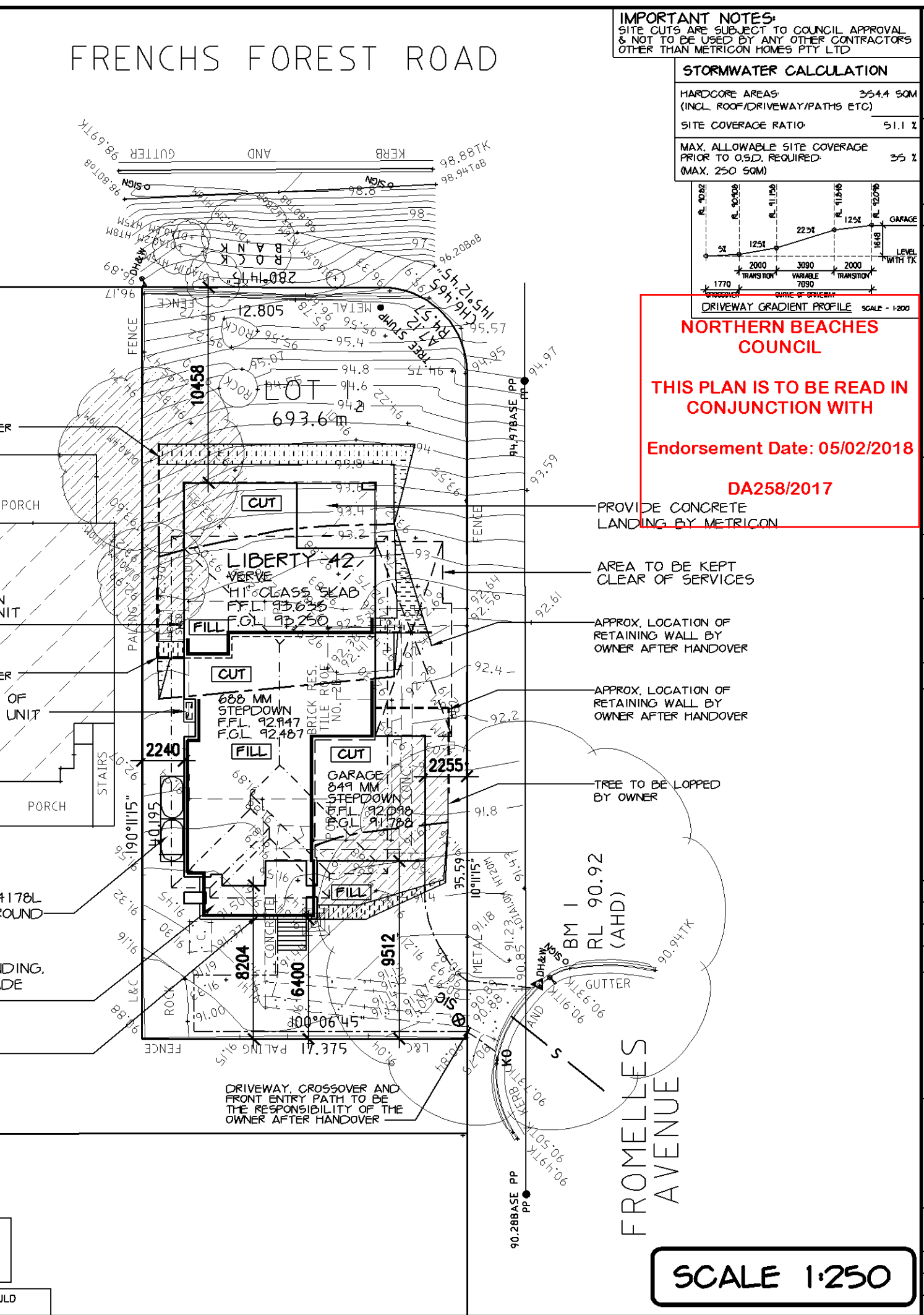


NORTHERN BEACHES BASED ON MANLY DCP 2013			
SITE AREA:		693.6 SQM	
PROPOSED ROOF COVERAGE			
ROOF COVERAGE AREA:		272.8 SQM	
FLOOR SPACE RATIO			
GROUND FLOOR:		154.2 SQM	
FIRST FLOOR:		157.7 SQM	
TOTAL LIVING AREA:		312.5QM	
MEASURED TO INT. FACE OF EXT. WALLS (EXCLUDES GARAGE, STAIR VOID, ETC.)		45%	
MAX. ALLOWABLE BY COUNCIL:		45%	
LANDSCAPED AREA			
TOTAL LANDSCAPED AREA:		355.5QM	
EXCL. ALL HARD SURFACES		51.1%	
MIN. REQUIRED BY COUNCIL:		35%	
OPEN SPACE			
OPEN SPACE:		480.4 SQM	
		69.3%	
MIN. REQUIRED BY COUNCIL:		55%	
STORMWATER CALCULATION			
HARDCORE AREAS: (INCL. ROOF/DRIVEWAY/PATHS ETC.)		354.4 SQM	
SITE COVERAGE RATIO:		51.1%	
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED: (MAX. 250 SQM)		35.1%	
BUILDING HEIGHT RESTRICTION			
MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 6.5M WALL HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)			
MAXIMUM 1000MM CUT MAXIMUM 1000MM FILL NO EXCAVATION WITHIN 900MM OF ANY BOUNDARY			
TERMITE PROTECTION: PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1			
SURVEYORS NOTES			
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.			
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.			
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.			
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.			
DRAWINGS AMENDMENTS			
-	-----	-	..
-	-----	-	..
-	-----	-	..

EXISTING TREES TO BE LOPPED/REMOVED BY OWNER	
TREE REMOVAL REQUIREMENTS: SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION	
IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED	
DEMOLITION REQUIREMENTS: SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L	
APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER	
APPROX. LOCATION OF HOT WATER UNIT BY METRICON	
APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER	
APPROX. LOCATION OF AIR-CONDITIONING UNIT	
2 STOREY BRICK & CLAD DUPLEX TILE ROOF NO. 100/100A	
LOCATION OF 2 X 4178L SLIMLINE ABOVE GROUND RAINWATER TANKS	
PROVIDE CONC. LANDING, STEPS & BALUSTRADE BY METRICON	
1100MM (H) DEEPEDED EDGE BEAM	
ALL TREE HEIGHTS AND SPREAD ARE APPROXIMATE ONLY AND ARE SHOWN FOR TENDER PURPOSES ONLY. ALL TREE RELATED ISSUES TO BE REFERRED TO AN ARBORIST	
APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS. NOTE: PRIOR TO ANY DESIGN AND CONSTRUCTION, A SEWER PEGOUT MUST BE UNDERTAKEN TO DETERMINE THE EXACT LOCATION OF THE SEWER LINE.	
THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.	



LOT NO: 1	
DEPOSITED PLAN: 839858	
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS:	H1
WIND SPEED:	N2
I.S.G.	
EXCAVATION NOTES: 50MM (+/-) TOLERANCE TO NOMINATED RL'S UPPER LEVEL EXCAVATE APPROX 750MM ON RL 93.250 AND FILL APPROX. 750MM LOWER LEVEL EXCAVATE APPROX 300MM ON RL 92.487 RETAIN FILL ADJACENT SIDE AND REAR BOUNDARIES WITH DEEP EDGE BEAM GARAGE LEVEL EXCAVATE APPROX 450MM ON RL 93.250 AND FILL APPROX 350MM EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY	
STORMWATER TO DRAIN TO STREET VIA RAINWATER TANK(S) REFER TO HYDRAULIC ENGINEER'S DETAILS	
TEMPORARY SITE FENCING: METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)	
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION	
SURVEY LEGEND	
ASPECT SURVEY DATE: 21.06.17	
CONTOUR INTERVALS: 200MM	
LEVELS TO: AHD	
SITE PLAN	
metricon Build E Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 www.metricon.com.au	
© COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	
MR & MS HYNDMAN LOT 1 NO.2B FROMELLES AVENUE, SEAFORTH	
JOB No: 686593	
DATE: 0107.17	DRAWN: SK
SCALE: 1:250	SHEET: 1 OF 10
UBD REF: 5YD 197 A7	

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-VEV-01**

PROVIDE RENDERED EPS CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: **S-TYP-CLAD-06**

HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY
VARY DUE TO SITE CONDITIONS

□ DENOTES WINDOWS/DOORS WITH
DECOR SATIN GLAZING

hebel® Power
WALL PANELS

PROVIDE ACRYLIC RENDER FINISH TO
HEBEL PANELS TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

'H1' CLASS SLAB

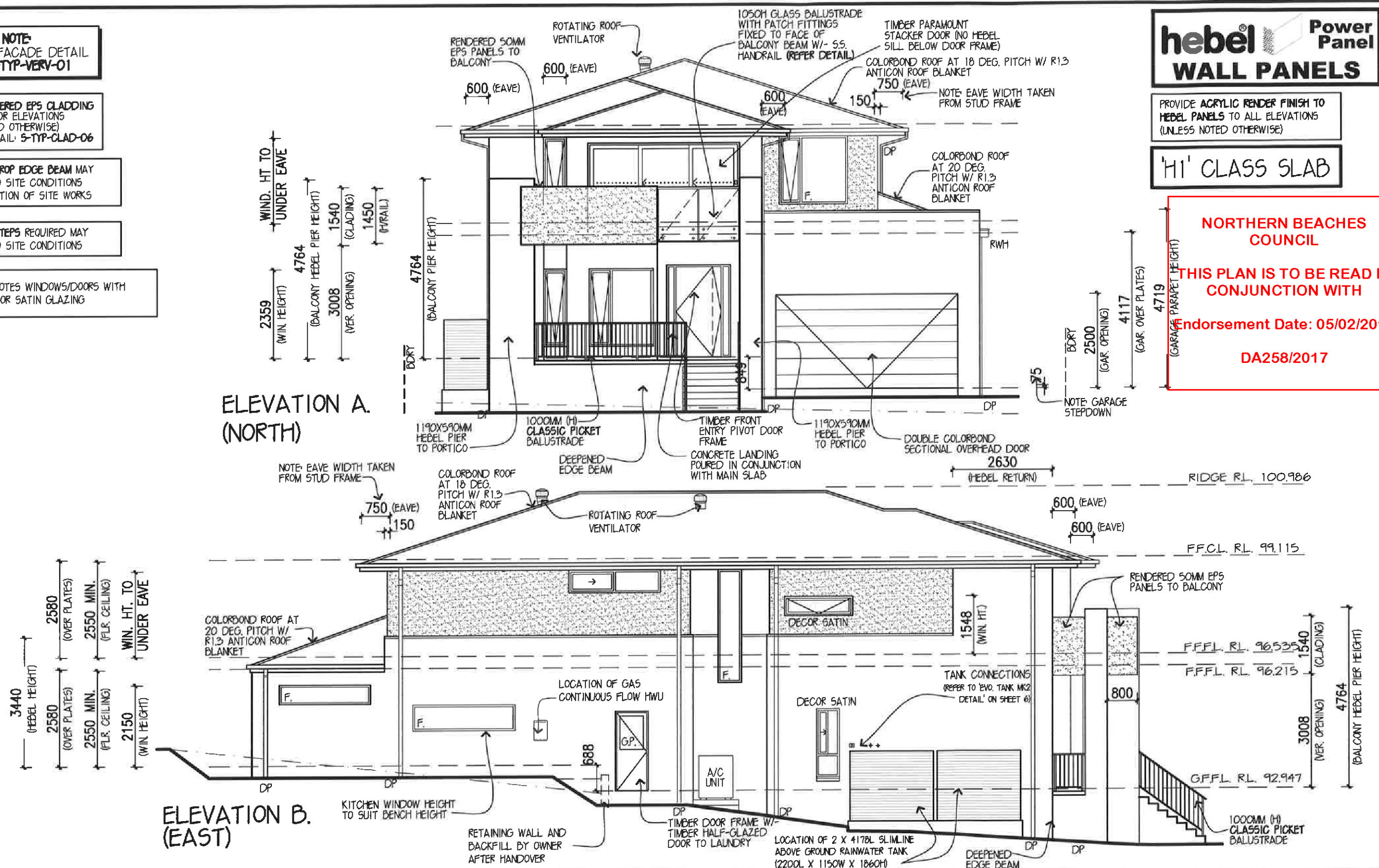
**NORTHERN BEACHES
COUNCIL**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH**

Endorsement Date: 05/02/2018

DA258/2017

**ELEVATION A.
(NORTH)**



SYMBOL LEGEND

M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
RWH	DOWNPIPE W/- RAINWATER HEAD		
DP	ROTATING ROOF VENTILATOR		

DESIGN: **LIBERTY 42**

FACADE: **VERVE** CEILING: 25, R

GARAGE: **DOUBLE** LOCATION: F

DESIGNER

m
metricon

OWNER: **MR & MS HYNDMAN**
LOT 1 NO.28 FROMELLES AVENUE,
SEAFORTH

ELEVATIONS

METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING.
UNAUTHORISED USE, REPRODUCTION OR ADAPTATION
IS FORBIDDEN AND WILL BE PROSECUTED.

BY METRICON

Bldg. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7610, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
© COPYRIGHT The ideas and the concepts contained within all
drawings and documents is the sole property of Metricon Homes

JOB No: 686593	DATE: 06.07.17
FC DATE: DD.MM.YYYY	MST VER: 16.06.2017
SCALE: 1:100 ON A3 SHEET	REVISION: —
DRAWN: SK	CHECK: -
SHEET: 4 of 10	

 DENOTES WINDOWS/DOORS WITH DECOR SATIN GLAZING

hebel®  **Power Panel**
WALL PANELS

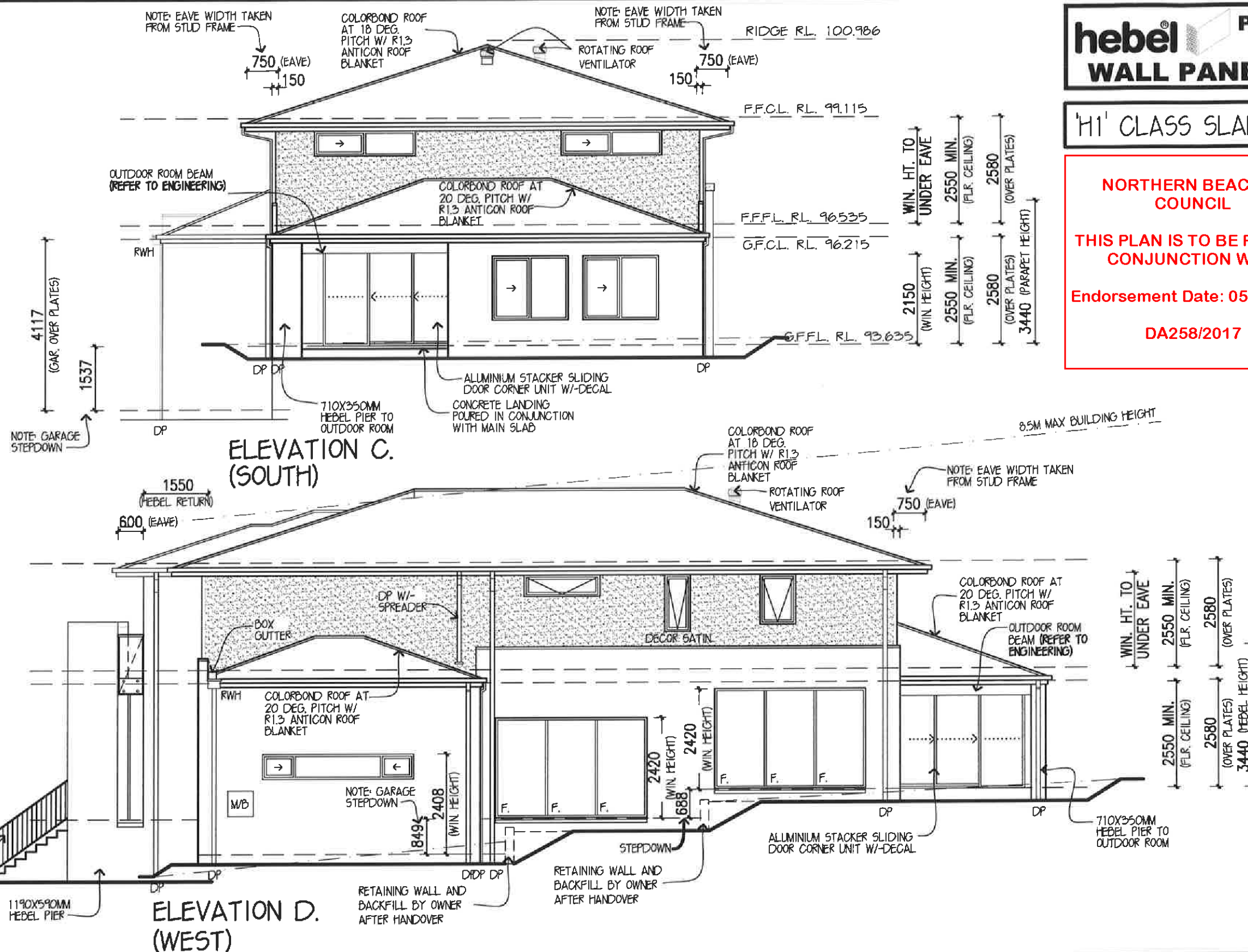
'H1' CLASS SLAB

**NORTHERN BEACHES
COUNCIL**

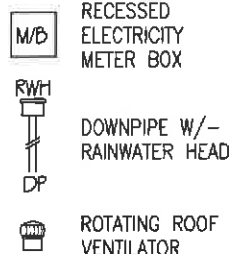
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH**

Endorsement Date: 05/02/2018

DA258/2017



SYMBOL LEGEND



ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS

DESIGN: LIBERTY 42

FACADE: **VERVE** CEILING: 25, R

GARAGE: DOUBLE LOCATION: F

DESIGNER



OWNER: MR & MS HYNDMAN
LOT 1 NO.2B FROMELLES AVENUE,
SEAFORTH

BY METRICON

JOB No: **686593**

DATE: 06.07.17

Buld. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153

FC DATE: DD.MM.YYYY MST VER: 16.06.2017

Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752

SCALE: 1:100 ON A3 SHEET	REVISION:
--------------------------	-----------

© COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Meiricon Homes

DRAWN: SK	CHECK: -	SHEET: 5 of
-----------	----------	-------------

METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING.
UNAUTHORISED USE, REPRODUCTION OR ADAPTATION
IS FORBIDDEN AND WILL BE PROSECUTED.

DRAWN: SK	CHECK: -	SHEET: 5 of 10
-----------	----------	----------------

PROVIDE WHITE ANT
TREATED FRAME
INCLUDES HB TREATED GARAGE FLOOR PLATE

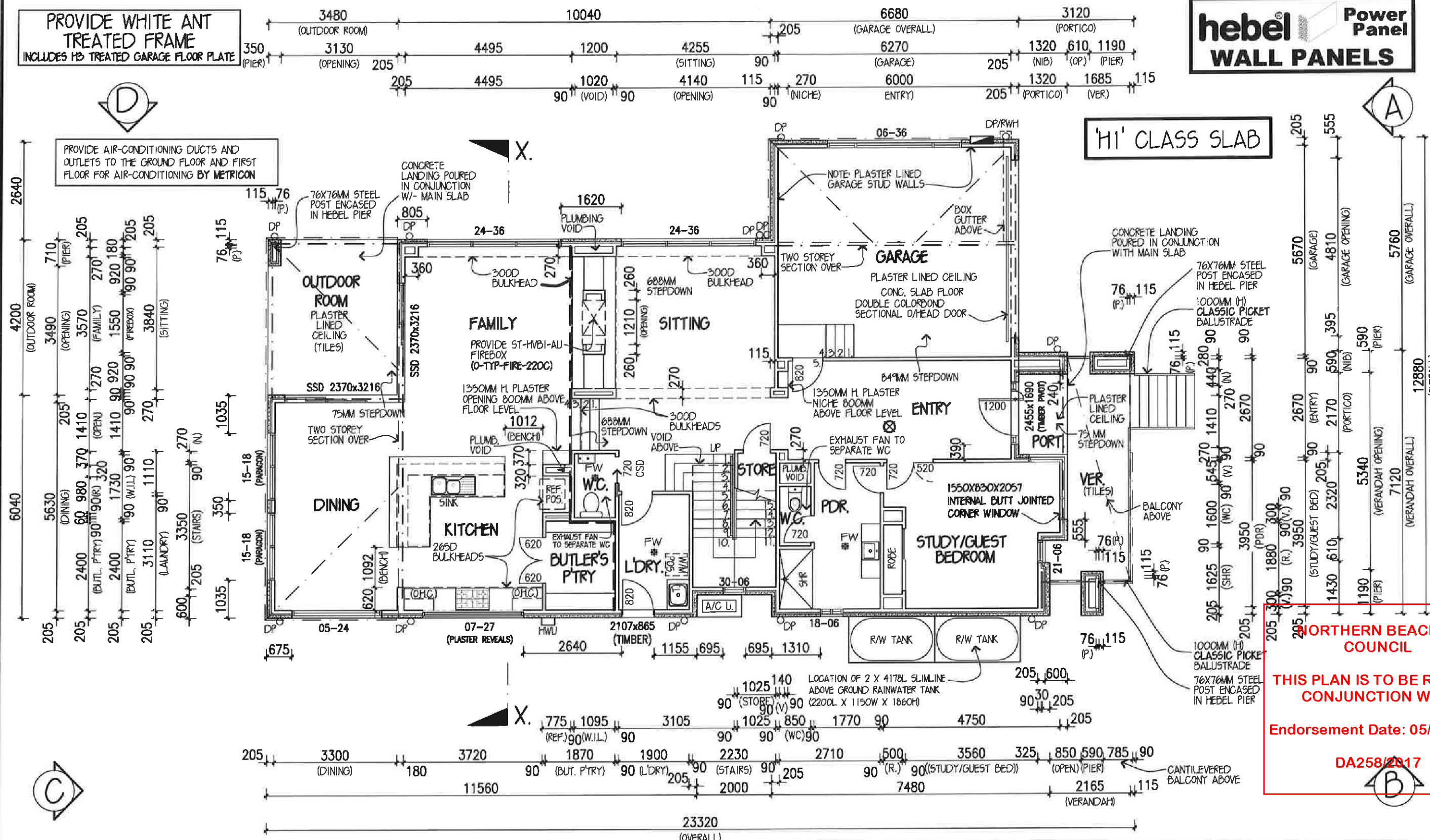


PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METRICON

hebel® Power
Panel
WALL PANELS



'H' CLASS SLAB



NORTHERN BEACHES
COUNCIL

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH

Endorsement Date: 05/02/2018

DA258/2017



SYMBOL LEGEND

- DP DOWNPIPE
90mm ROUND PVC
- DP DOWNPIPE
100x50mm RECT. C/BOND
- DP+SPR DOWNPIPE
WITH SPREADER
- RWH DOWNPIPE
WITH RAINWATER HEAD
- EXHAUST FAN
INSTALLED AS PER B.C.A. 3.8.5
& TO COMPLY WITH A.S.1696.2

- GARDEN TAP
- GAS BAYONET
- COLD WATER POINT
- FLOOR WASTE
- ELEC. METERBOX
600x600 RECESSED
- AIR COND. UNIT
- MANHOLE
FOR CEILING ACCESS

- SMOKE ALARM
APPROX. POSITION INSTALLED AS PER
N.C.C. 3.7.2 & TO COMPLY WITH AS 3786.
SMOKE ALARMS TO BE INTERCONNECTED
- ARTICULATION JOINT
WHERE ARTICULATION JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL ENGINEER'S DETAILS
- LOAD BEARING WALL
- 70mm STUD WALL
- 120mm STUD WALL

AREAS:	GARAGE:	30.50 SQM	DESIGN: LIBERTY 42
GRD FLR: 174.70 SQM	PORT/VER:	15.50 SQM	FACADE: VERVE
FIRST FLR: 177.00 SQM	OUTDOOR:	14.62 SQM	CEILING: 25, R
	BALCONY:	12.56 SQM	GARAGE: DOUBLE
			LOCATION: F
GROUND FLOOR PLAN			
SUBTOTAL: 351.70 SQM	TOTAL:	432.88 SQM	METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.
		46.60 SQM	

DESIGNER



BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
© COPYRIGHT The Ideas and the concepts contained within all
drawings and documents is the sole property of Metricon Homes

OWNER: MR & MS HYNDMAN
LOT 1 NO.2B FROMELLES AVENUE,
SEAFORTH

JOB No: 686593 DATE: 06.07.17

FC DATE: DD.MM.YYYY MST VER: 16.06.2017

SCALE: 1:100 ON A3 SHEET REVISION: —

DRAWN: SK CHECK: - SHEET: 2 of 10



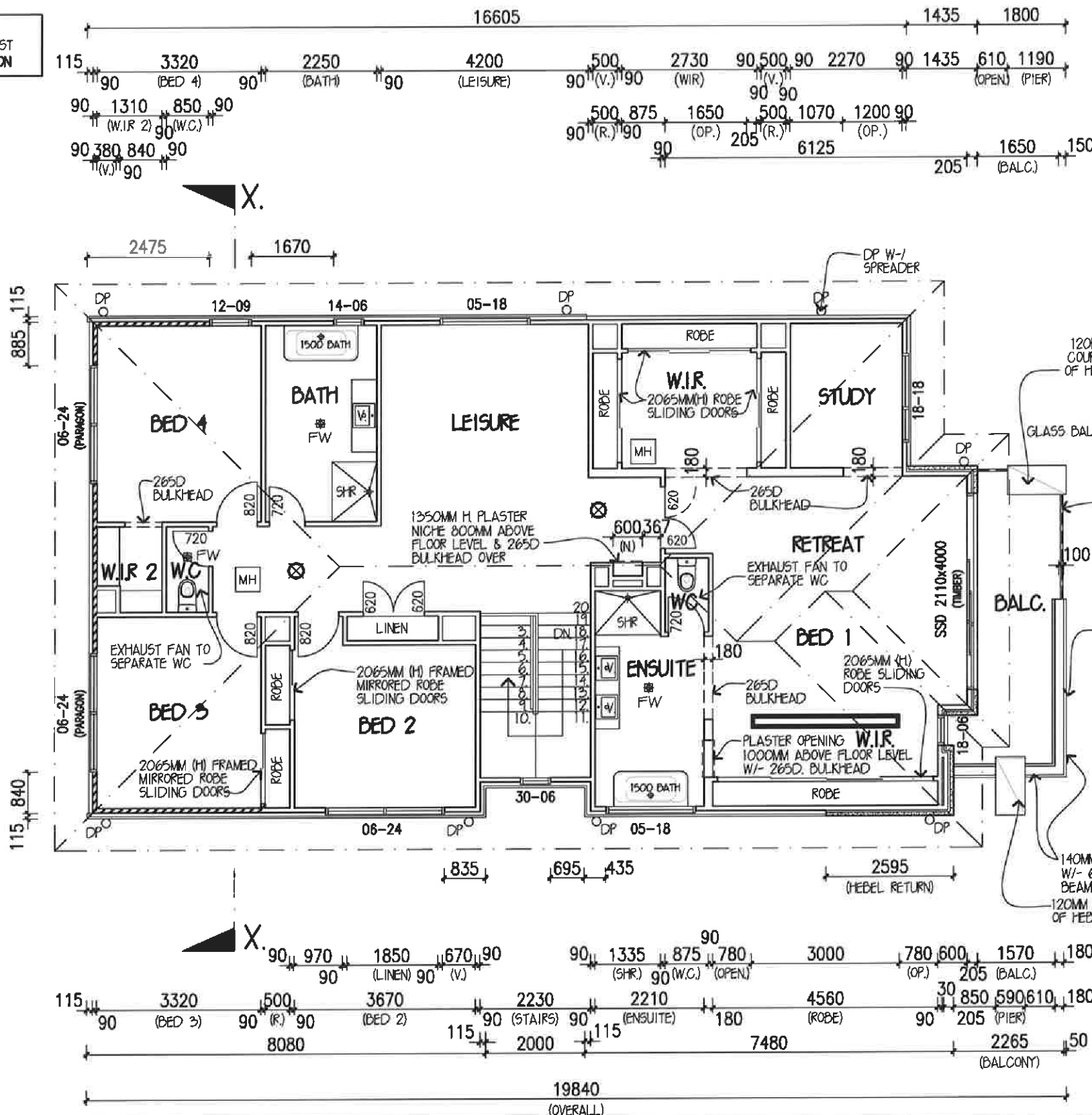
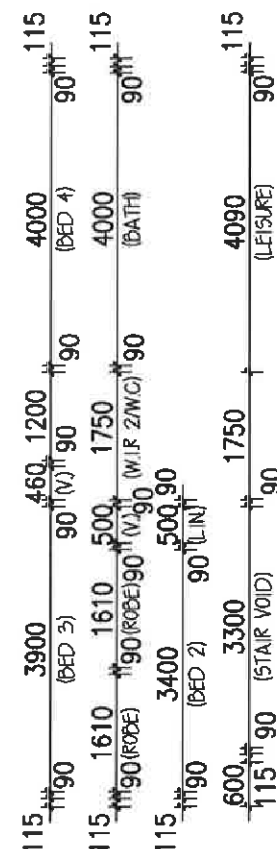
PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METRICON

hebel® Power Panel
WALL PANELS

PROVIDE WHITE ANT
TREATED FRAME
INCLUDES H3 TREATED GARAGE FLOOR PLATE



'H1' CLASS SLAB



DENOTES WALLS WITH R2.0 (70MM)
NEW GENERATION SOUNDSCREEN
ACOUSTI-THERM INSULATION BATTS



NORTHERN BEACHES
COUNCIL

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH

Endorsement Date: 05/02/2018

DA258/2017



SYMBOL LEGEND

	DOWNPIPE 90mm ROUND PVC		GARDEN TAP		SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2 & TO COMPLY WITH AS 3788. SMOKE ALARMS TO BE INTERCONNECTED
	DOWNPIPE 100x50mm RECT. C/BOND		GAS BAYONET		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE WITH SPREADER		FLOOR WASTE		LOAD BEARING WALL
	DOWNPIPE WITH RAINWATER HEAD		ELEC. METERBOX 600x600 RECESSED		70mm STUD WALL
	EXHAUST FAN INSTALLED AS PER B.C.A. 3.8.5 & TO COMPLY WITH A.S.1686.2		AIR COND. UNIT		120mm STUD WALL
			MANHOLE FOR CEILING ACCESS		

DESIGN: LIBERTY 42

FACADE: VERVE CEILING 25, R

GARAGE: DOUBLE LOCATION: F

FIRST FLOOR PLAN

METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING.
UNAUTHORISED USE, REPRODUCTION OR ADAPTATION
IS FORBIDDEN AND WILL BE PROSECUTED.

DESIGNER



BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 006 108 762
© COPYRIGHT The ideas and the concepts contained within all
drawings and documents is the sole property of Metricon Homes

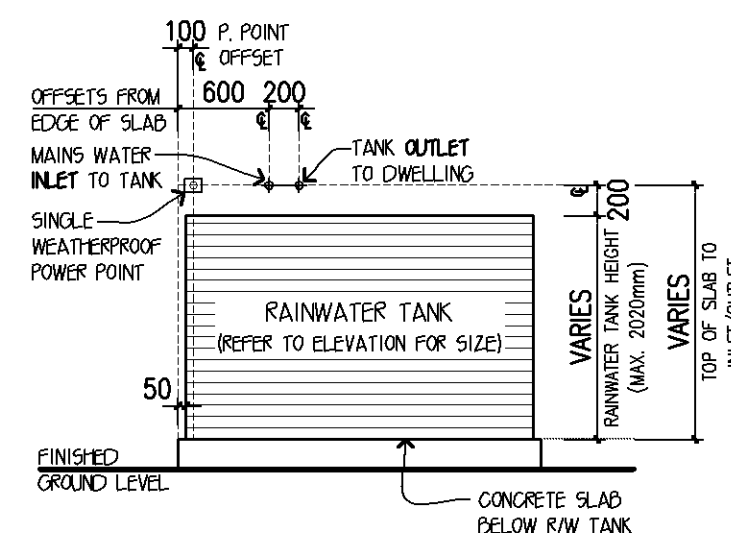
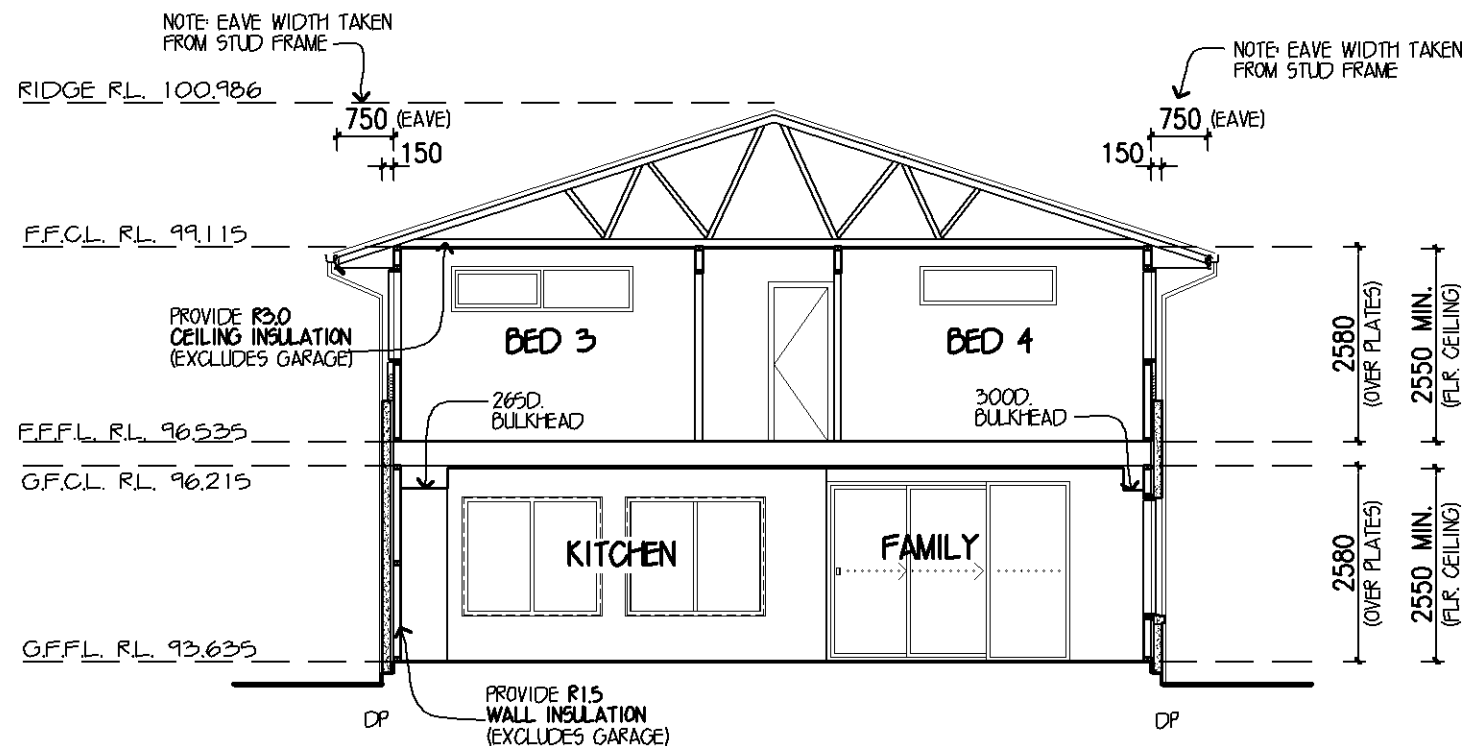
OWNER: MR & MS HYNDMAN
LOT 1 NO.2B FROMELLES AVENUE,
SEAFORTH

JOB No: 686593 DATE: 06.07.17

FC DATE: DD.MM.YYYY MST VER: 16.06.2017

SCALE: 1:100 ON A3 SHEET REVISION: —

DRAWN: SK CHECK: - SHEET: 3 of 10



ROUGH-IN POSITIONING
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

NORTHERN BEACHES COUNCIL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH

Endorsement Date: 05/02/2018

DA258/2017

SECTION X-X

AIR CONDITIONING

COOLING SYSTEM:

- TO AT LEAST ONE LIVING AREA AND ONE BEDROOM, WITH A MINIMUM ENERGY RATING OF EER 25-30

HEATING SYSTEM:

- TO AT LEAST ONE LIVING AREA AND ONE BEDROOM, WITH A MINIMUM ENERGY RATING OF EER 30-35
- DAY/NIGHT ZONING MUST BE PROVIDED BETWEEN LIVING AREAS AND BEDROOMS

PROVIDE THE FOLLOWING BASIX REQUIREMENTS:

- 3 STAR RATED SHOWER HEADS (7.5 BUT <9 L/MIN)
- 3 STAR RATED TAP FITTINGS TO BASINS AND KITCHEN TAPS
- 4 STAR TOILET FLUSHING SYSTEM
- R3.0 CEILING INSULATION
- R1.5 EXTERNAL WALL INSULATION
- KITCHEN RANGEHOOD DUCTED DIRECTLY THROUGH EXTERNAL WALL

MEDIUM EXTERNAL WALL COLOUR
DARK EXTERNAL ROOF COLOUR

OWNER TO PROVIDE THE FOLLOWING ARTIFICIAL LIGHTING:

- FLUORESCENT OR LED LIGHTING TO AT LEAST:
 - ALL BATHROOMS/TOILETS, LAUNDRY AND ALL HALLWAYS

RAINWATER TANK MUST CONNECT TO ALL TOILETS IN THE DEVELOPMENT, WATER TAP THAT SUPPLIES WASHING MACHINE AND ONE GARDEN TAP

HOT WATER SYSTEM:

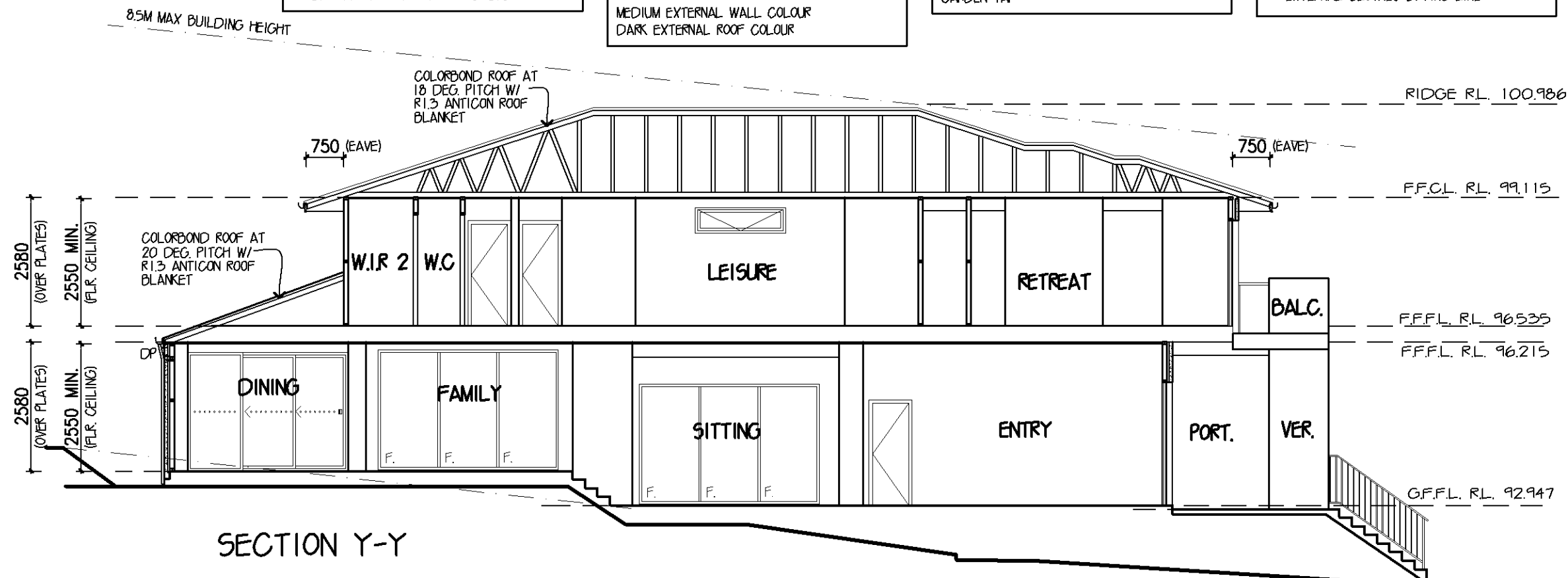
- GAS CONTINUOUS FLOW, WITH PERFORMANCE OF 5 STARS

COOKING:

- GAS COOKTOP WITH ELECTRIC OVEN

OWNER TO PROVIDE THE FOLLOWING BASIX REQUIREMENTS:

- WEATHER SEALS/STRIPS TO EXTERNAL HINGED DOORS
- EXTERNAL CLOTHES DRYING LINE



PROVIDE WHITE ANT TREATED FRAME
INCLUDES H3 TREATED GARAGE FLOOR PLATE

PROVIDE P35 CONTROL JOINT TO STAIRWELL

PROVIDE ALUMINIUM FRAMED FLYSCREENS WITH BLACK FIBREGLASS MESH TO:
• ALL OPENABLE WINDOWS

PROVIDE 2340MM (H) INTERNAL DOORS THROUGHOUT (EXCLUDING SLIDING ROBE DOORS & GARAGE INTERNAL ACCESS DOOR)

hebel Power Panel
WALL PANELS

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS TO THE GROUND FLOOR AND FIRST FLOOR FOR AIR-CONDITIONING BY METRICON

'H1' CLASS SLAB

DESIGN: LIBERTY 42

FACADE: VERVE CEILING: 25, R

GARAGE: DOUBLE LOCATION: F

SECTION

METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.

DESIGNER **m**
metricon

BY: METRICON

Build: E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
© COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes

OWNED BY: MR & MS HYNDMAN
LOT 1 NO.28 FROMELLES AVENUE,
SEAFORTH

JOB No: 686593 DATE: 06.07.17

FC DATE: DD.MM.YYYY MST VER: 16.06.2017

SCALE: 1:100 ON A3 SHEET REVISION: —

DRAWN: SK CHECK: - SHEET: 6 of 10

