

SITE

1. VERGOLA ADDED
2. MINOR DIMENTIONAL CHANGES TO THE POOL

MODIFIED WORKS

BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA

DEVELOPMENT DATA

SITE AREA	905.8m ²
DWELLING GFA	
- LOWER GROUND	80.1m ²
- GROUND	224.7m ²
- LEVEL 1	149.9m ²
TOTAL GFA	454.7m ²
GARAGE	47.4m ²
ENTRYWAY	10.9m ²
OBSERVATORY DECK	55.7m ²
BALCONY	25.5m ²
SUB FLOOR AREA	160.5m ²

Notes

Rev. No.	Date	Revision	Auth'd
A	2/6/22	ISSUE FOR S4.55	PJH
B	28/7/22	ISSUE FOR S4.55	FP

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Registered Architect - 2384
Tim Zuber

Project

**S4.55 APPLICATION
ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094**

Drawing title

SITE PLAN

Scale at A1 1:100
Scale at A3 1:200

Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By

LB

Checked By

PH

Project Number

18_0505 DA-A-050 B

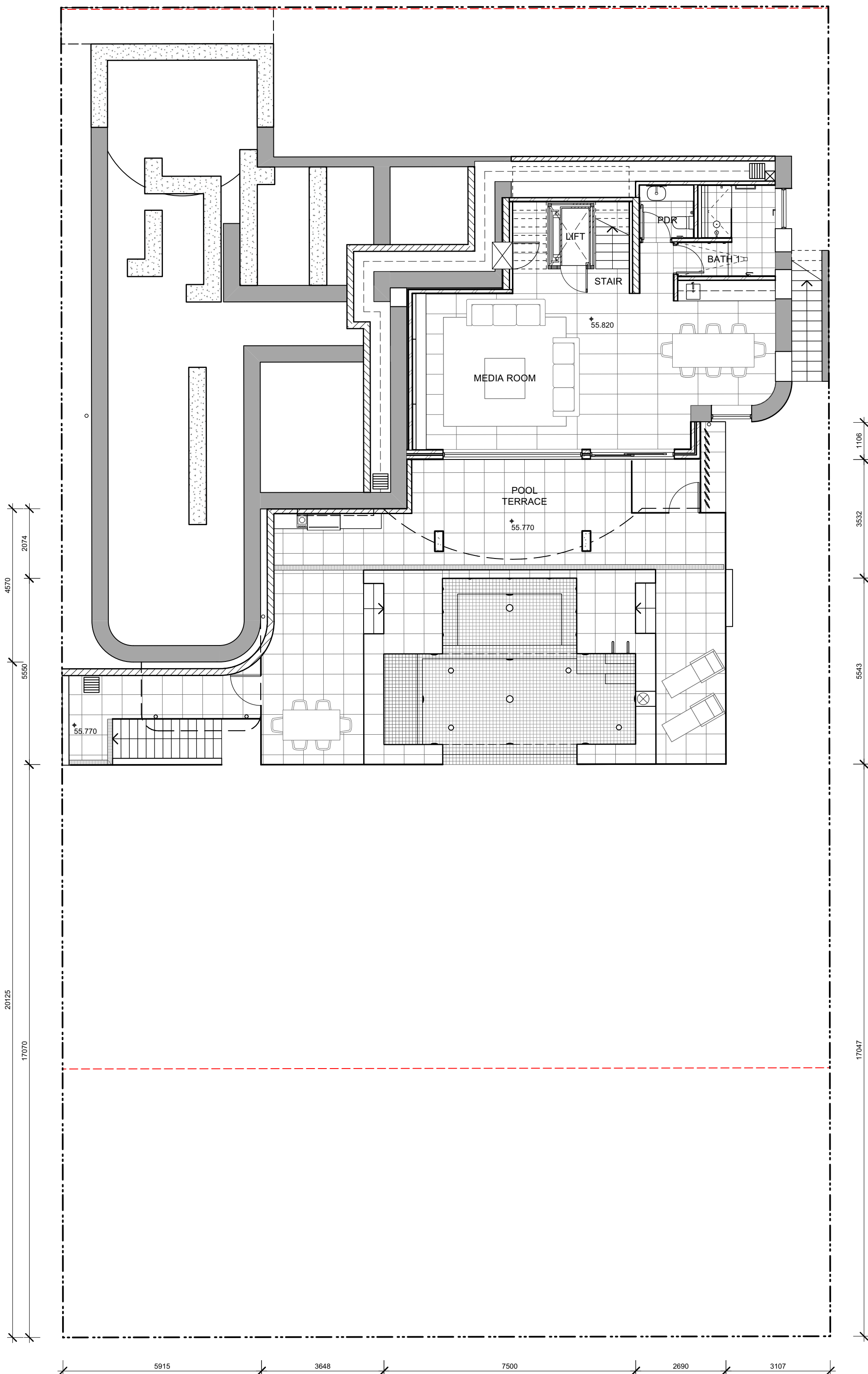
Drawing Number

S4.55 APPLICATION

Rev

**S4.55
APPLICATION**

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01 DA APPROVED - LOWER LEVEL PLAN
scale 1:100

- LOWER LEVEL PLAN**
1. INTERNAL LAYOUT CHANGE
 2. LIFT MOTOR ROOM ADDED
 3. MINOR WINDOW MODIFICATION
 4. WINDOW DIMENSION MODIFICATION

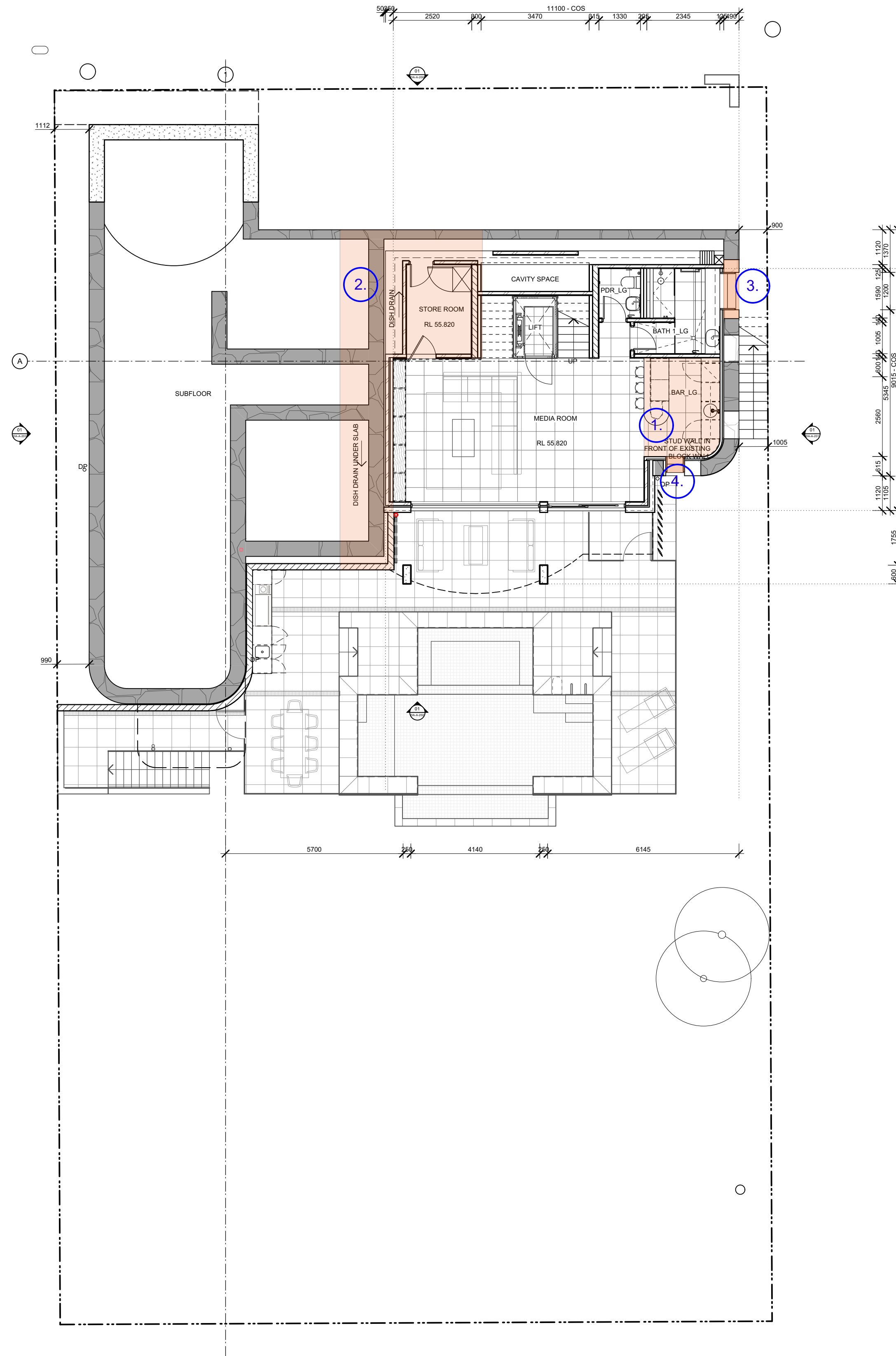
MODIFIED WORKS

northern
beaches
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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2022/0443

BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA



02 S4.55 - LOWER LEVEL PLAN
scale 1:100

Notes

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**S4.55 APPLICATION
ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094**

Drawing title

LOWER LEVEL PLAN

Scale at A1 1:50
Scale at A3 1:100
0mm 500 1m 2.5 4

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LB

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Project Number Drawing Number Rev

18_0505 DA-A-099 B

**S4.55
APPLICATION**

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1. WINDOW REMOVED
2. INTERNAL RECONFIGURATIONS
3. MINOR ADJUSTMENT TO THE STAIR, WINDOW REMOVED
4. NEW DOOR
5. FULL HEIGHT SLIDING DOOR
6. WINDOW MODIFIED
7. WINDOW REMOVED AND DOOR MOVED
8. WINDOW DIMENSIONS MODIFIED
9. MINOR UPDATE TO WINDOW

BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA



A TAP LOCATED WITHIN 10m OF THE SWIMMING POOL
MUST BE CONNECTED TO THE RAINWATER TANK



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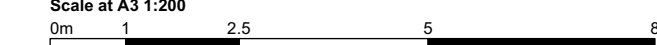
Project

**S4.55 APPLICATION
ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094**

Drawing title

GROUND LEVEL PLAN

Scale at A1 1:100
Scale at A3 1:200



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Drawn By
LR

22

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PH

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Project Number:

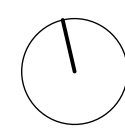
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Rev

18_0505 DA-A-100 B

S4.55 APPLICATION

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**S4.55 APPLICATION
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33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094**

Drawing title

LEVEL 1

Scale at A1 1:100
Scale at A3 1:200

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Drawn By
LB

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Project Number
18_0505

Drawing Number
DA-A-101

Rev
B

18_0505 DA-A-101 B

**S4.55
APPLICATION**

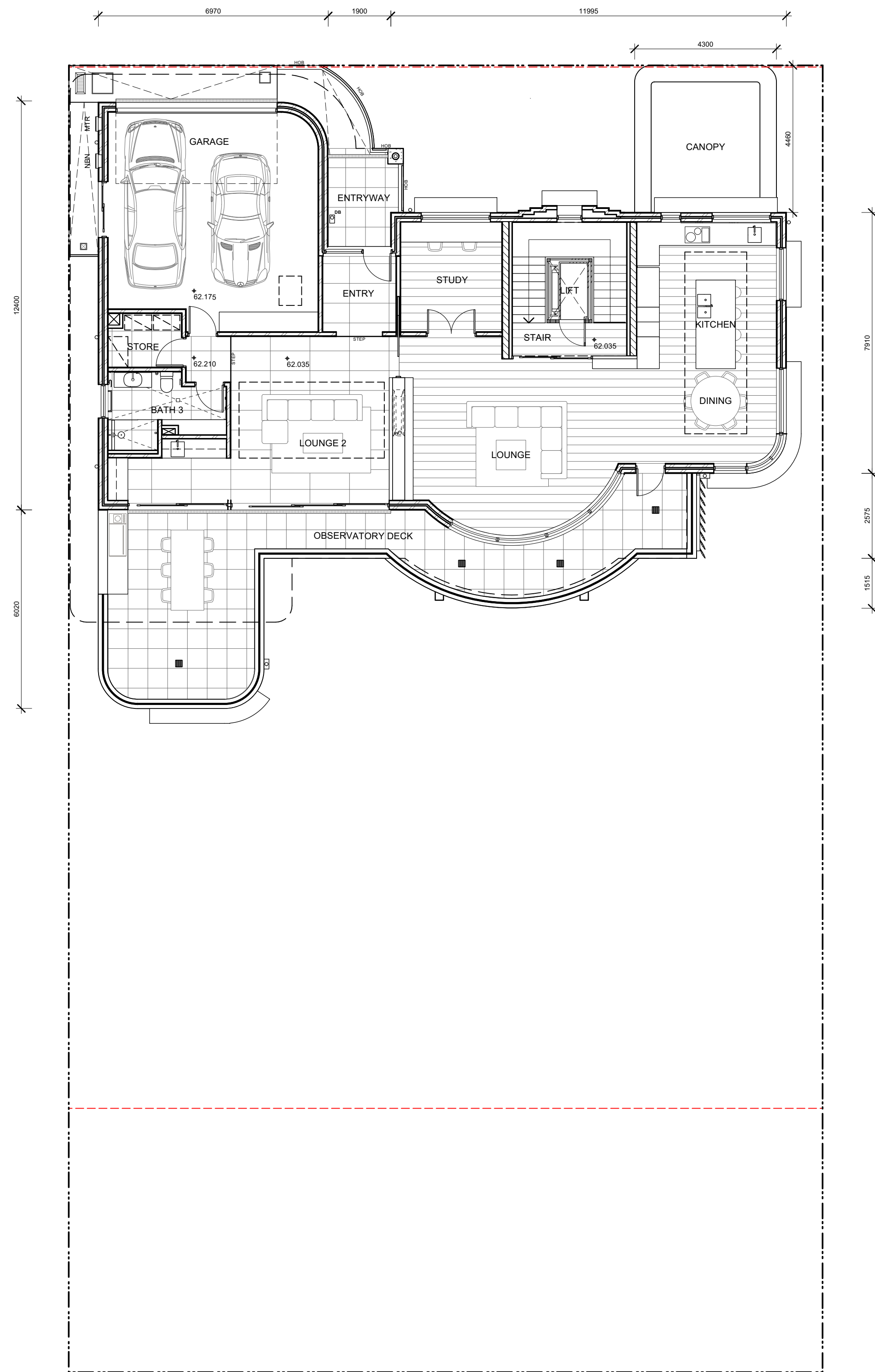
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LEVEL 1 PLAN

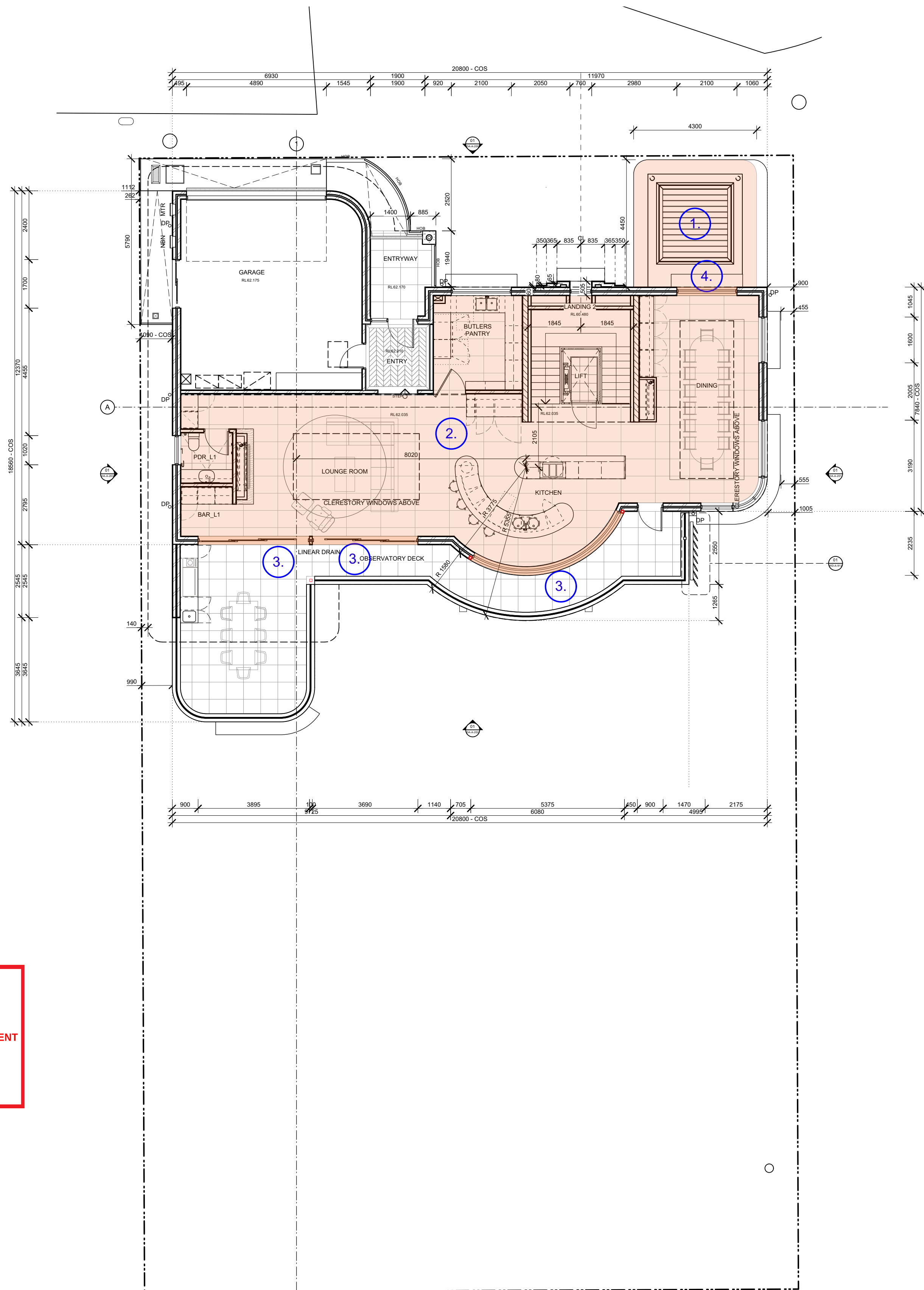
1. VERGOLA ADDED
2. INTERNAL RECONFIGURATIONS
3. WINDOW HEIGHT CHANGE
4. WINDOW MODIFICATION

MODIFIED WORKS

BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA



01 DA APPROVED - LEVEL 1 PLAN
scale 1:100



02 S4.55 - LEVEL 1 PLAN
scale 1:100

 northern
beaches
council

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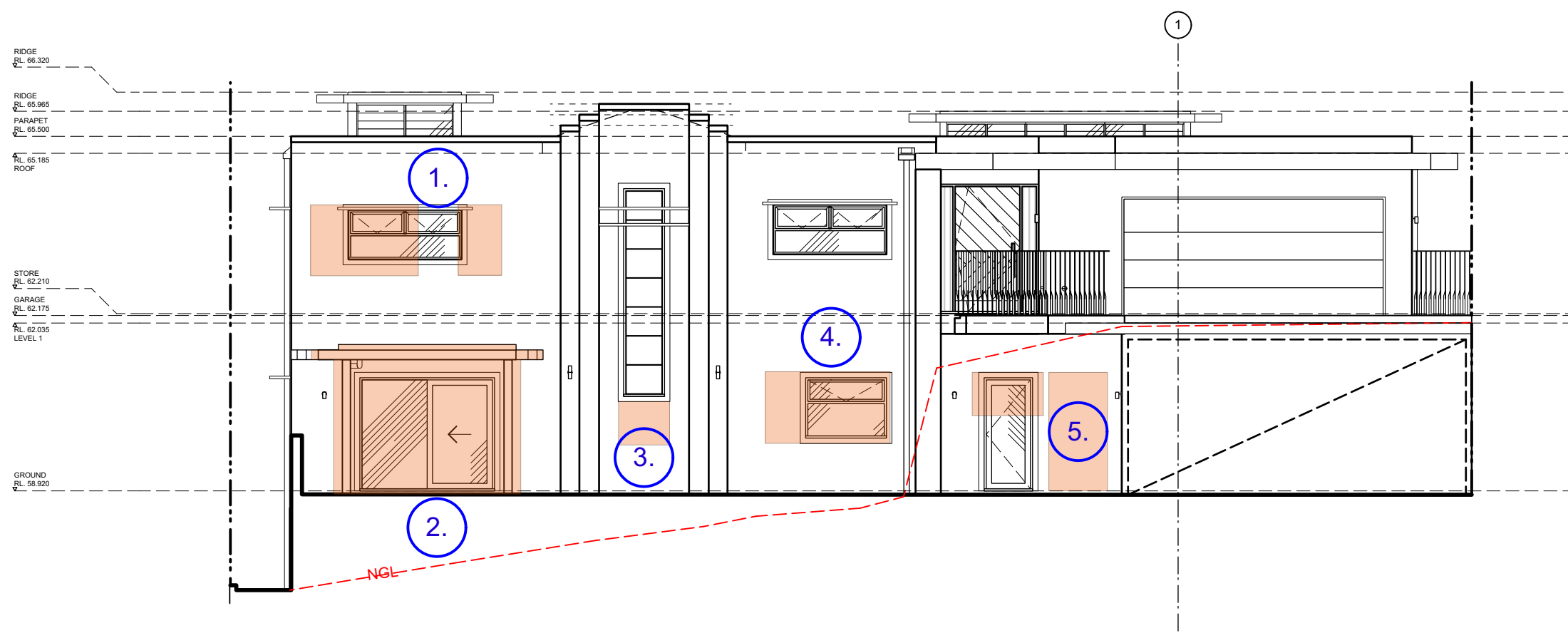
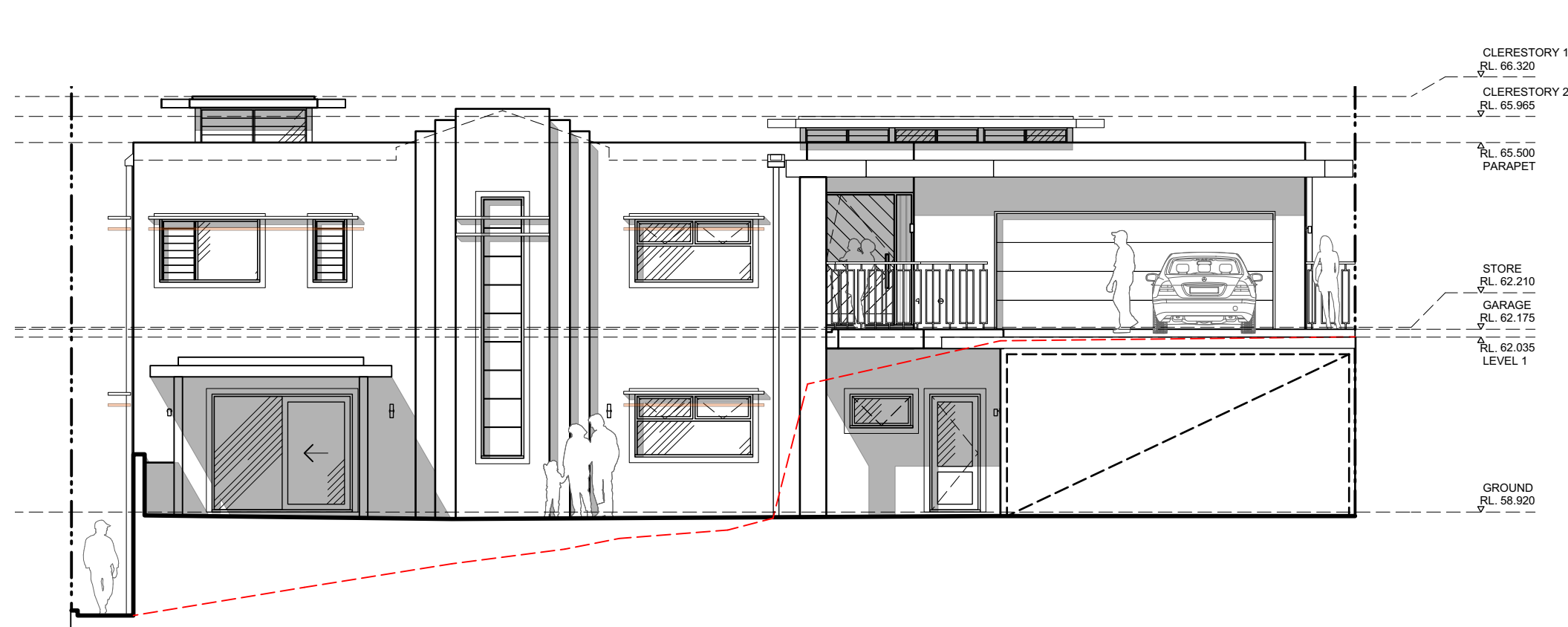
MOD2022/0443

ELEVATIONS

1. MINOR CHANGE TO
2. WINDOW MODIFICATION AND VERGOLA CREATED
3. WINDOW DELETED ON GROUND FLOOR LEVEL
4. WINDOW DIMENSION MODIFIED
5. WINDOW REMOVED AND DOOR MOVED
6. MINOR MODIFICATIONS TO THE POOL
7. MINOR WINDOW MODIFICATION
8. HANDRAIL DESIGN MODIFIED

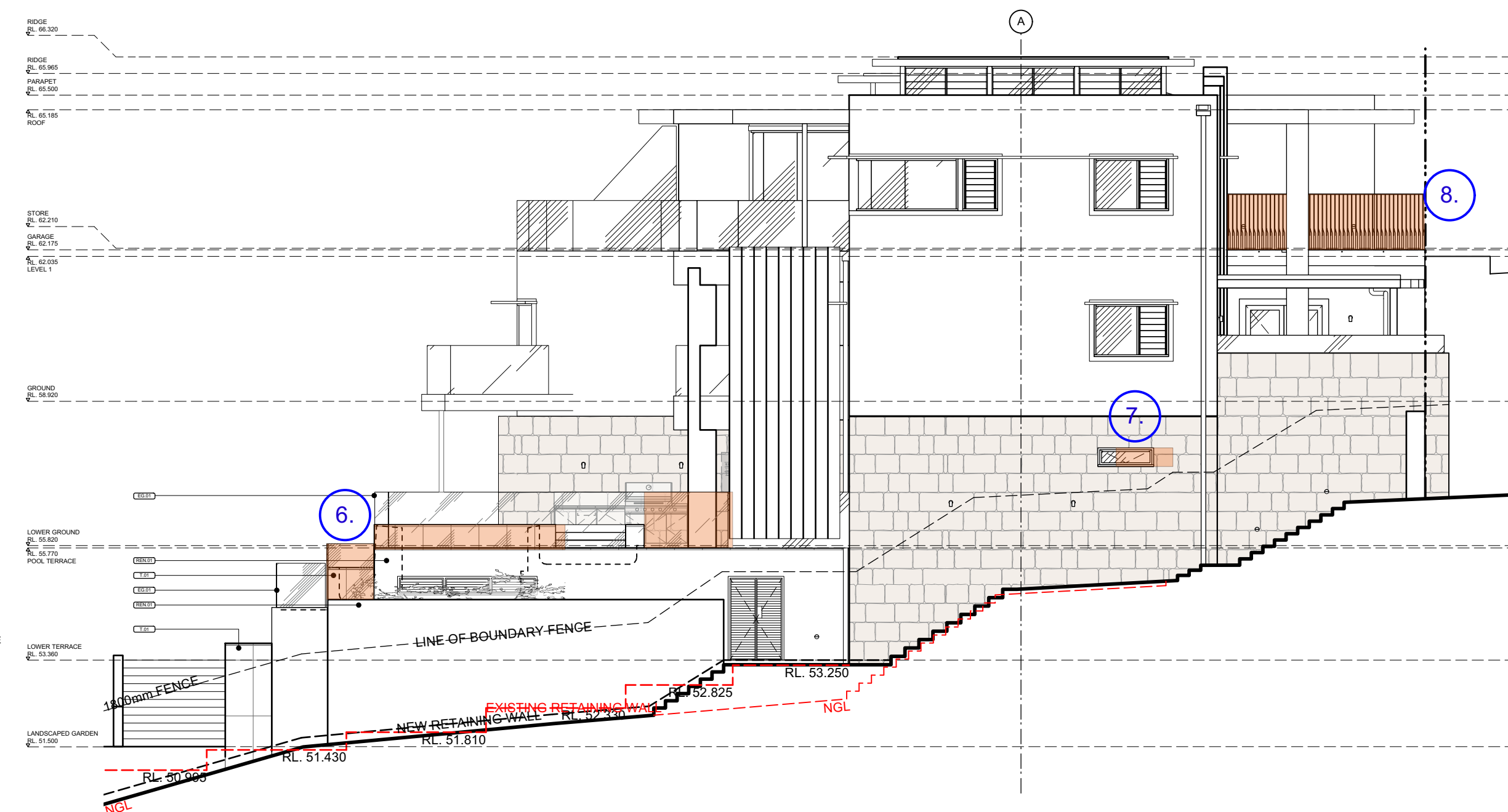
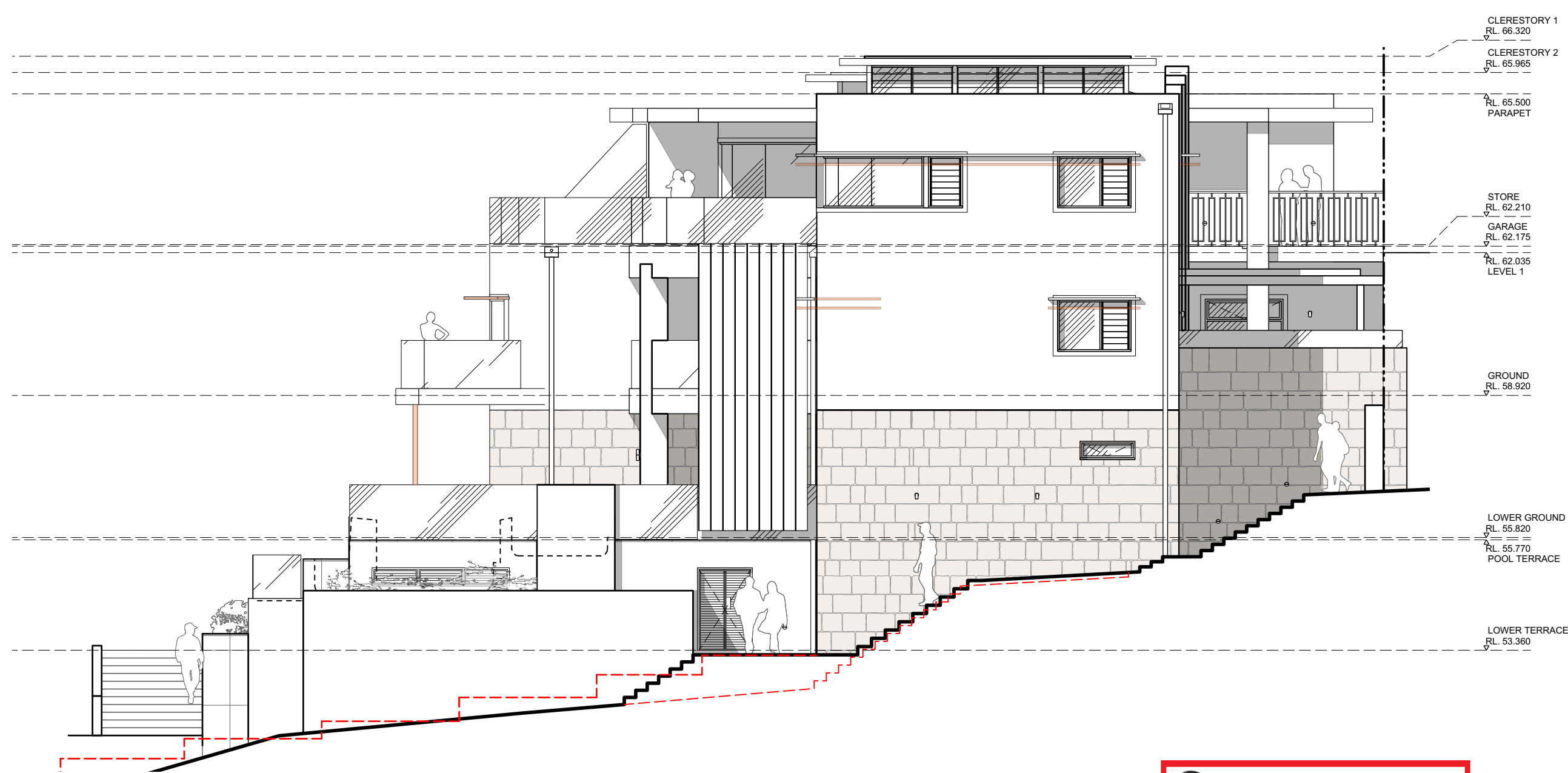
MODIFIED WORKS

BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA



01 DA APPROVED - NORTH ELEVATION
scale 1:50

02 S4.55 - NORTH ELEVATION
scale 1:50



03 DA APPROVED - EAST ELEVATION
scale 1:50

04 S4.55 - EAST ELEVATION
scale 1:50

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094

Drawing title

BUILDING ELEVATION
SHEET 1

Scale at A1 1:100
Scale at A3 1:200

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Drawn By LB Checked By PH
Project Number Drawing Number Rev

18_0505 DA-A-200 B

S4.55
APPLICATION

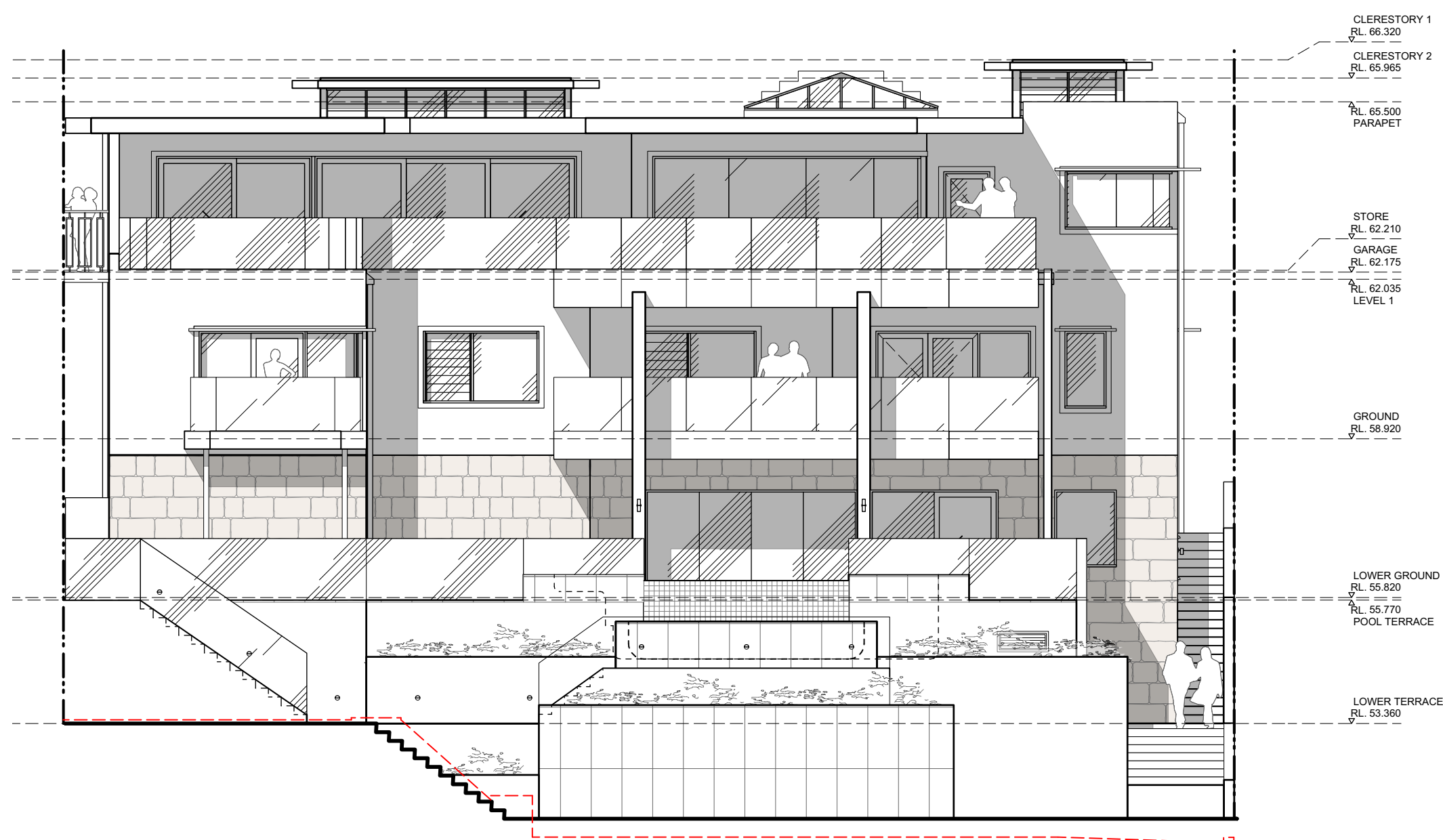
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ELEVATIONS

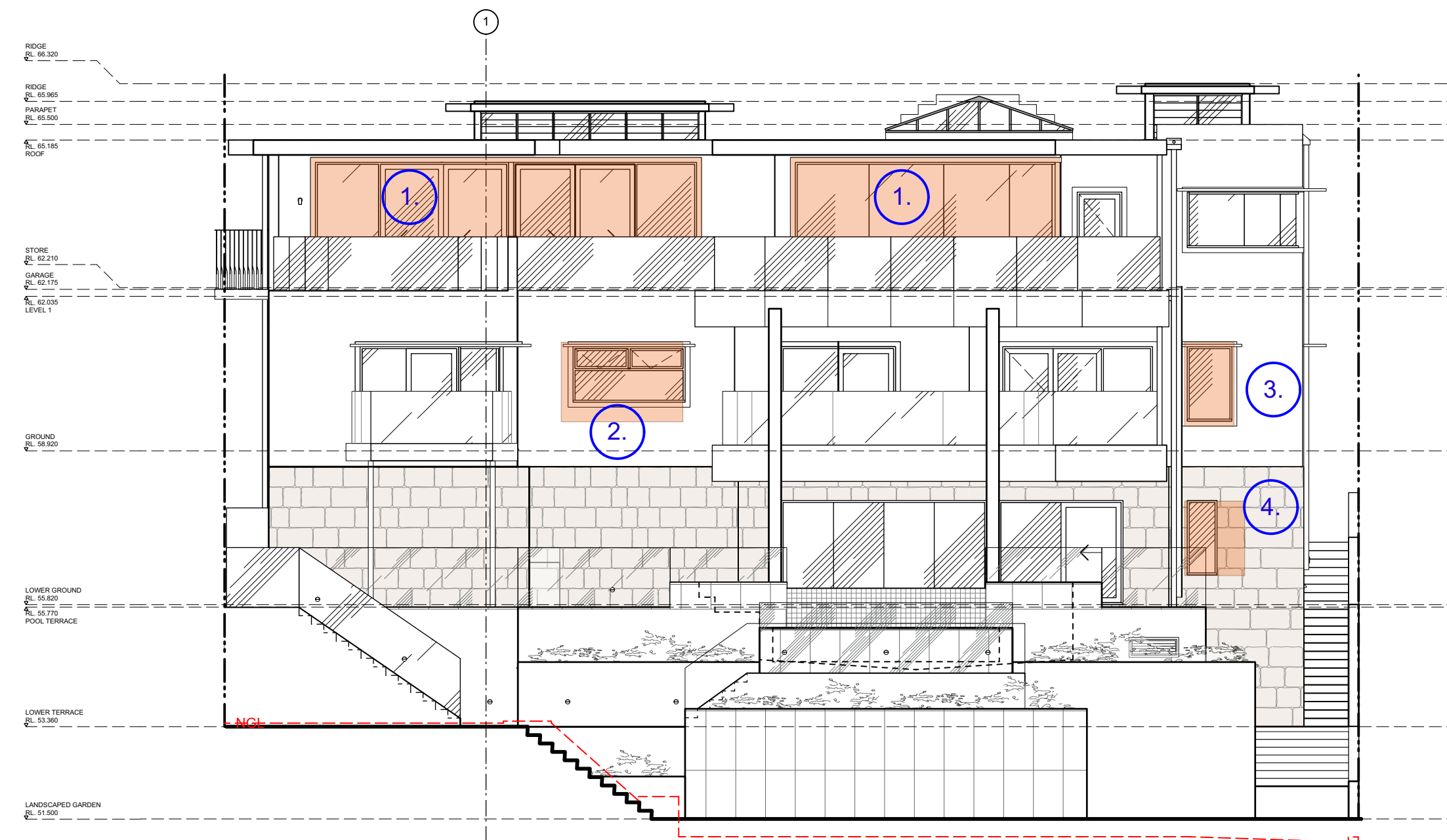
1. WINDOW HEIGHT CHANGE
2. MINOR UPDATE TO WINDOW
3. MINOR UPDATE TO WINDOW DIMENSION
4. WINDOW DIMENSION MODIFICATION
5. WINDOW DELETED

MODIFIED WORKS

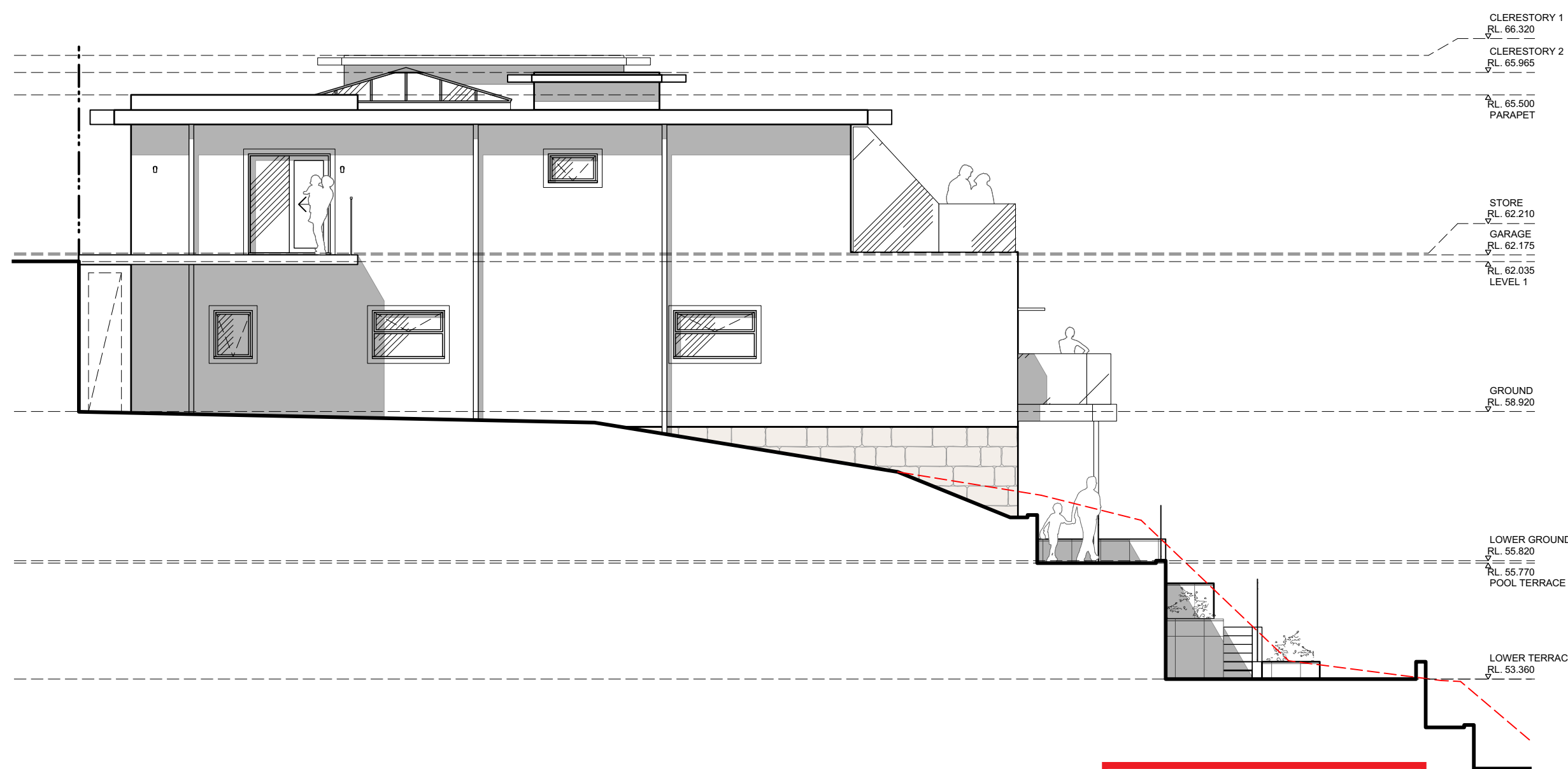
BUILDING SETBACKS UNCHANGED
LANDSCAPING UNCHANGED SINCE LAST APPROVED DA



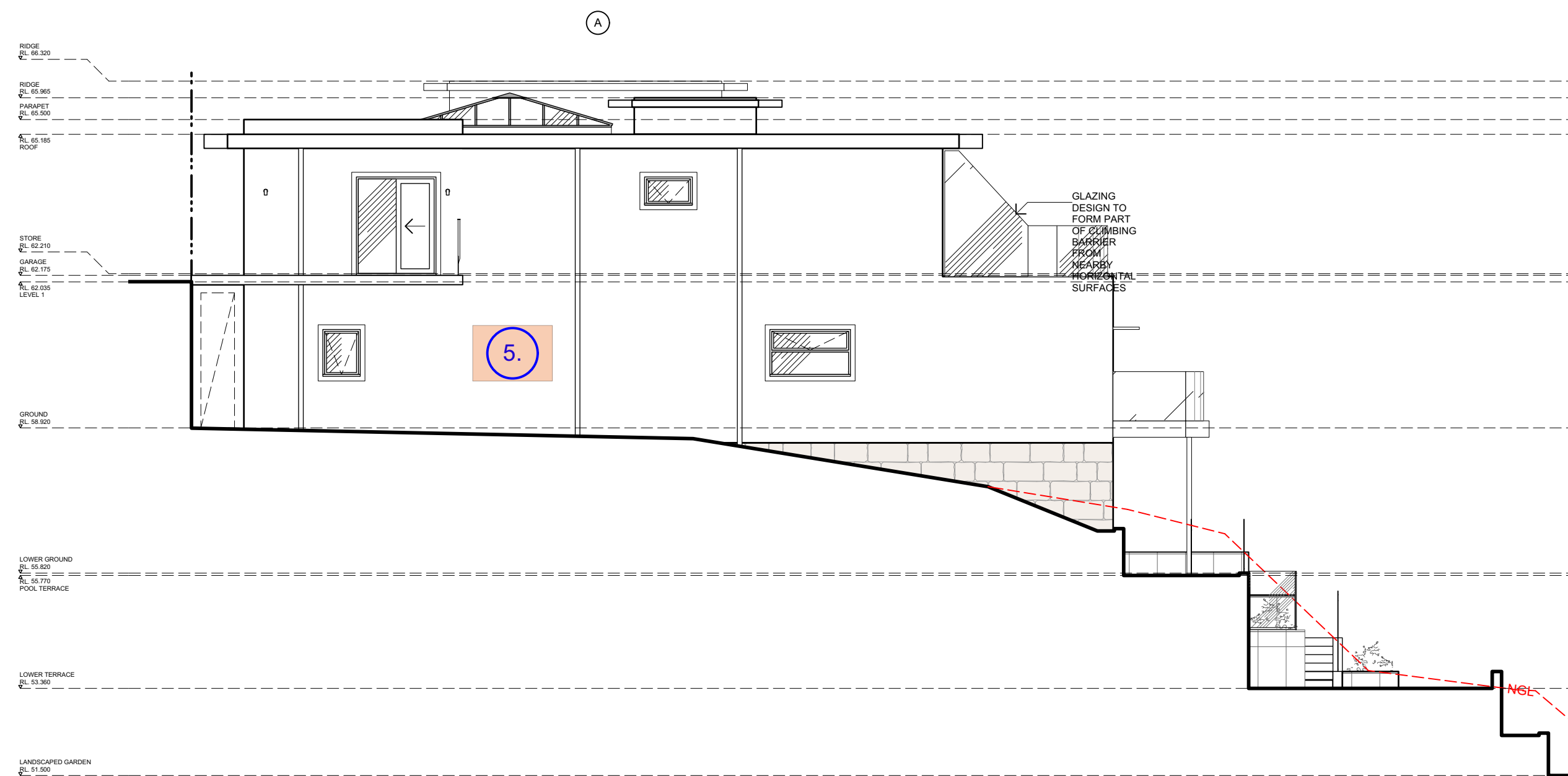
01 DA APPROVED - SOUTH ELEVATION
scale 1:50



02 S4.55 - SOUTH ELEVATION
scale 1:50



03 DA APPROVED - WEST ELEVATION
scale 1:50



04 S4.55 - WEST ELEVATION
scale 1:50

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT NSW 2094**

Drawing title

**BUILDING ELEVATION
SHEET 2**

Scale at A1 1:100
Scale at A3 1:200

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Drawn By
LB

Checked By
PH

Project Number

Drawing Number

Rev

18_0505 DA-A-201 B

**S4.55
APPLICATION**

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