATION

10a & 10b



the certification group

enhancing building performance

APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979, Sections 81A(2)(4), 84A, 85A, & 109C (1)(b),

Environmental Planning and Assessment Regulation 2000, clauses 126(1), 139(1), or 157(1)

To complete this form, please place a cross in the boxes and fill out the white sections as appropriate.

Application Sought

☐ Complying Development Certificate

☒ Occupation Certificate

☒ Construction Certificate

☒ Principal Certifying Authority

Office Use Only
CC 194/2005
Job 700248-05

Subject Land

Address 277 Lower Plateau Rd, Bilgola Plateau

Lot No, DP, SP, vol/fol, Etc Lot 7 DP 221637

Details of the applicant

Name / Company Cerian Griffiths - Brondum Contact Person Cerian

Postal Address 277 Lower Plateau Rd Postcode 2107 State NSW

E-mail Cerian@internode.on.net Daytime telephone 99731858

Fax _____ Mobile 0403084942

Applicant Signature [Signature] Date 9/9/05

Consent of Owner(s)

I/We as the owner/s of the above property authorise for either Mark Wysman, or Wayne Treble to provide Construction Certification and to act as the Principal Certifying Authority for the subject building works, including site inspections and to lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council.

Name(s)/ Company [Signature] Cerian - Griffiths - Brondum

Address 277 Lower Plateau Rd Postcode 2107 State NSW

Phone No 99731858 Mobile 0403084942 Fax _____

Signature of Registered owner(s). Company stamp or seal to be affixed if applicable

[Signature]

Date 9/9/05

Description of the work proposed

Type of work proposed:

☐ New Building ☒ Additions / Alterations

Class of Building under Building Code of Australia

Description of the work

Construction Cost of Works \$

Parking platform + driveway + retaining wall + addition of carport
Replacement of existing parking, drive + wall + addition of carport
26 000

Details of Builder

Contact Person

Name / Company

Fax

Daytime telephone

Builders address

Mobile

Email

Postcode

Details of the relevant Development Consent granted

Consent No.

Date the consent was granted

Applicant Checklist

☒ Complete Application Form - Pages 1 & 2

☒ Attach supporting documentation as nominated on Page 3

☒ Complete statistical Return on Page 4

Private Policy

The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you are going to erect a building. If you do not provide the information to the consent authority, you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the certification group if the information you have provided in this notice is incorrect or changes.

Date of receipt (To be completed by Certifying Authority)

Date

12/9/05



STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?	Area in square meters <u>708</u>
Gross floor area of existing building? If no existing building, write NIL	Area in square meters <u>148</u>
What is the existing building or site used for at present?	Main Uses <u>Residence</u>
	Other Uses _____
Does the site contain dual occupancy?	☐ Yes ☒ No
Gross floor area of proposed building?	In square meters <u>44</u>
What will the proposed building be used for?	Main Uses <u>Parking</u>
	Other Uses _____
How many dwellings?	_____
Are pre-existing at this property?	Dwellings <u>1</u>
Are proposed to be demolished?	Dwellings <u>0</u>
Are proposed to be constructed?	Dwellings <u>0</u>
Are attached to an existing building?	Dwellings <u>0</u>
Are attached to a new building?	Dwellings <u>0</u>
How many storeys will the building consist of?	Storeys <u>2</u>

What are the main building materials? (Please tick appropriate boxes)

WALLS N/A

- ☐ Full Brick
- ☐ Brick Veneer
- ☐ Concrete or Stone
- ☐ Steel
- ☐ Fibrous Cement
- ☒ Timber/weatherboard (posts + privacy screen)
- ☐ Cladding- aluminium
- ☐ Curtain glass
- ☐ Other
- ☐ Unknown

ROOF X

- ☒ Aluminium
- ☐ Concrete or Slate
- ☐ Tile
- ☐ Fibrous Cement
- ☐ Steel
- ☐ Other
- ☐ Unknown

FLOOR

- ☐ Concrete or slate
- ☒ Timber
- ☐ Other
- ☐ Unknown

FRAME X

- ☒ Timber
- ☐ Steel
- ☐ Aluminium
- ☐ Other
- ☐ Unknown

ROOF &
GUTTERS



Colorbond® Ironstone™ AC

~~WALLS~~
Posts



Kosciusko SL

DOORS &
WINDOWS
TRIMS

N/A

DRIVEWAY



THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

PATTERN

N/A

COUNCIL COPY

TO MATCH EXISTING
SCHEDULE OF EXTERIOR
FINISHES



J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH. 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 080 976 596



PROJECT
PROPOSED NEW CARPORT AT
No. 277 LOWER PLATEAU ROAD
BILGOLA PLATEAU N. S. W. 2107
CLIENT
JOHN & CERIAN BRONDUM



WARNING
PLEASE NOTE: The stamping of this plan by The Certification Group P/L does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or utilities prior to commencement of any works.
DIAL BEFORE YOU DIG 1100

COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
CONSTRUCTION CERTIFICATE No. 194/2005
Consent No. 10337/05 Date 30/8/2005
Plans or documentation associated with the issue of the Construction Certificate
Wayne Treble Accreditation No. P0100
Date 13/10/05

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	N/A	N/A	
ROOF AREA	107	143	
SITE COVERAGE (HARD SURFACE ETC)	210 (31%)	228 (32%)	
LANDSCAPING AREA		469 (66%)	
SITE AREA	708	NOT APPLICABLE	

DATE 14/06/05 SCALE 1:200
DRAWN JDE CHECKED
DRAWING No. 776-0126/9/05
REVISION A

PROJECT
PROPOSED NEW CARPORT AT
No. 277 LOWER PLATEAU ROAD
BILGOLA PLATEAU N.S.W. 2107
CLIENT
JOHN & CERIAN BRONDUM

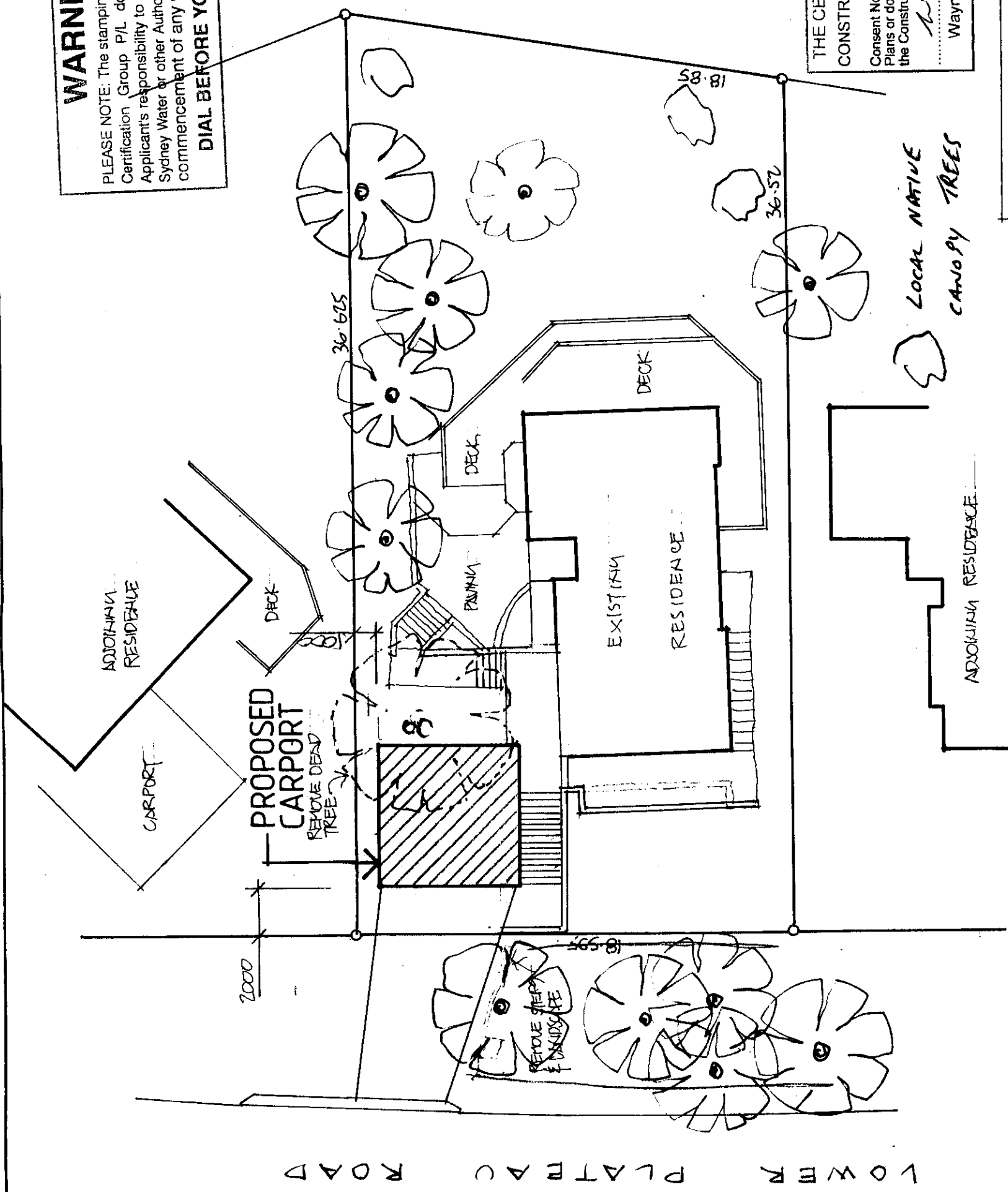
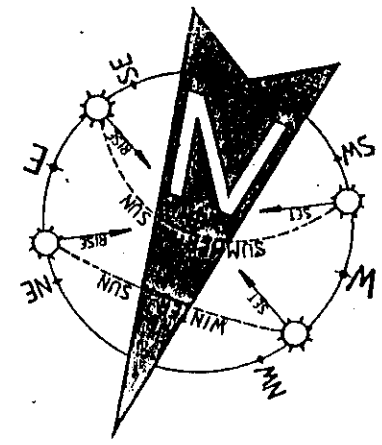
J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9913 2454
Mobile 048 976 596

No.	REVISION	DATE
1	AS SHOWN	15/7

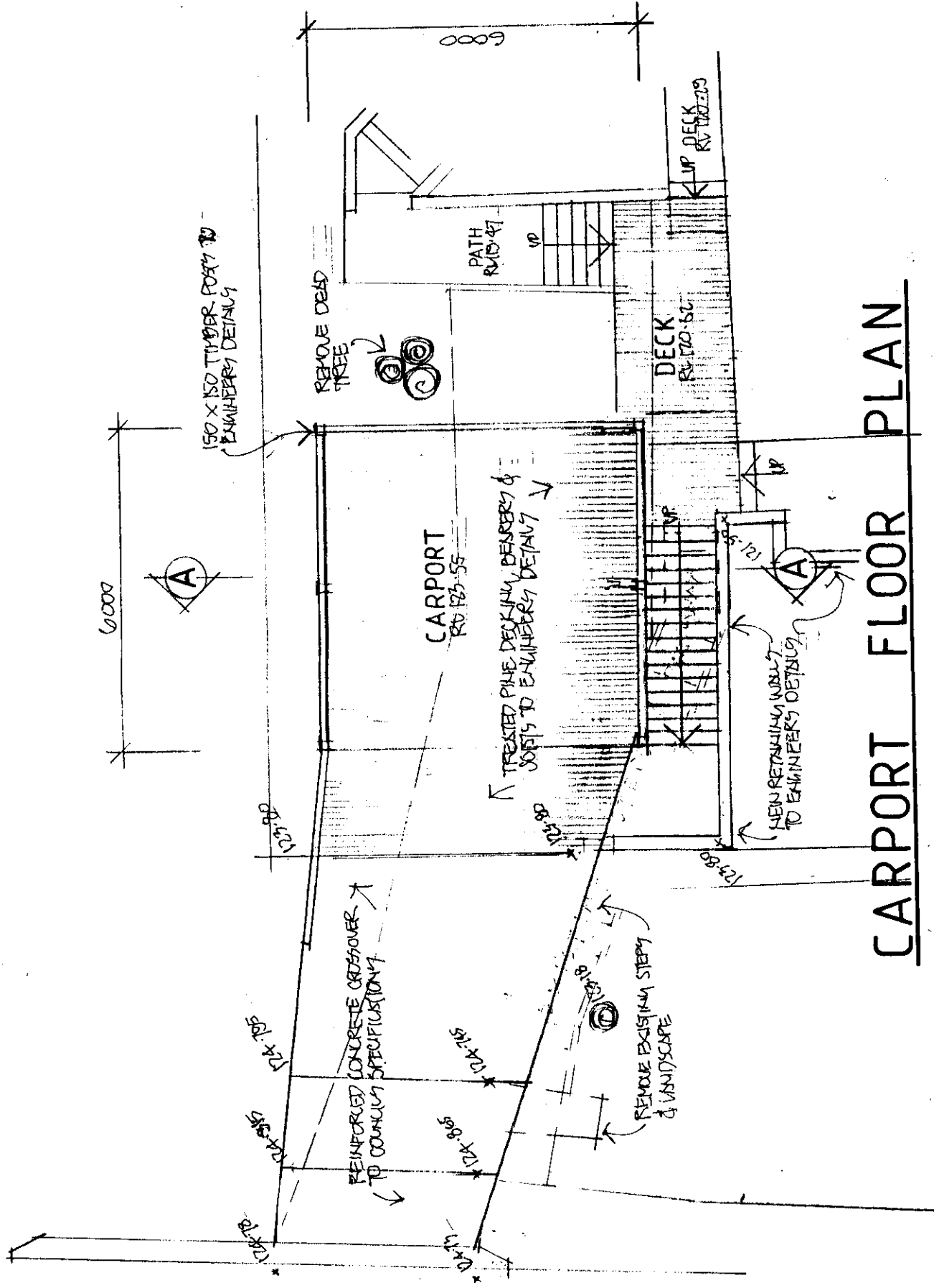
COPYRIGHT
ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME, WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
J.D. EVANS and COMPANY PTY. LTD.
74 RIVERVIEW AVE, AVALON BEACH, NSW

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and setbacks are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All further construction to be in accordance with the "BILGOLA PLATEAU" code.
5. Any building in addition to that shown on this plan must be approved by the Council and the builder to the owner's approval, except for any structural details or details which it is to be used by a Structural Engineer.
6. Road width & set-backs are to be determined by the approved council or as directed by local council inspectors.
7. All electrical power & light cables to be determined by the approved council or as directed by local council inspectors.
8. All other work and/or details to be determined by the approved council or as directed by local council inspectors.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



SITE PLAN
NOT 7 IN D.P. 21637



CARPORT FLOOR PLAN

COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

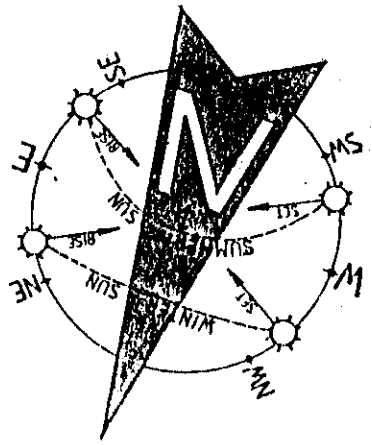
DATE	14/06/05	SCALE	1:100
DRAWN	JDE	CHECKED	
PROJECT	PROPOSED NEW CARPORT AT No. 277 LOWER PLATEAU ROAD BILGOLA PLATEAU N.S.W. 2107		
CLIENT	JOHN & CERIAN BRONDUM		
776-02	24/05		

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

CONTRACT REVIEWED
DATE

COPYRIGHT
ALL DRAWINGS ARE SUBJECT OF
COPYRIGHT AND NOT BE REPRODUCED OR
REPRODUCED IN ANY MANNER WITHOUT
THE WRITTEN PERMISSION OF J.D. EVANS
AND COMPANY PTY. LTD.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



1. Builder to check and confirm all necessary dimensions and levels on site prior to ordering materials and commencing construction. Do not scale the drawing.
2. All dimensions that relate to the building shall be in accordance with the Building Code of Australia & its amendments.
3. All dimensions that relate to the site shall be in accordance with the "Builder's Handbook" code.
4. All dimensions that relate to the site shall be in accordance with the "Builder's Handbook" code.
5. Any dimensions in addition to what is specified shall be the responsibility of the owner and the builder to the owner's approval, except for any dimensions in brackets which shall be the responsibility of the owner and the builder to the owner's approval.
6. All dimensions in brackets shall be the responsibility of the owner and the builder to the owner's approval.
7. All dimensions in brackets shall be the responsibility of the owner and the builder to the owner's approval.
8. All dimensions in brackets shall be the responsibility of the owner and the builder to the owner's approval.
9. All dimensions in brackets shall be the responsibility of the owner and the builder to the owner's approval.
10. All dimensions in brackets shall be the responsibility of the owner and the builder to the owner's approval.



COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

PROJECT

**PROJECT
PROPOSED NEW CARPORT AT
No. 277 LOWER-PLATEAU ROAD
BILL GOLA PLATEAU N.S.W. 2107**

CLIENT
JOHN & CERIAN BRONDUM

DATE 14/06/05 SCALE 1:100, .

030620

DRAWING No. 776-03
SCALE AS SHOWN
DATE 26/9/05

W. D. EVANS and COMPANY, PTY. LTD.

BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107

Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

[illegible][illegible][illegible]

--	--

COPYRIGHT
ALL PLANS AND
DRAWINGS ARE SUBJECT OF

ALL RIGHTS ARE RESERVED.
COPYRIGHT AND ANY ATTEMPT OR ACTUAL
INFRINGEMENT BY USING, REPRODUCING OR
TRANSMITTING IN ANY FORM OR BY ANY MEANS, WITHOUT

COPIING SAME. WHOLLY OR IN PART, WITHOUT
PRIOR WRITTEN PERMISSION WILL RESULT IN
SEVERE PUNISHMENT.

J.D. EVANS and COMPANY PTY. LTD.

20 STEVENS AVE, AVAJO BEACH, PZT

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

Include to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.

2. All dimensions that relate to safe boundaries and assemblies are subject to verification by a suit authority.

4. A timber concession to be in accordance with the 1982 Forestry Law.

any structural loading or design which is to be supported by the structure.

7 All electrical power & light outputs to be determined by meter.

一、凡在本行存款者，其存款之利息，均按本行所定之利率计算。

WEST ELEVATION

NORTH ELEVATION

Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawings.

2 All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements.

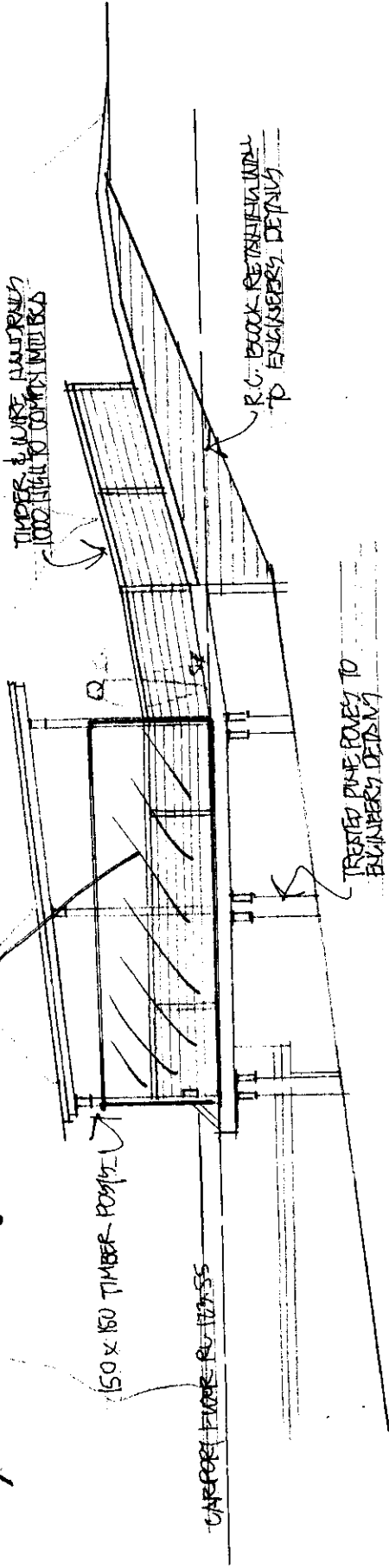
14 All timber construction to be in accordance with the 1985 National Building Code.

...the ...

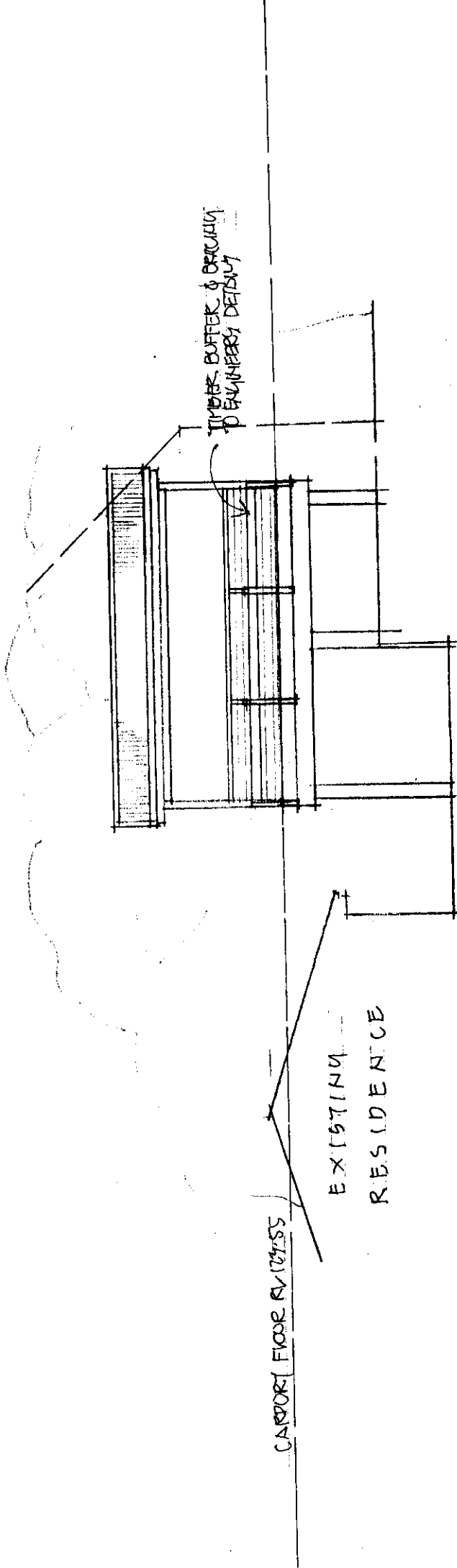
7 All electrical power & light outlets to be determined by owner.

THE UNIVERSITY OF CHICAGO PRESS

Privacy screen 1.8m high



EAST ELEVATION



SOUTH ELEVATION

COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions and levels on site prior to ordering materials and commencing construction. Do not scale off the drawing.
2. All dimensions that relate to the building envelope are subject to verification by a site survey.
3. All work to be in accordance with the Building Code of Australia and the subordination of local council requirements & other authorities.
4. All building work must comply with the Building Code of Australia and the subordination of local council requirements & other authorities.
5. Any structural details or design which is to be supplied by a Structural Engineer.
6. Road vector & site-plan drawings to be supplied at the appropriate manner or as directed by local council inspectors.
7. All structural work & light columns to be submitted by owner.
8. All work must be done in accordance with the Building Code of Australia and the subordination of local council requirements & other authorities.

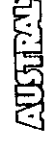
COPYRIGHT
ALL RIGHTS RESERVED
NO PART OF THIS DRAWING
SHALL BE REPRODUCED OR
TRANSMITTED IN ANY FORM
OR BY ANY MEANS, WITHOUT
PRIOR WRITTEN PERMISSION
FROM THE DESIGNER.

NO.	REVISION	DATE
1	AS SHOWN	14/06/05

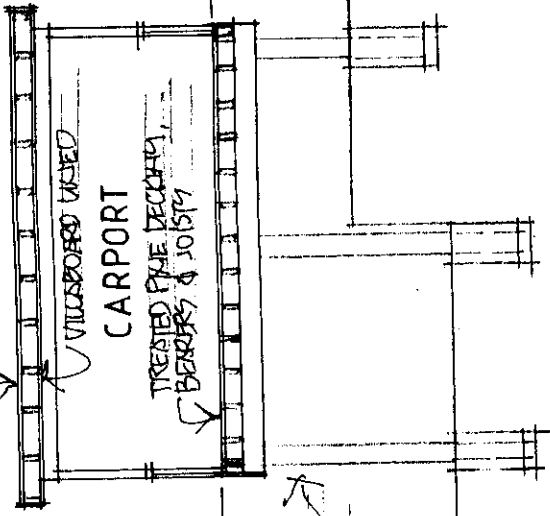
J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
15 ALVIRA AVE. AVALON BEACH, 2107
Ph: (02) 9913 9206 Fax: (02) 9973 2454
Mobile: 088 976 596

PROJECT
PROPOSED NEW CARPORT AT
NO. 277 LOWER PLATEAU ROAD
BILGOLA PLATEAU N.S.W. 2107
CLIENT
JOHN & CERIAN BRONDUM

DATE	14/06/05	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING NO.	776-04	DATE	26/9/05



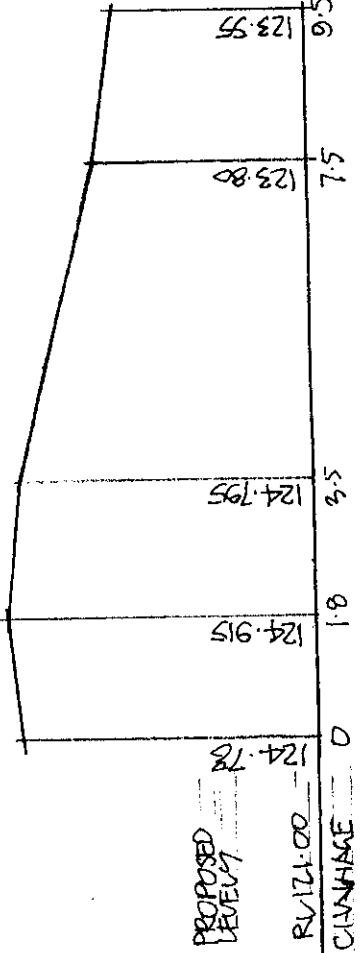
COLORBOND CUSTOM ORG. ROOF SHEETING
WITH POLY UNID BATTEN



CARPORT FLOOR R/L 107.55

TREATED PINE POLES TO
ENCLOSURE DETAIL

SECTION A - A



COUNCIL COPY

LONGITUDINAL SECTION THROUGH DRIVEWAY

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

COPYRIGHT
ALL PLANS AND DRAWINGS ARE SUBJECT OF
COPYRIGHT AND ANY ATTEMPT OR ACTUAL
INFRINGEMENT BY USING, REPRODUCING OR
COPYING SAME WHOLLY OR IN PART, WITHOUT
PRIOR WRITTEN PERMISSION WILL RESULT IN
LEGAL PROCEEDINGS.
J.D. EVANS and COMPANY PTY. LTD.
74 RIVERA AVE. AVALON BEACH, NSW

ALCARPORT
12/10/05
DATE

J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 086 976 596

PROJECT
PROPOSED NEW CARPORT AT
No. 277 LOWER PLATEAU ROAD
BILGOLA PLATEAU N.S.W. 2107
CLIENT
JOHN & CERIAN BRONDUM

DATE 14/06/05 **SCALE** 1:100
DRAWN JDE **CHECKED**
DRAWING No. 776-05 **DATE** 29/9/05

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.



A C N 053 405 011

Date 16 SEPTEMBER 2005



Driveway Notes:-

1. Design Levels shown comply with Pittwater 21 DCP Control B8.1
2. Crossing to be constructed by a contractor registered with the council for this work.
3. Slopes greater than 1 in 4 (25%) for total length of 20 metres are not permitted.
4. Change of grades greater than 12.5% require a transition of at least 2 metres in length at half the change in grade.

WARNING

PLEASE NOTE: The stamping of this plan by The Certification Group Pty Ltd does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or utilities prior to commencement of any works.
DIAL BEFORE YOU DIG 1100

Drainage Pipe Notes:
Slope of pipes to be a minimum of 1:100 i.e. 1%.
All levels and dimensions to be checked and confirmed on site.
All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998).

All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.

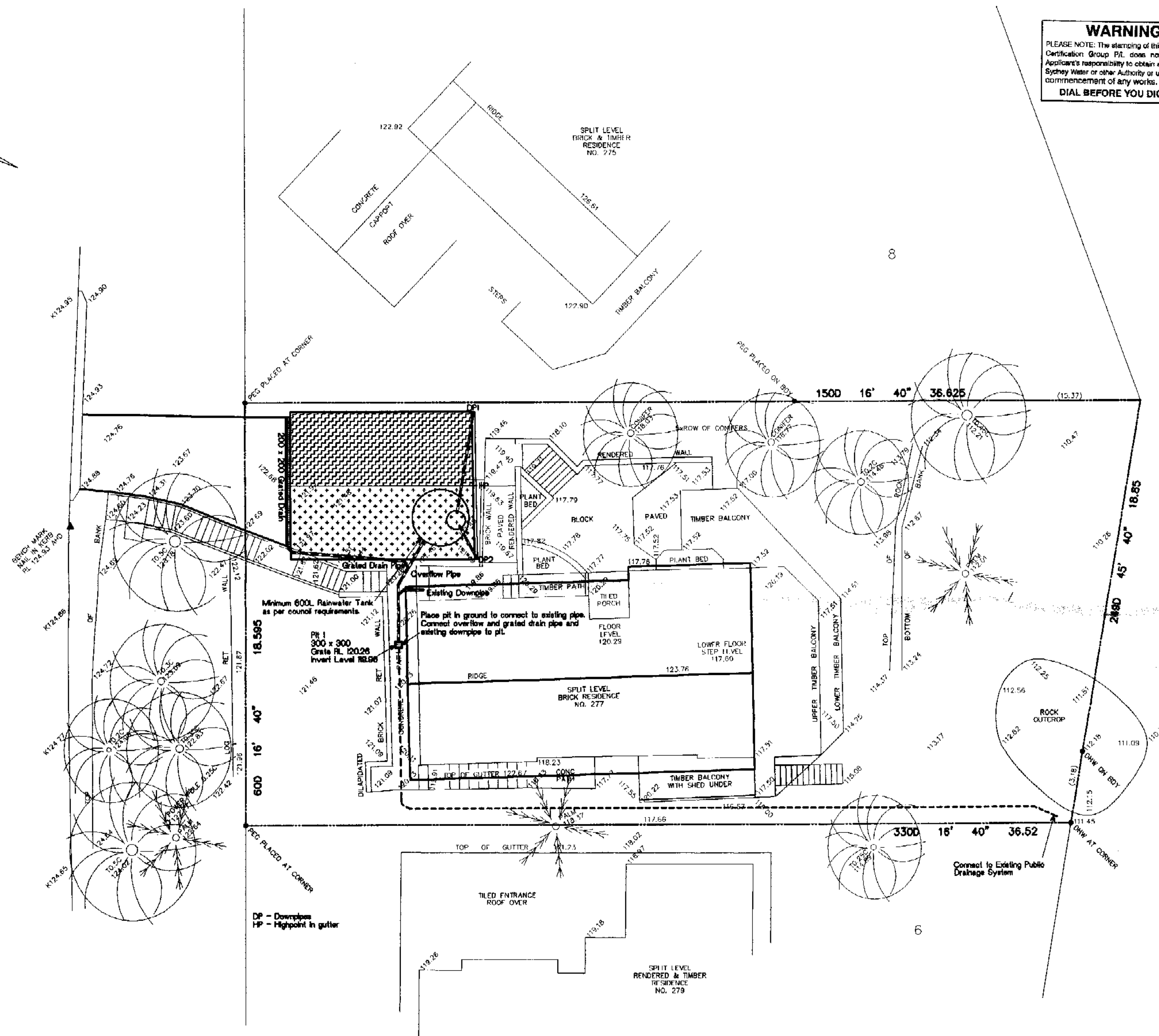
The Eaves Gutter connected to DP1 and DP2 to be a minimum of 125mm Quad Gutter with a cross sectional area of 8365 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 90mm or similar.

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

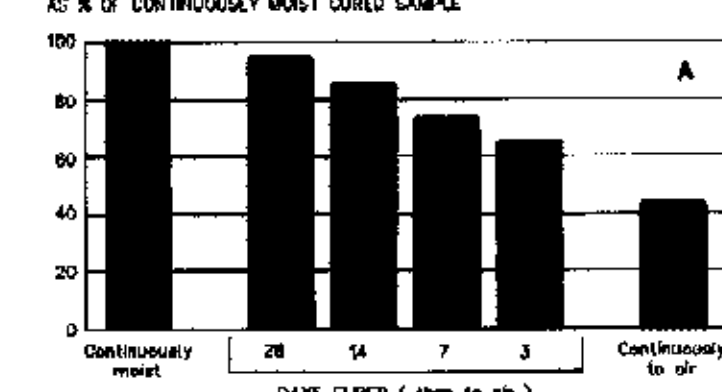
Maximum Plan Area is 30m² per downpipe

Indication Of Area Draining To Downpipes By Hatching	
DP1 - 24m ²	
DP2 - 24m ²	

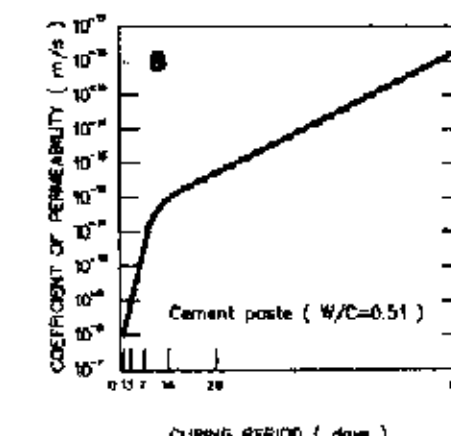
Note: Areas are unfactored plan areas

**IMPORTANCE OF CURING CONCRETE**

COMPRESSIVE STRENGTH AT 280 DAYS
AS % OF CONTINUOUSLY MOST CURED SAMPLE



Effect of curing duration on: (A) compressive strength and (B) concrete permeability
Acknowledgement: Diagram is based on fig. L2 of Guide to Concrete Repair & Protection (SAA/1984:1988)

**PLAN OR DOCUMENT CERTIFICATION**

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.M.Eng.Sc.
.....F.I.E. Aust.Nper3.Struct. Civil No. 149788.
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870, A.S.3600, A.S.3700
A.S.4100 & A.S. 1163

Jack D. Hodgson 12/10/05 *J. Hodgson*
Name Date Signature

A Connection to Existing Public Drainage System CP 12/10/05
No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

STORMWATER MANAGEMENT PLAN

**PROPOSED CARPORT ADDITIONS AND ALTERATIONS
277 LOWER PLATEAU ROAD
BILGOLA PLATEAU**

CERTAIN BRONDIUM

Our drawings are based on the information provided by:-
D.P. SURVEYING SERVICES PTY. LTD.
SURVEY Drawing No. 1155 Date: 3 MAY 2004
J.D. EVANS AND COMPANY PTY. LTD.
ARCHITECTURALS Drawing No. 778-01 - 05 Date: 14/05/05

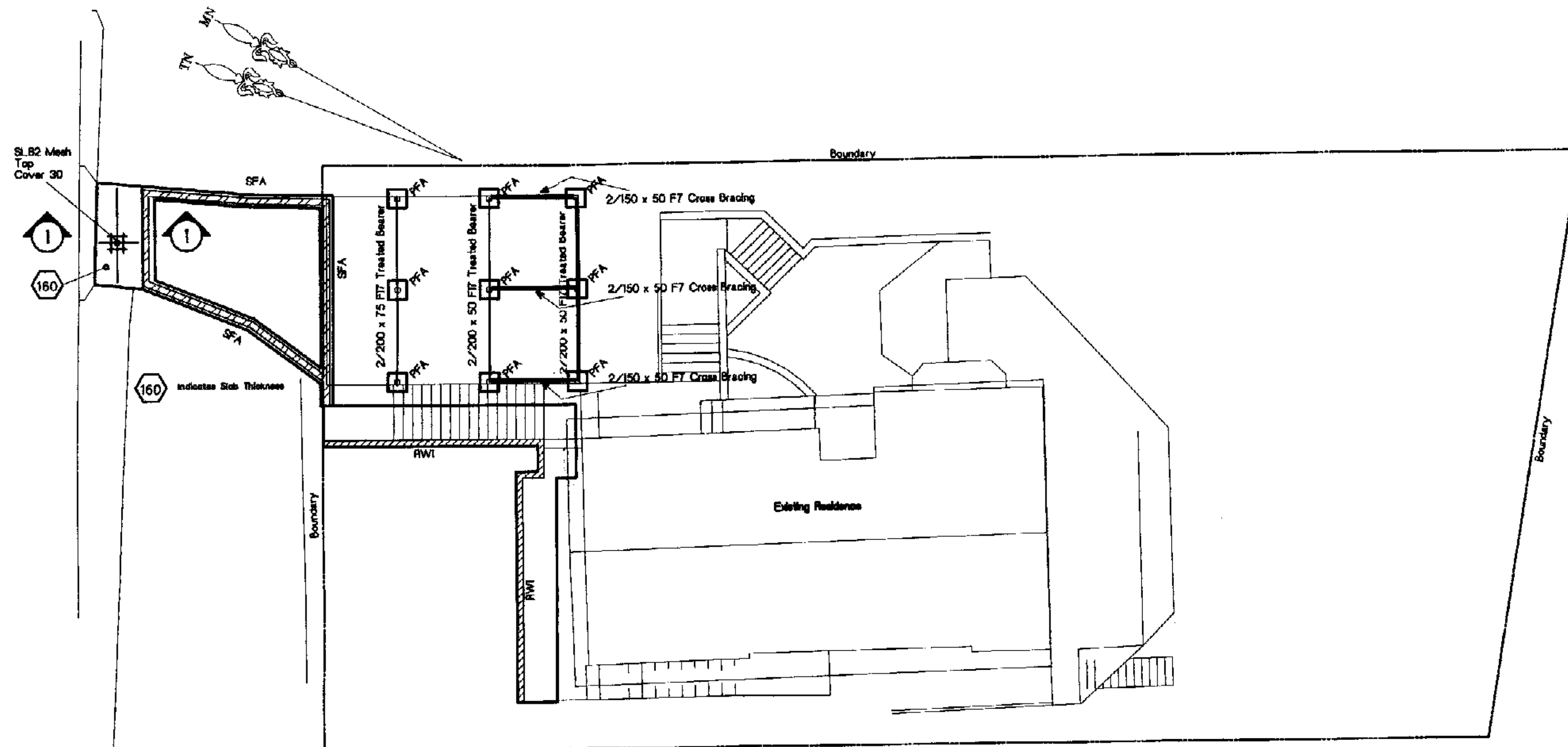
The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Danks Street, MOIRA VALE 2103, P.O. Box 209, Port Code 1600.
Telephone: (02) 9979 6733, Facsimile: (02) 9979 6828. A.C.N. 053 405 011

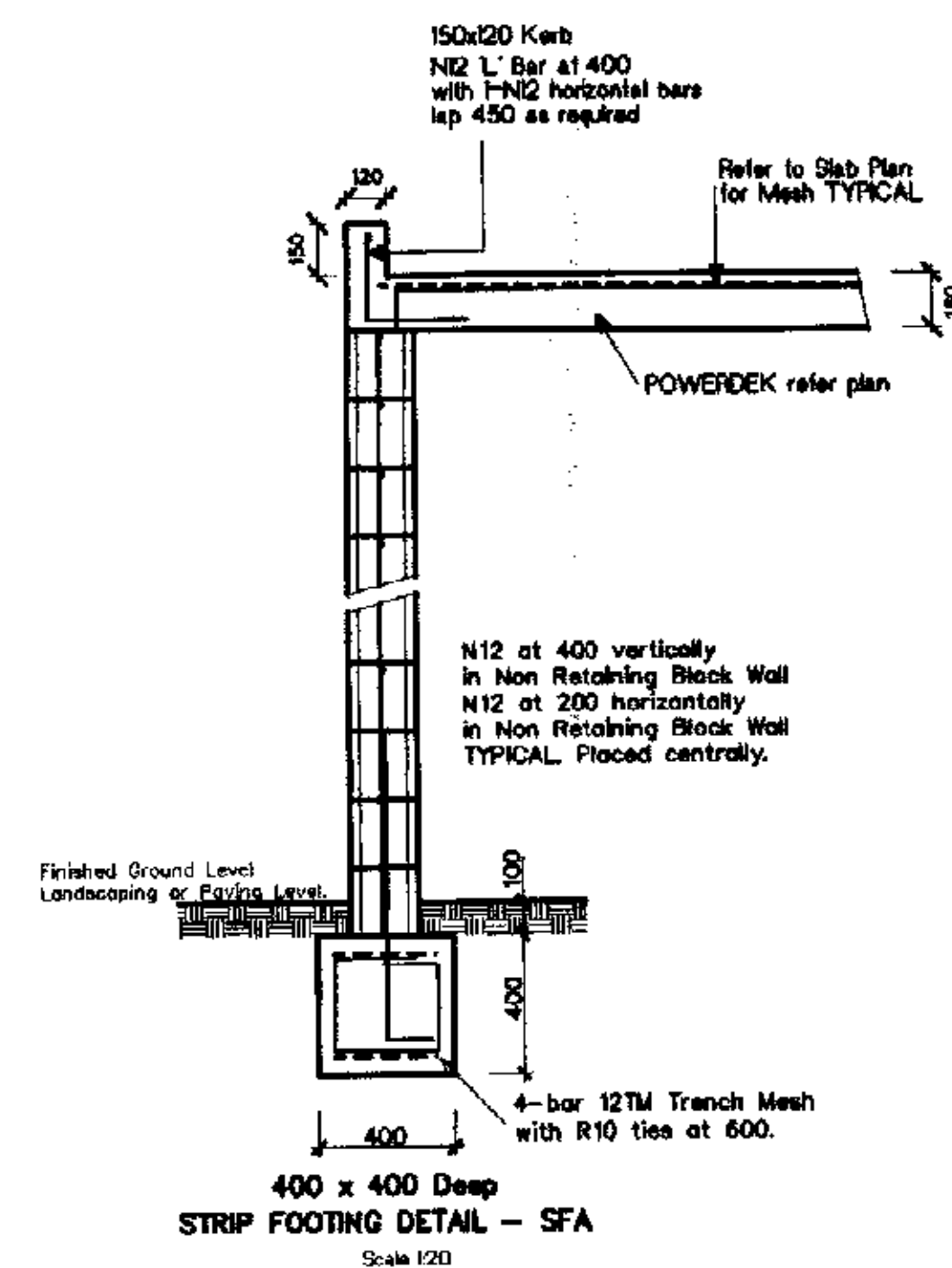
Designed: JDH Drawn: CP Job No. Drawing No.
Design Check: GH Drawing Check: GH

Date: 16 SEPTEMBER 2005

22696-H1/A



RETAINING WALL & FOOTING PLAN
Scale 1:100



STRIP FOOTING DETAIL - SFA
Scale 1:20

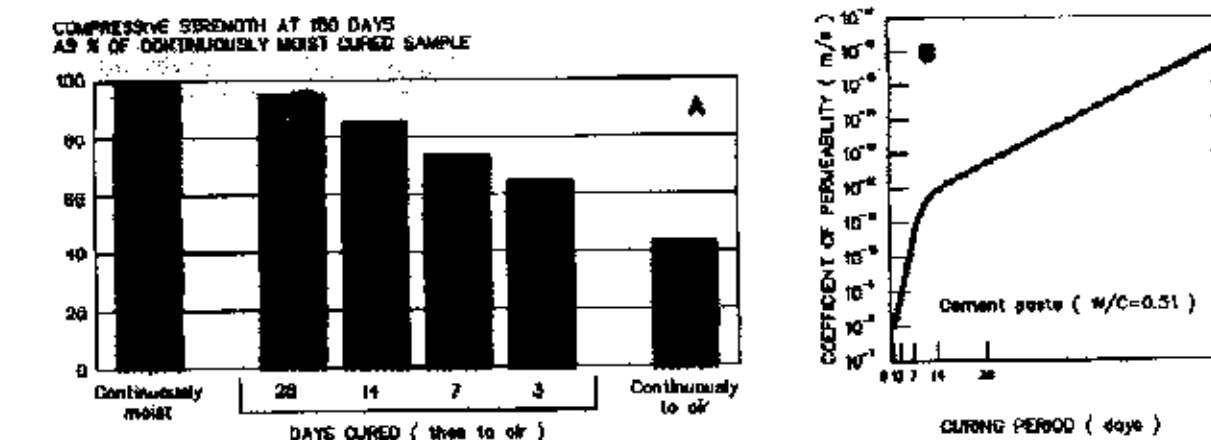
- TIMBER NOTES:**
- All work including bracing, wind bracing & tie down shall be carried out in accordance with AS 3660.1, AS 1684.2, AS 1720.1 and the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum knots, pockets, knot holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.
 - All F7 timber shown are nominal sizes only.

- CONCRETE & BLOCK NOTES:**
- All concrete work to be in accordance with AS 3600.
 - For Refer to table.
 - Maximum aggregate size = 20 for footings, slabs & beams = 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing.
 - All blockwork to be in accordance with SAA Masonry Code AS 3700.
 - All cavities of block work to be thoroughly cleaned out, using knock out blocks or other suitable means, before filling with grout or concrete.
 - 200 & 300 blocks to be hollow retaining wall blocks with a characteristic strength of 20 MPa.
 - Blocks may be filled with a C.M. G.S. 4.5 mortar as the block laying proceeds.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise, where 500 = strength grade in megapascals & N = Normal quality class.
 - Bar Chairs to be no more than 80mm centre to centre spacing.
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork must be bonded or similar. Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roofing Rib or be protected by an approved curing membrane.
 - Mature Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1998.

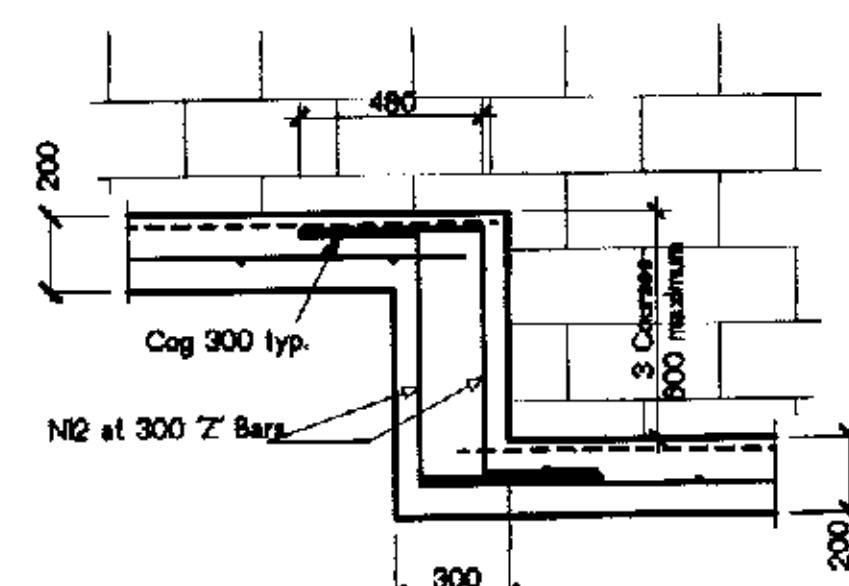
Element	Cover (mm)	F _c at 28 days
	Protected / Exposed	Protected / Exposed
Piers		
Footings	50	25 MPa
Block Filling	refer to detail	25 MPa
Slab on Ground		32 MPa
- Top	30	45
- Bottom		
Beams	50	50
Columns		
Slabs		
Walls		

The minimum clear cover is to reinforcement ties and stirrups.

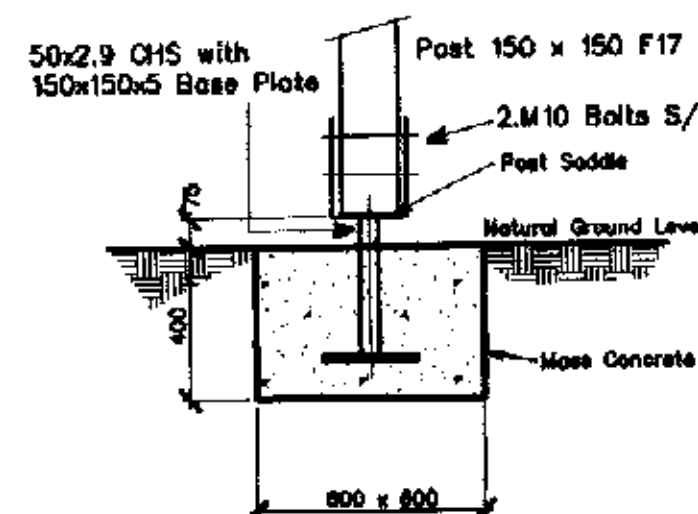
IMPORTANCE OF CURING CONCRETE



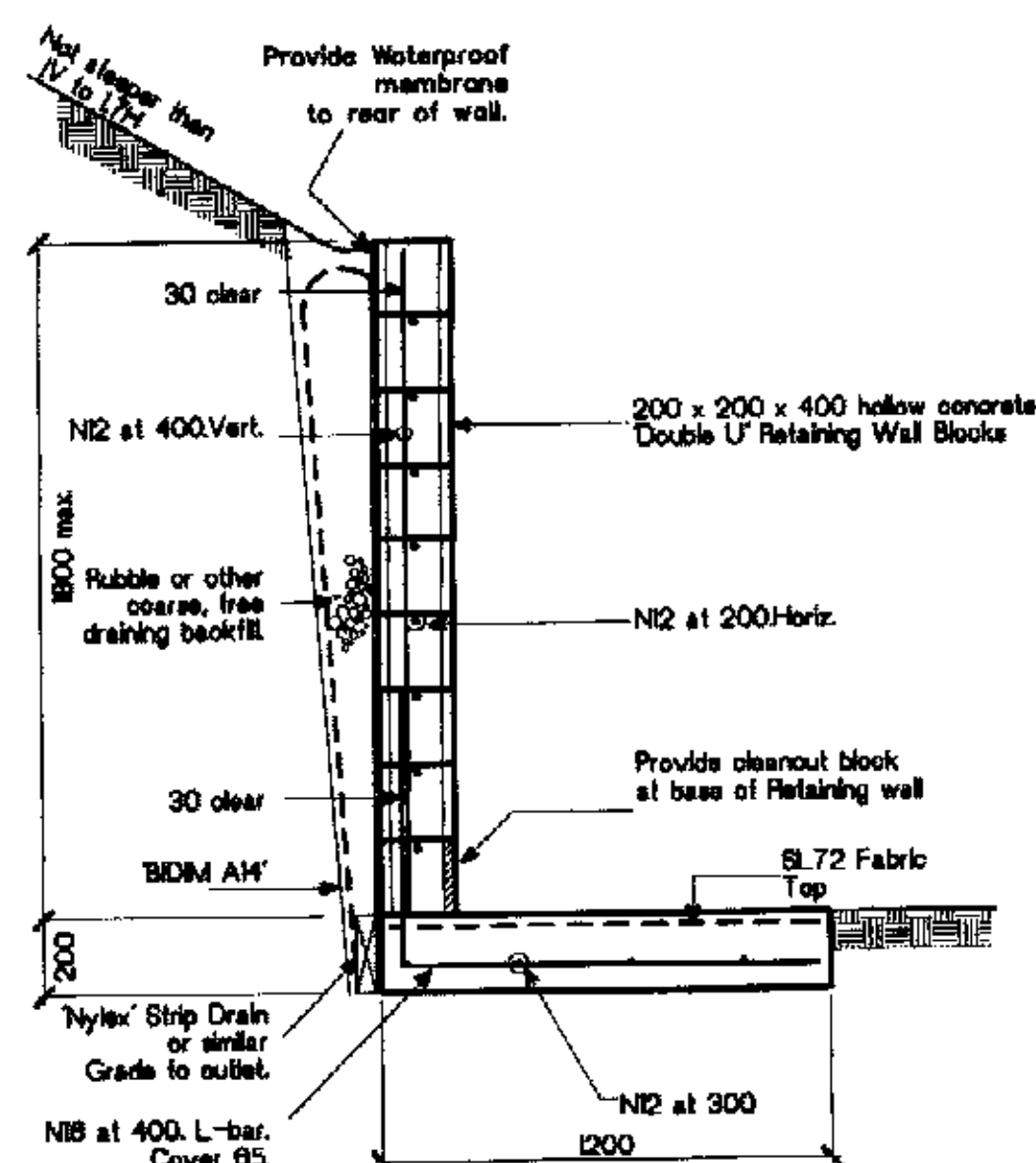
Effect of curing duration on: (A) compressive strength; and (B) concrete permeability. Acknowledgement: Diagram is based on Fig 1.2 of Guide to Concrete Repair & Protection (SAA/1984:1998)



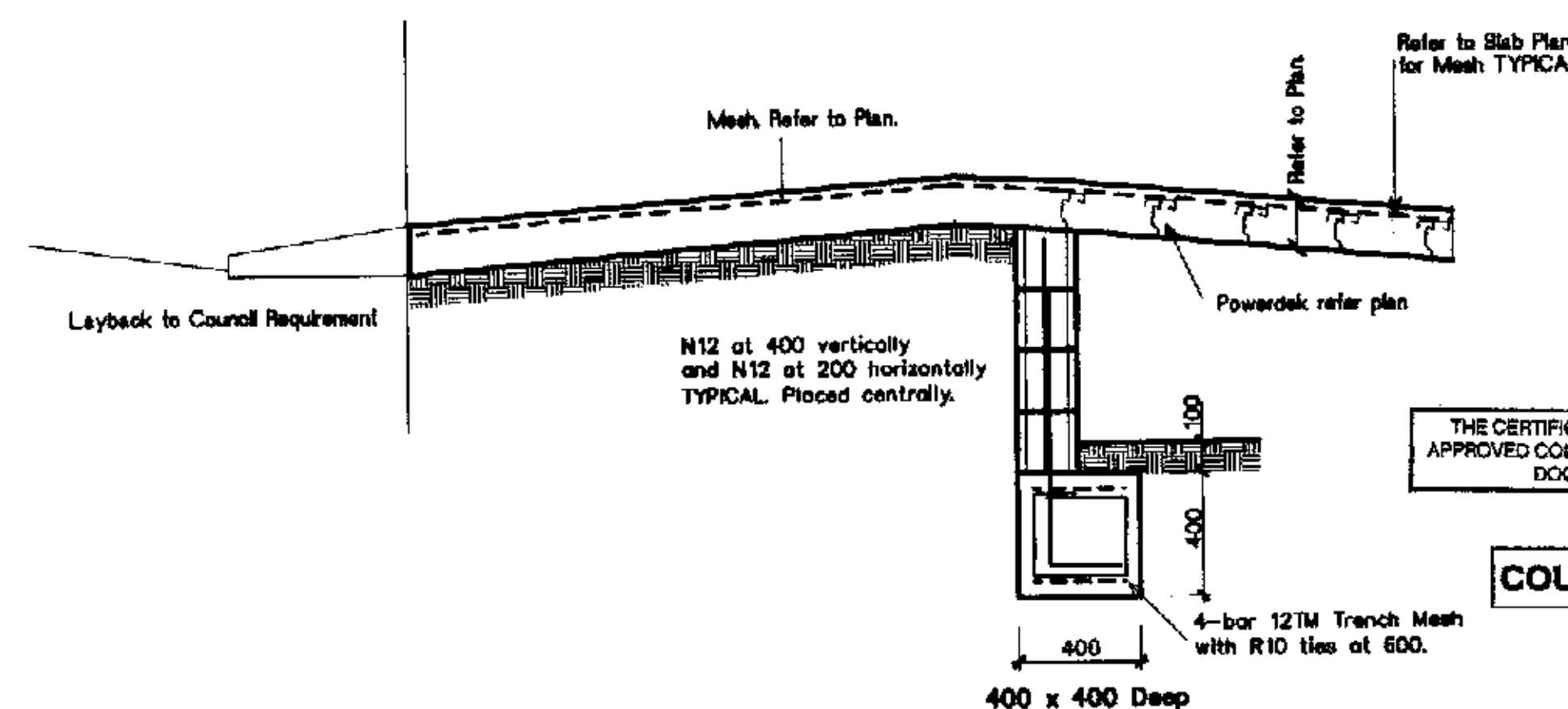
STEP FOOTING DETAIL - RWT
Scale 1:20



PAD FOOTING DETAIL 'PFA'
Scale 1:20



BLOCK RETAINING WALL RWT
Scale 1:20



SECTION 1
Scale 1:20

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No....M.Eng.Sc.
.....F.I.E.Aust....Nper3....Struct.Civil.No.148788
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1700, A.S.1701, A.S.1702, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700
A.S.4100 & A.S. 1163
Jack D. Hodgson 21/9/05
Name Date Signature

RETAINING WALL & FOOTING LAYOUT & DETAILS

PROPOSED CARPORT ADDITIONS & ALTERATIONS
277 LOWER PLATEAU ROAD
BILGOLA

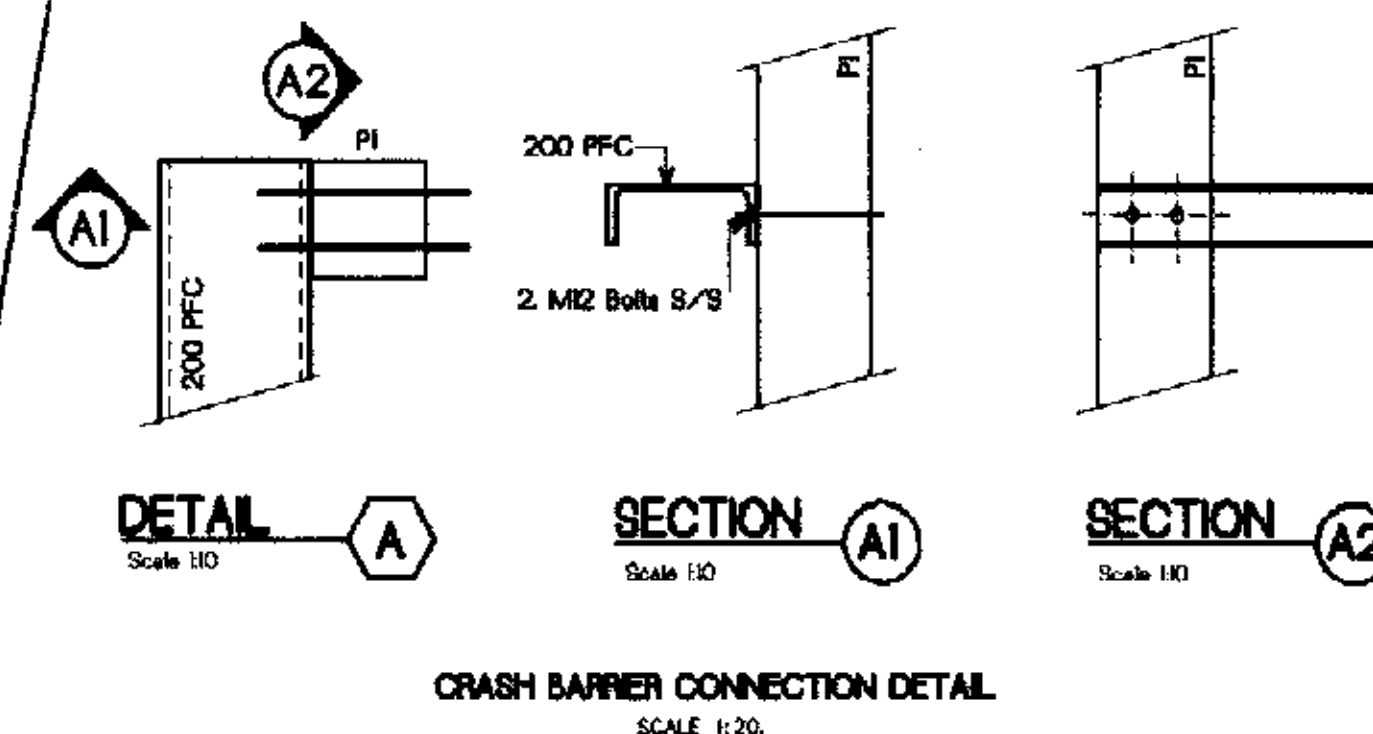
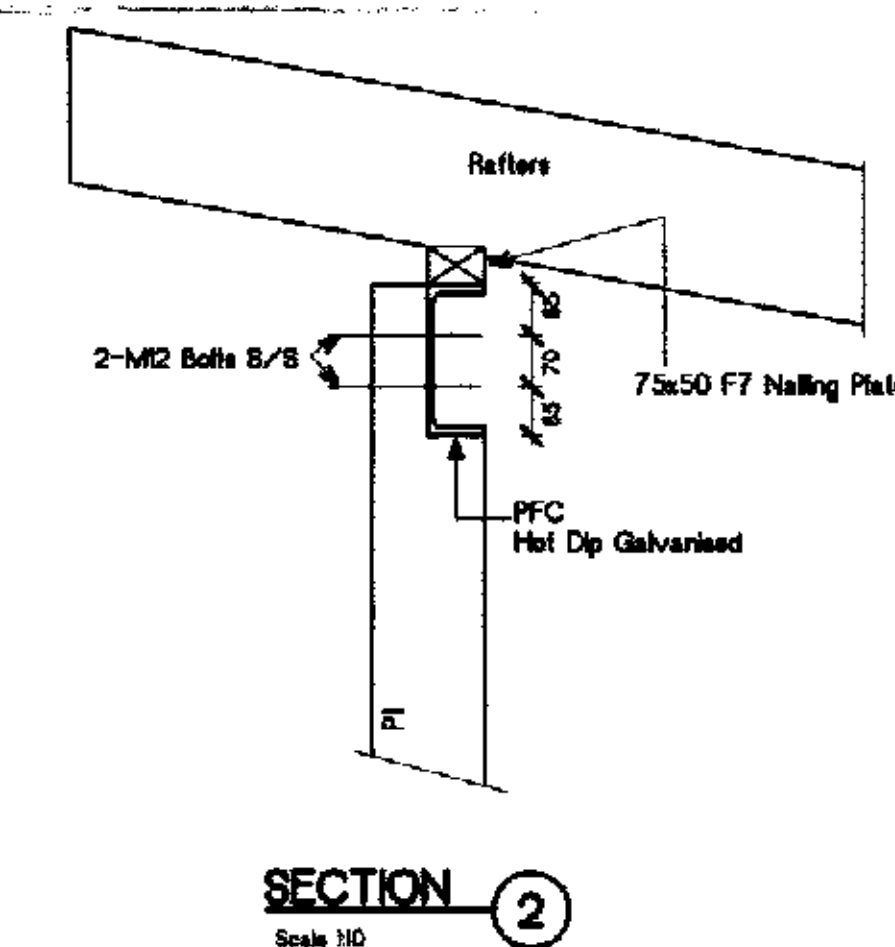
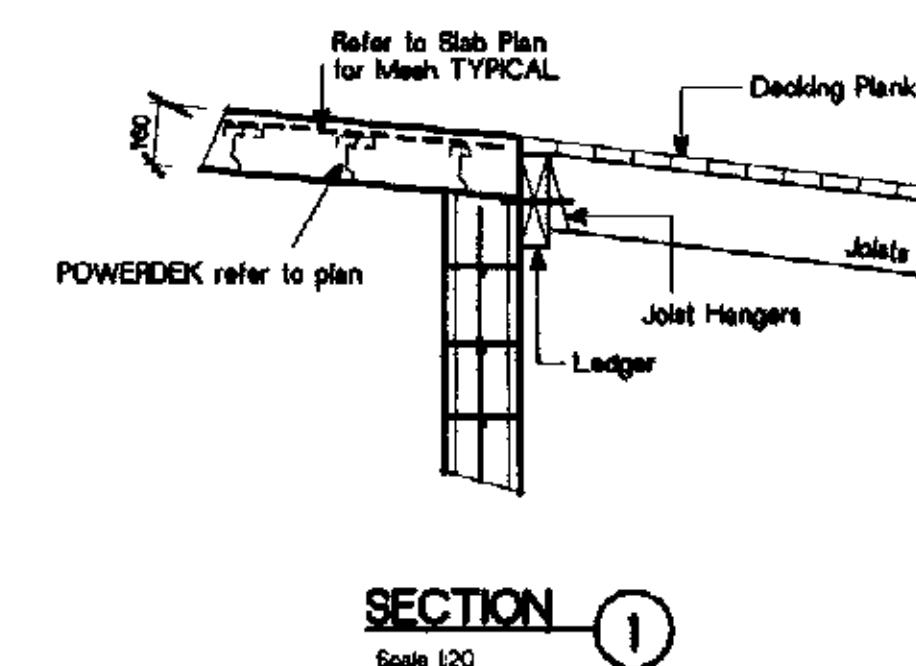
CERIAN BRONDUM

Our drawings are based on the information provided by:-
MELOCCO & MOORE architects pty ltd
Drawing No:- 0403-D-01, 0403-D-02 Date:- JUNE 2004

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Dorley Street, MONA VALE 2103, P.O. Box 389, Post Code 1600.
Telephone (02) 9878 8733 Facsimile (02) 9878 8828. A.C.N. 063 460 011

Designed	Drawn	LS/GW	Job No.	Drawing No.
GW	JDH	SG		22696-S1
Design Check	Drawing Check			
Date	4 JULY 2005			/A



PLAN OR DOCUMENT CERTIFICATION

I am a qualified.....**CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER.**

I hold the following qualifications or honours Name.....**Eng.Sc.**

.....**F.I.E. Aust.Nper.3.Struct.Civil.No. 149788.....**

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.

A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870.1, A.S.3800, A.S.3700, A.S.4100 & A.S. 1163

Jack D. Hodgson *14/10/05 J.D.Hodgson*

Name Date Signature

TO DATE	A	Powerdek Slab and Slab on Ground	GW	16/9/02
	No.	Amendment	Drawn	Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

CARPORT MARKING & ROOF PLAN & DETAILS

**PROPOSED CARPORT ADDITIONS & ALTERATIONS
277 LOWER PLATEAU ROAD
BILGOLA**

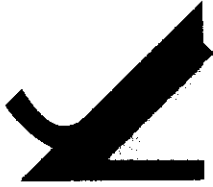
CERIAN BRONDUM

Our drawings are based on the information provided by:-
MELOCOO & MOORE architects pty. ltd.
Drawing No:- 0403-D-01, 0403-D-02 Date:- JUNE 2004

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED
Consulting Civil, Geotechnical, and Structural Engineers.
67 Dorley Street, MONA VALE 2103, P.O. Box 308, Post Code 1660.
Telephone (02) 9978 8733. Facsimile (02) 9978 8828. A.C.N. 053

Designated	Drawn	Job No.	Drawing No.
GW	LS/GW	22696-S2	/A
Design Check	Drawing Check		
JDH	SG		
Date	4 JULY 2005		



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

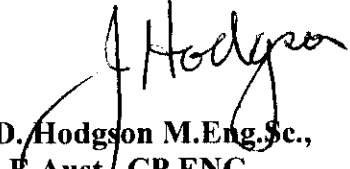
ABN: 94 053 405 011

VQ 22696B.
19th September, 2005.
Page 1.

SCHEDULE OF WORKS FOR PROPOSED CARPORT AT 277 LOWER PLATEAU ROAD, BILGOLA PLATEAU

1. Demolish the existing driveway, the access stairs and all brick retaining walls.
2. Remove all material from the site.
3. Construct the new retaining walls for the car port, the access stairs and the access path to the house in accordance with the approved Engineering Plans.
4. Construct the footings for the carport and the access driveway in accordance with the approved Engineering Plans.
5. Erect the posts and bearers for the carport. Fasten the ledger beam to the retaining wall on the uphill side of the carport.
6. Construct the driveway out to the road and including the Council crossing.
7. Construct the carport deck and the bump barrier in accordance with the approved Engineering Plans.
8. Construct the carport roof in accordance with the approved Engineering Plans.
9. Construct the various on ground stairs to the BCA.
10. Clean up the site.

JACK HODGSON CONSULTANTS PTY. LIMITED.


**J. D. Hodgson M.Eng.Sc.,
F.I.E. Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

COUNCIL COPY

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926

Pittwater Council

ABN: 61340837871

TAX INVOICE

OFFICIAL RECEIPT

08/09/2005 Receipt No 176120

To CERIAN GRIFFITHS BRONDUM

277 LOWER PLATEAU ROAD
BILGOLA 2107

Qty/ Applic	Reference	Amount
	ESTR-Eng	\$172.00
GL Rec 1 X	277 LWR PLATEAU ROAD:	
	QLSL-Buil	\$52.00
GL Rec	RE:N0337/05:277 LWR PLATEAU RD:	
1	CCGST-CCa	\$2.04
GL Rec 1		
	GST	\$0.20
GL Rec		
To GL Receipt:		

Total Amount: \$226.24
Includes GST of: \$0.20

Amounts Tendered

Db/Cr Card	\$226.24
Total	\$226.24
Rounding	\$0.00
Change	\$0.00
Nett	\$226.24

Printed 08/09/2005 12:54:22 PM

Cashier JBibb

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.



COUNCIL COPY

PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 12-Oct-05
Receipt No:
Amount: \$172.00

Name: Cerian Griffiths-Brondum
Postal Address: 277 Lower Plateau Road
Bilgola Plateau 2107

AMENDED

APPROVED ACCESS DRIVEWAY PROFILE AT:

277 Lower Plateau Road, Bilgola Plateau 2107

The future vehicular access profile will be as per the enclosed plan **EL**.

WORK REQUIRED:

Construct: Vehicular access slab 7.0m long x 4.0m wide at gutter crossing to 6.0m wide at the boundary.

Type of Construction: Domestic

VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate

Development Application for _____

Name of Applicant _____

Address of site 277 Lower Plateau Road Bilgola Plateau

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, Jack Hodgson on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 15.9.05
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: RISK MANAGEMENT FOR PROPOSED ALTERATIONS
Report Date: AT 277 LOWER PLATEAU ROAD, BILGOLA PLATEAU
Author: 26.5.85 JACK HODGSON

Structural Documents list:

22696-51/A Retaining Wall & Footing Layout & Details
22696-52/A Carport Marking & roof plan and details

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JACK HODGSON
(name)

[Signature]
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature _____

Name Jack Hodgson

Chartered Professional Status M. ENG SC FIE AUST

Membership No. 149 788

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

COUNCIL COPY

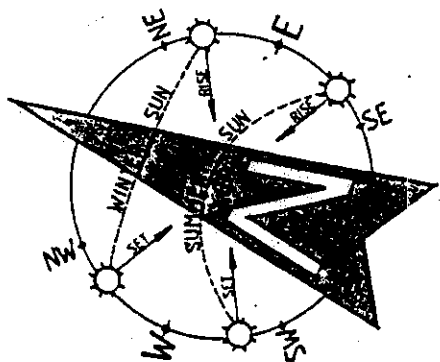
SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3446209

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Per: RECC 16.9.10

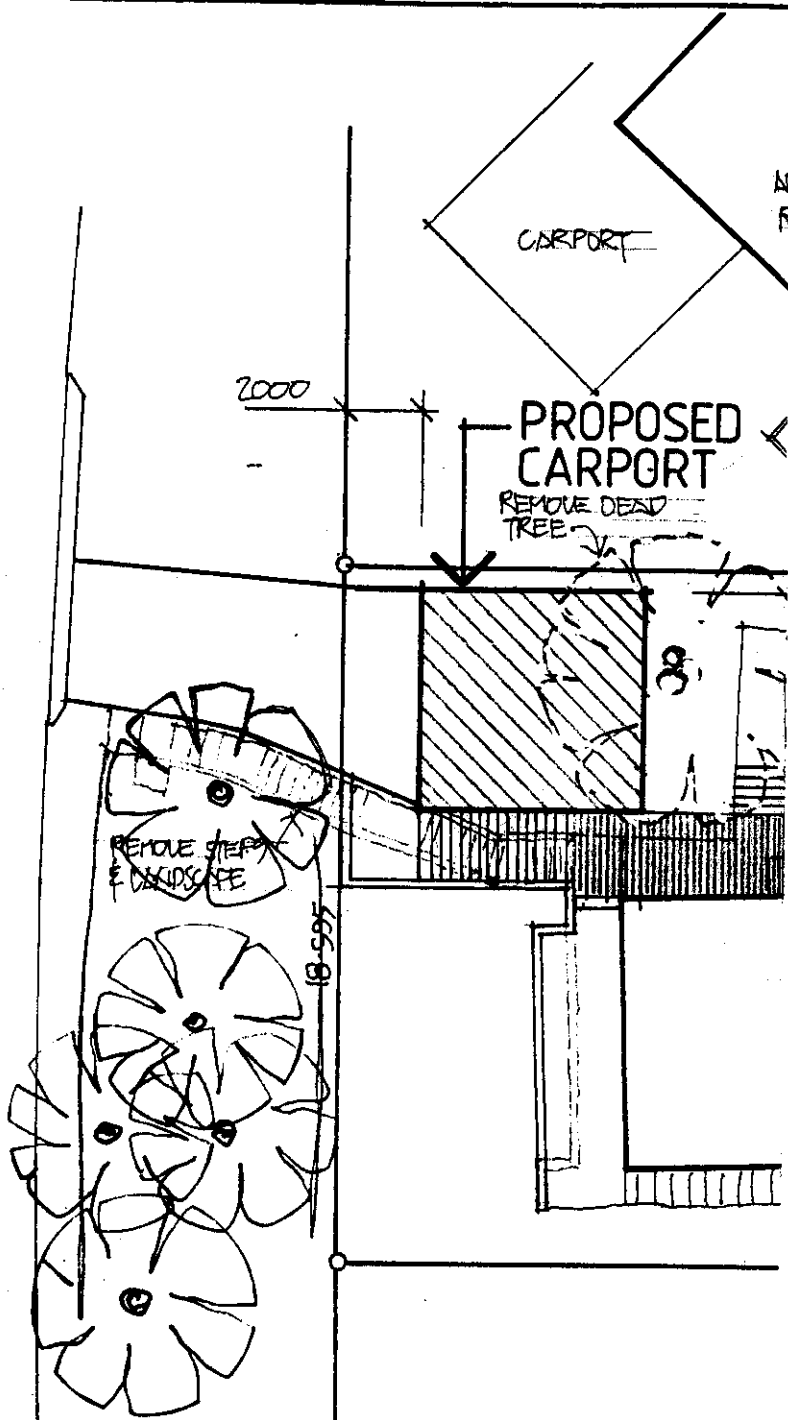
LOWER PLATEAU ROAD



THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

COUNCIL COPY

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



ADK

SIT
LOT 7

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TENDER PROVISIONS" code.
5. Any detailing in addition to what is supplied shall be retained between the owner and the builder to the owner's approval, except for any structural details or design which it is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.

COPYRIGHT
ALL PLANS AND DRAWINGS ARE SUBJECT OF
COPYRIGHT AND ANY ATTEMPT OR ACTUAL
INFRINGEMENT BY USING, REPRODUCING OR
COPYING SAME, WHOLLY OR IN PART, WITHOUT
PRIOR WRITTEN PERMISSION WILL RESULT IN
LEGAL PROCEEDINGS.
J.B. STAINES AND COMPANY PTY. LTD.