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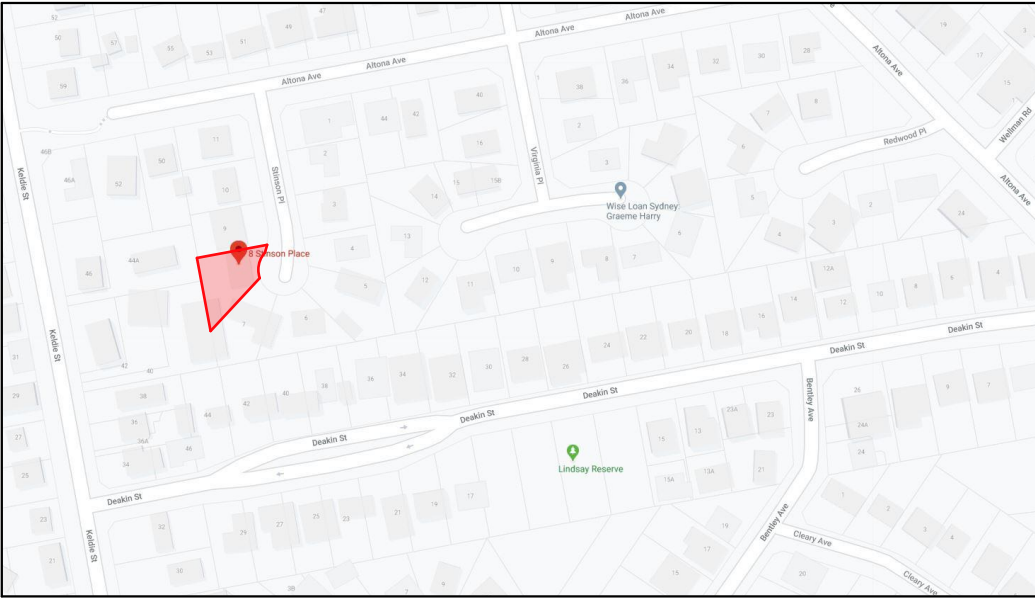
DEVELOPMENT APPLICATION

These plans are for Development Approval only.

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	01/06/2020
DA01	SITE ANALYSIS	01/06/2020
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	01/06/2020
DA03	EXISTING LOWER GROUND FLOOR PLAN	01/06/2020
DA04	EXISTING GROUND FLOOR PLAN	01/06/2020
DA05	EXISTING FIRST FLOOR PLAN	01/06/2020
DA06	PROPOSED LOWER GROUND FLOOR PLAN	01/06/2020
DA07	PROPOSED GROUND FLOOR PLAN	01/06/2020
DA08	PROPOSED FIRST FLOOR PLAN	01/06/2020
DA09	NORTH / EAST ELEVATION	01/06/2020
DA10	SOUTH ELEVATION	01/06/2020
DA11	WEST ELEVATION	01/06/2020
DA12	LONG SECTION	01/06/2020
DA13	CROSS SECTION	01/06/2020
DA14	DRIVEWAY PLAN / SECTION	01/06/2020
DA15	AREA CALCULATIONS	01/06/2020
DA16	SAMPLE BOARD	01/06/2020
DA17	WINTER SOLSTICE 9 AM	01/06/2020
DA18	WINTER SOLSTICE 12 PM	01/06/2020
DA19	WINTER SOLSTICE 3 PM	01/06/2020
DA20	BASIX COMMITMENTS	01/06/2020

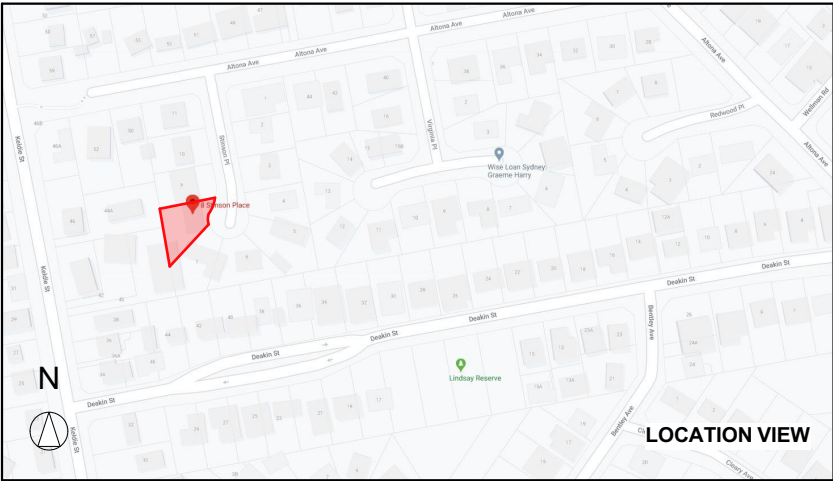
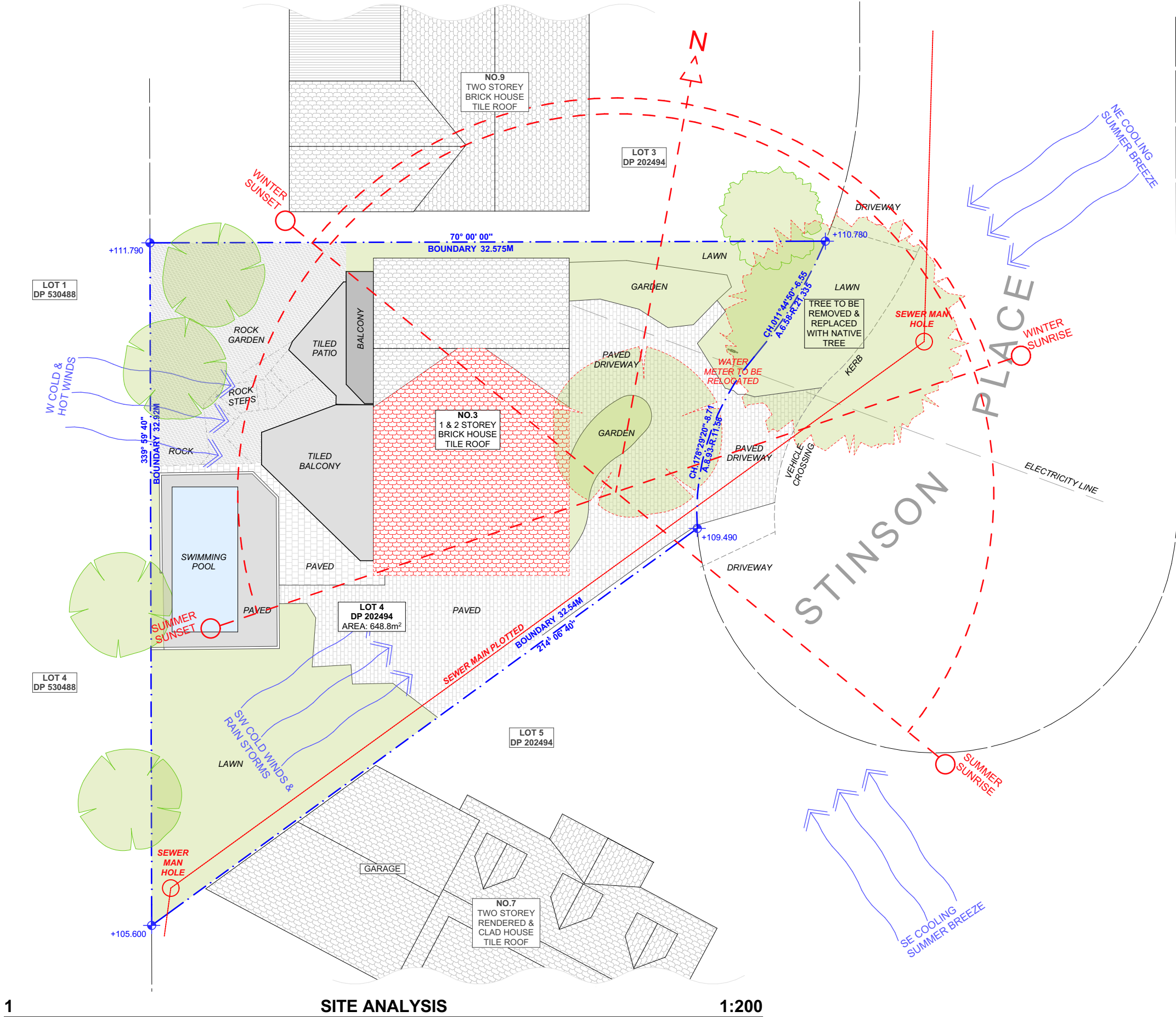
ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	8 STINSON PLACE, FORESTVILLE NSW 2087			
LOT & DP/SP	LOT 4 DP 202494			
COUNCIL	NORTHERN BEACHES COUNCIL (WARRINGAH)			
SITE AREA	648.8m²			
FRONTAGE	IRREGULAR			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m²	648.8m²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFEID	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	9.313m	9.485m	NO (EXISTING)
HAZARDS				
DEVELOPMENT ON SLOPING LAND	LANDSLIP RISK MAP: AREA A – SLOPES LESS THAN 5 DEGREES AREA B – FLANKING SLOPES FROM 5 TO 25 DEGREES			PLEASE READ IN CONJUNCTION WITH STATEMENT OF ENVIRONMENTAL EFFECTS
DCP				
WALL HEIGHT	7.2m	6.776m	8.083m	NO
NUMBER OF STOREYS	NOT IDENTIFEID	N/A	N/A	N/A
SIDE BOUNDARY ENVELOPE	4m			
SIDE BOUNDARY SETBACKS	0.9m	N: 1.465m S: 2.572m	N CARPORT: 0.65m N / S: UNCHANGED	YES
FRONT BOUNDARY SETBACK	6.5m	6.737m	5.230m CARPORT: 1.843m	YES
REAR BOUNDARY SETBACK	6.0m	10.031m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (259.52m²)	39% (256.13m²)	39% (250.15m²)	NO (EXISTING)
PRIVATE OPEN SPACE	60m²	82.5m²	UNCHANGED	YES

8 STINSON PLACE, FORESTVILLE NSW 2087



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009



1

SITE ANALYSIS

1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

- SOFT LANDSCAPE
- HARD LANDSCAPE
- PROPOSED
- EXISTING
- DEMOLISHED

EX. DP. EXISTING DOWNPIPE
PROP. DP. PROPOSED DOWNPIPE

CLIENT
ROB & TASHA SMITHIES

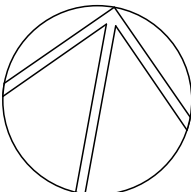
PROJECT ADDRESS
8 STINSON PLACE,
FORESTVILLE NSW 2087

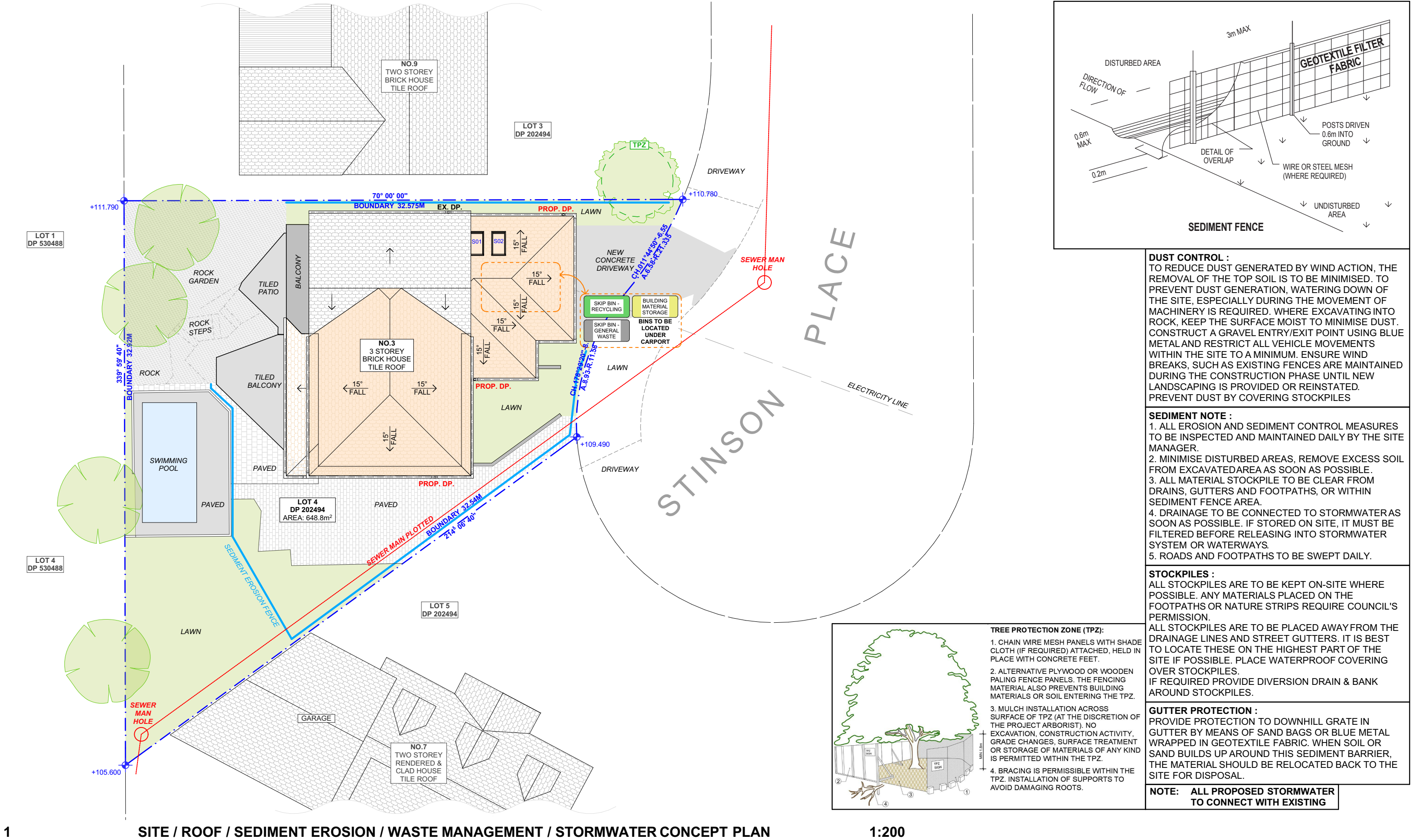
DRAWING NO.
DA01

DATE
01 June 2020

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3

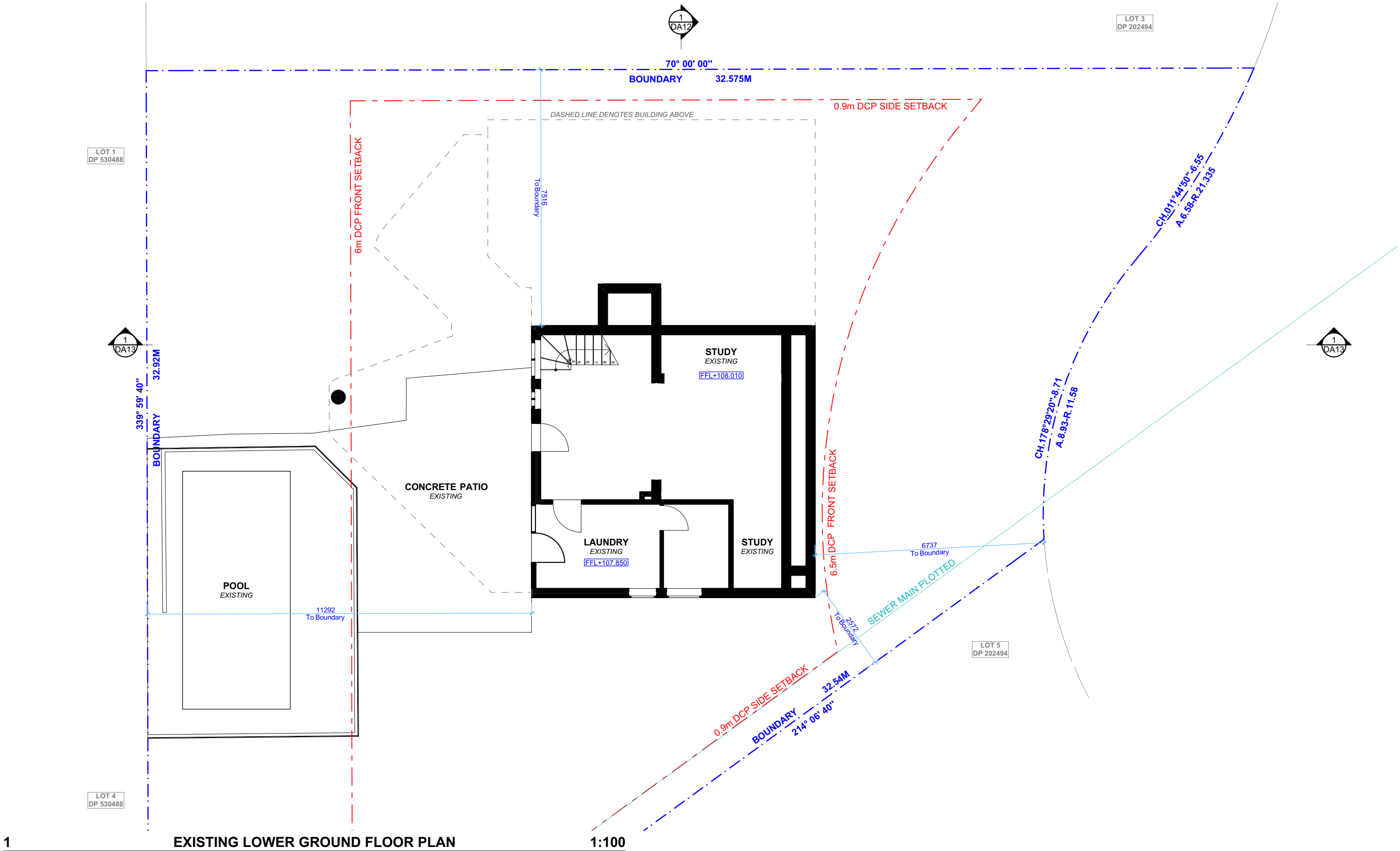




1

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

1:200



1

EXISTING LOWER GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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EXISTING

PROPOSED

DEMOLISHED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
FORESTVILLE NSW 2087

DRAWING NO.

DA03

DATE

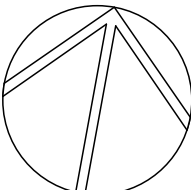
01 June 2020

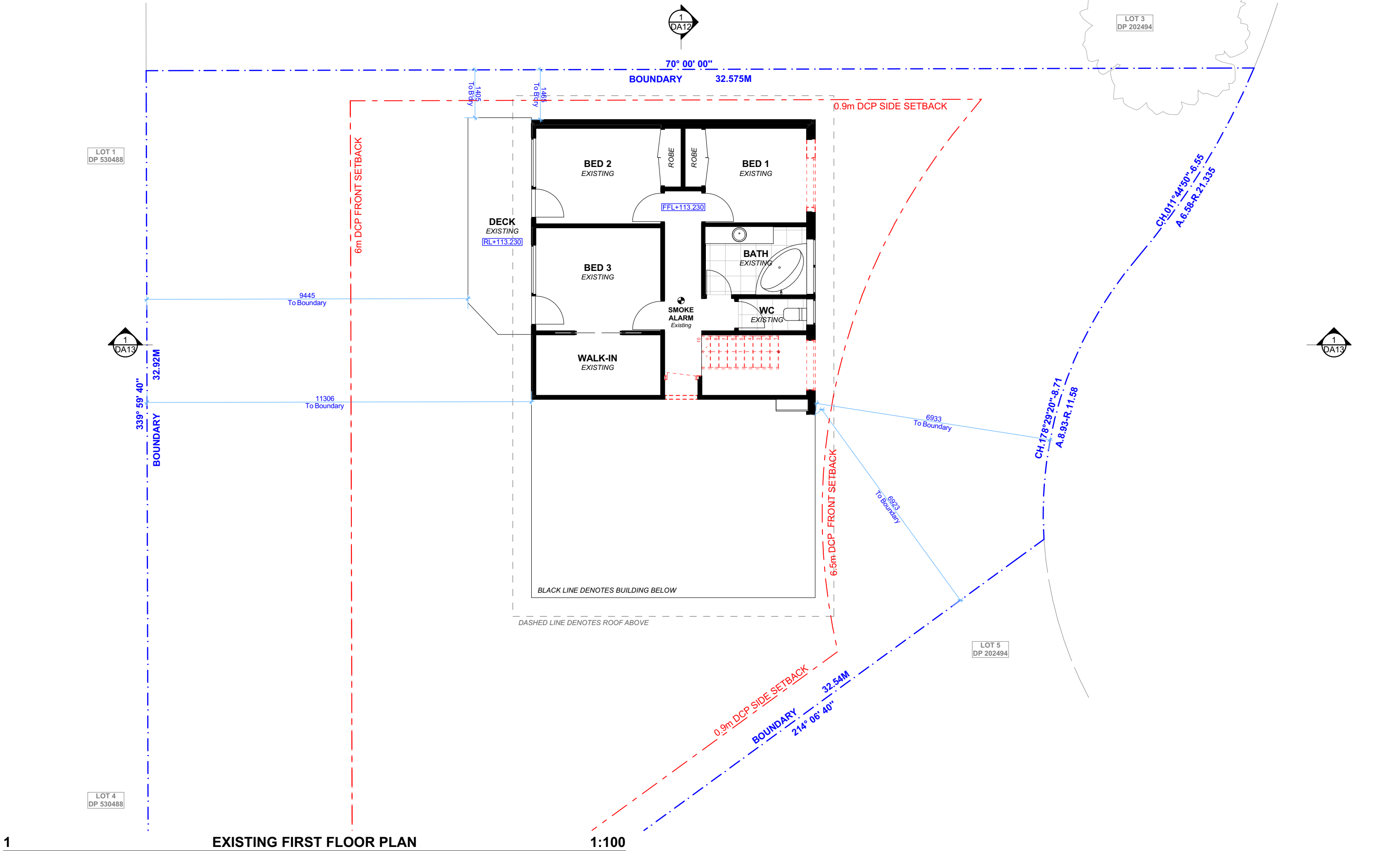
DRAWING NAME

EXISTING LOWER GROUND FLOOR PLAN

SCALE

1:100 @A3





1

EXISTING FIRST FLOOR PLAN

1:100

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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
FORESTVILLE NSW 2087

DRAWING NO.

DA05

DATE

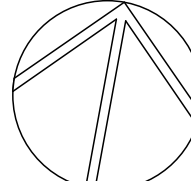
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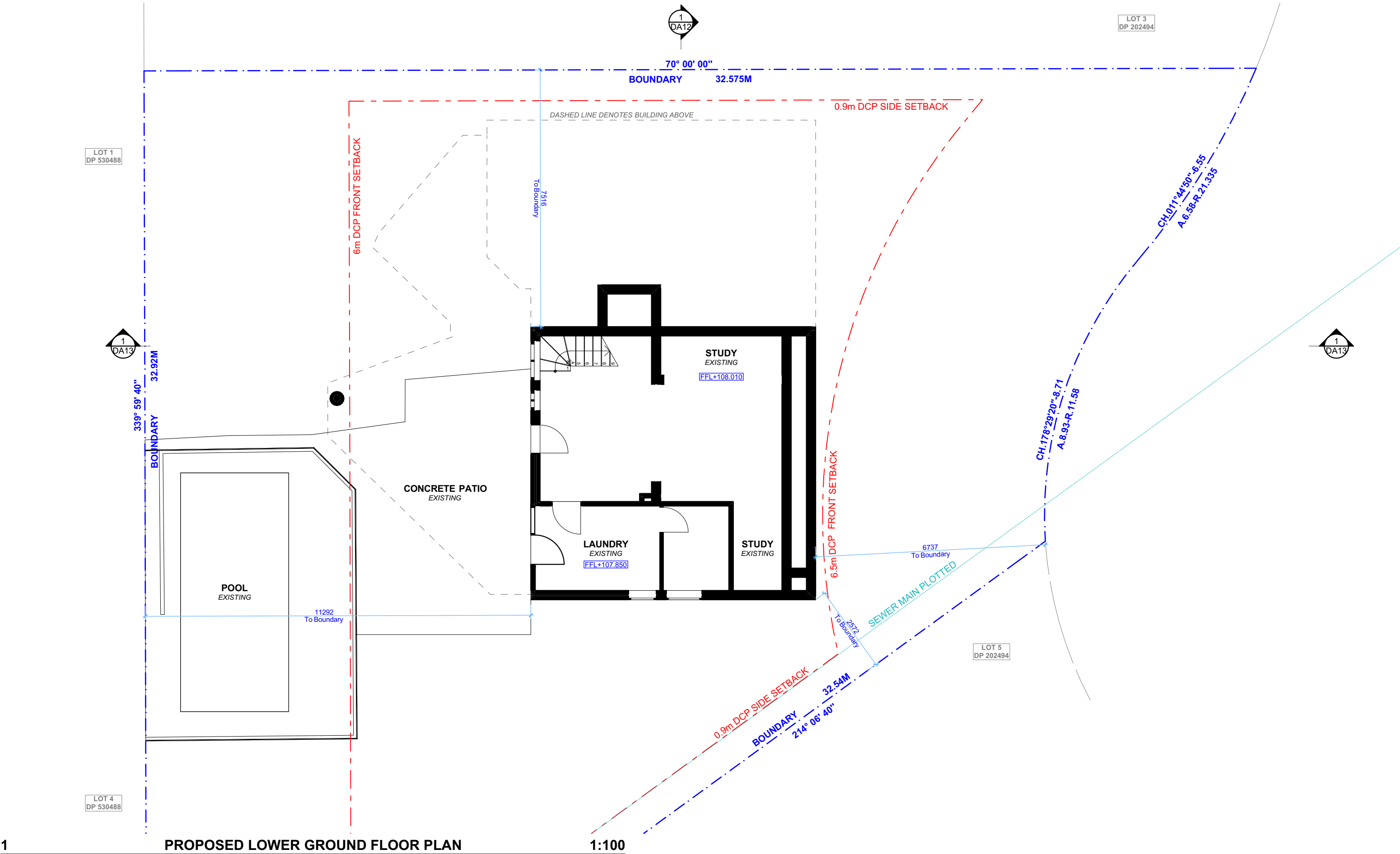
DRAWING NAME

EXISTING FIRST FLOOR PLAN

SCALE

1:100 @A3





1

PROPOSED LOWER GROUND FLOOR PLAN

1:100

NOTE: NO CHANGES TO THIS LEVEL



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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA06

DATE

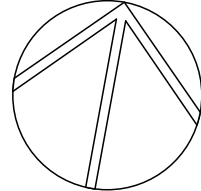
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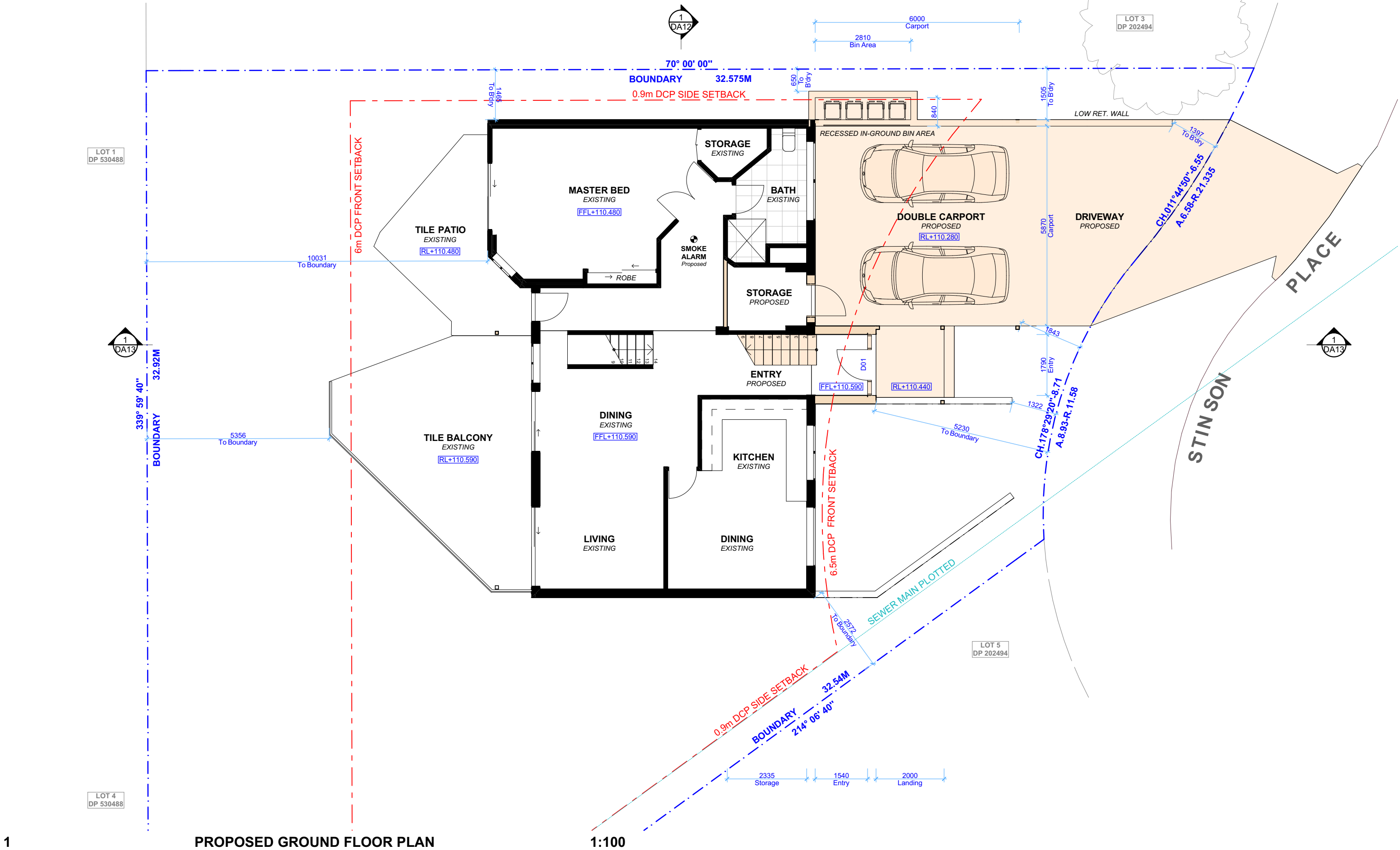
DRAWING NAME

PROPOSED LOWER GROUND FLOOR PLAN

SCALE

1:100 @A3





NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC

PROPOSED FIRST FLOOR PLAN

1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC



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LEGEND

EXISTING
PROPOSED
DEMOLISHED

CLIENT

ROB & TASHA
SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA08

DATE

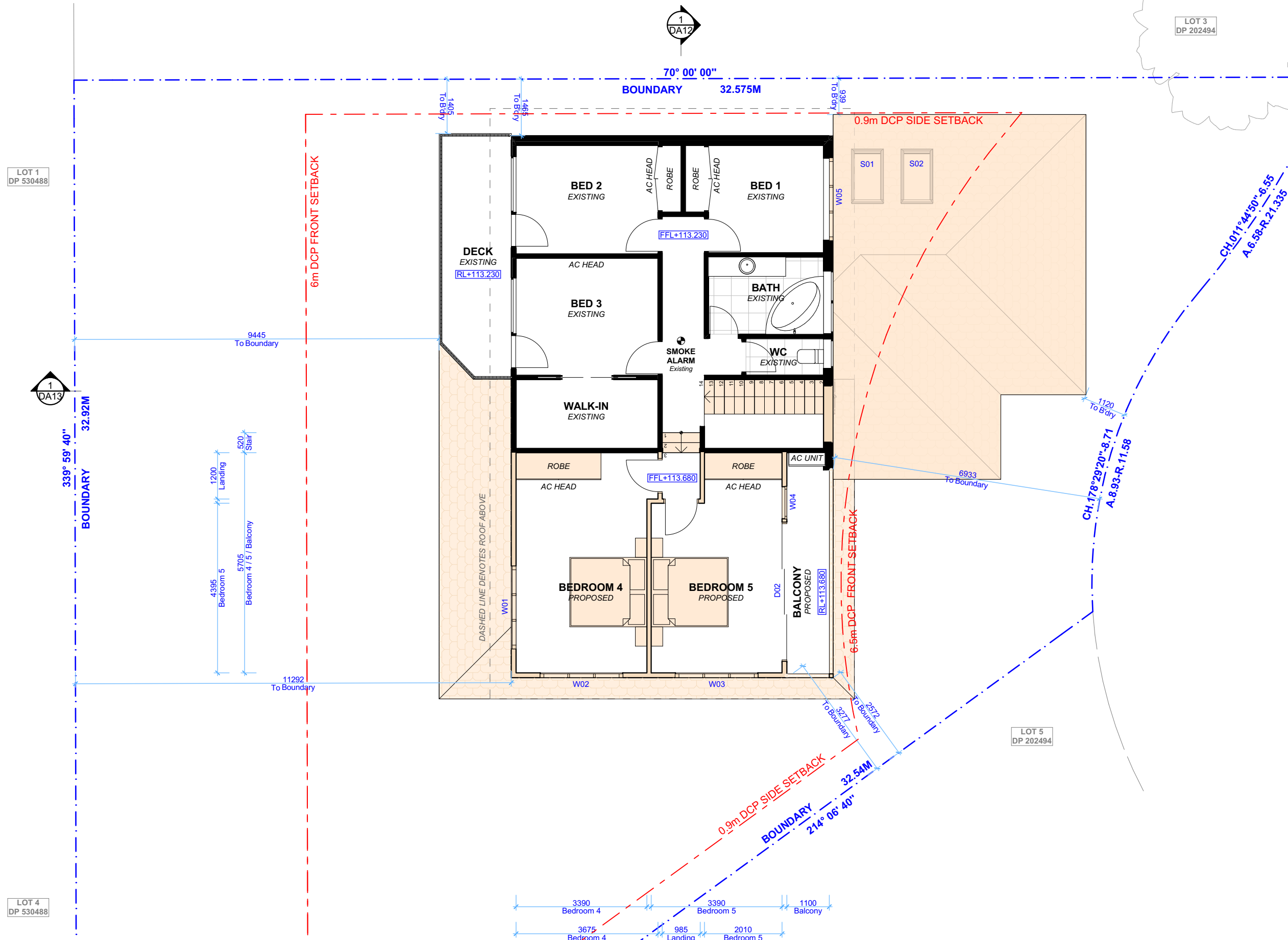
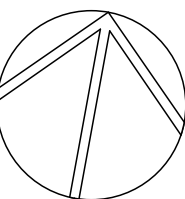
01 June 2020

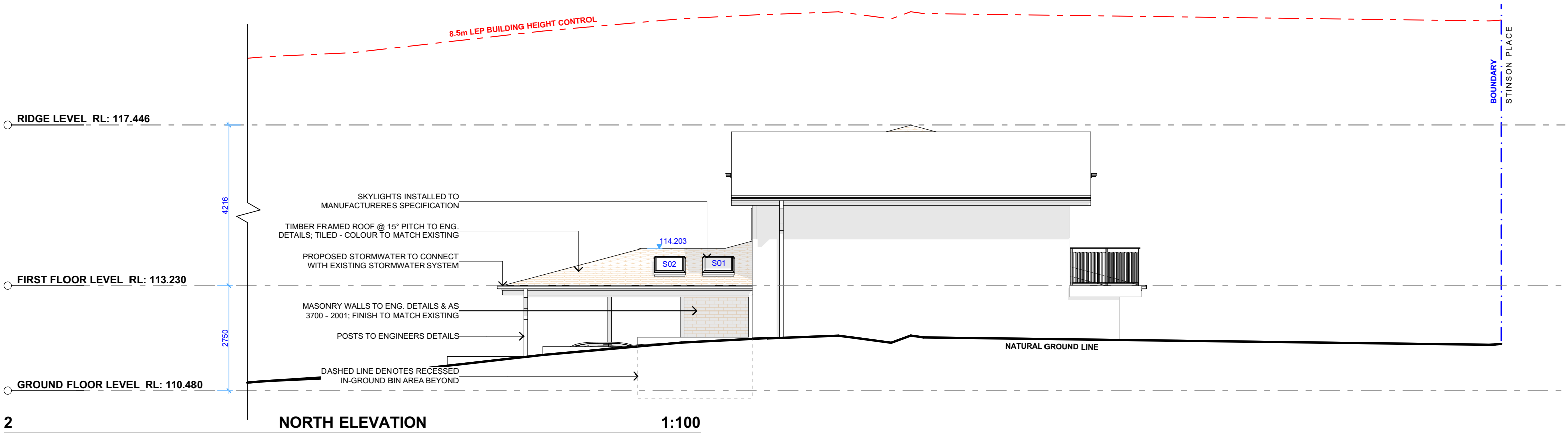
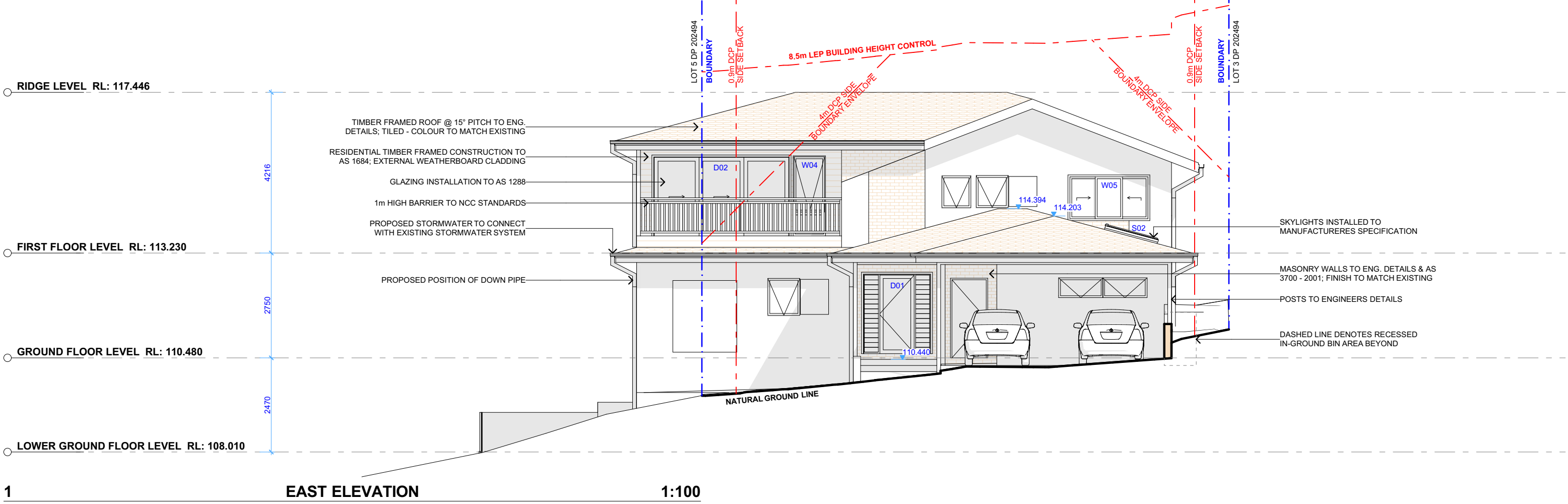
DRAWING NAME

PROPOSED FIRST FLOOR PLAN

SCALE

1:100 @A3







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LEGEND

EXISTING

PROPOSED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA09

DATE

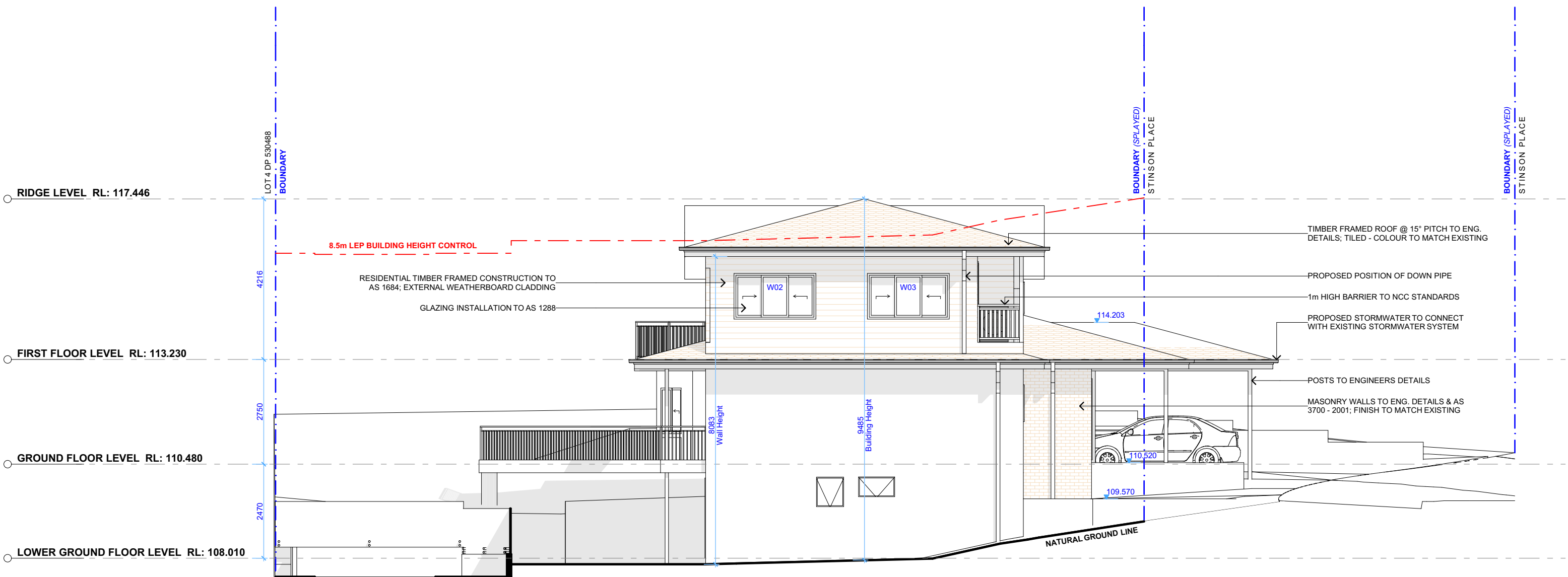
01 June 2020

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

1:100 @A3

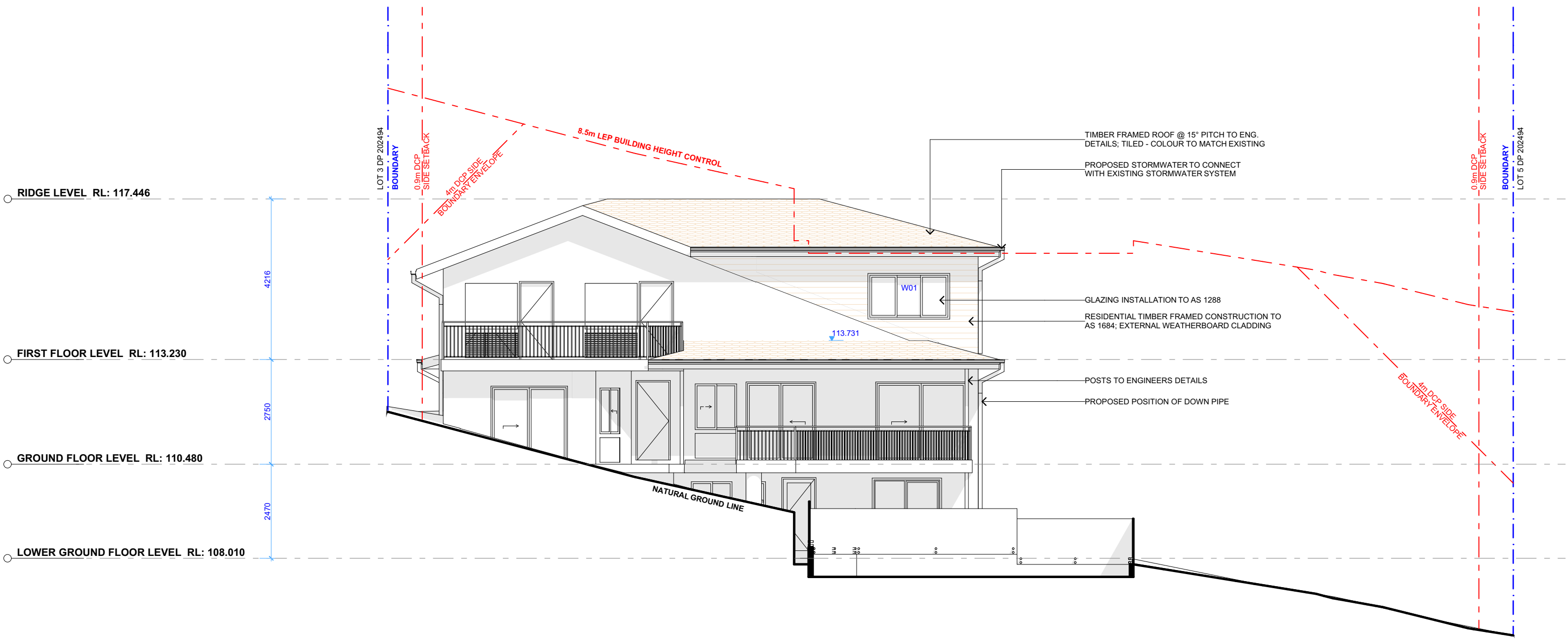


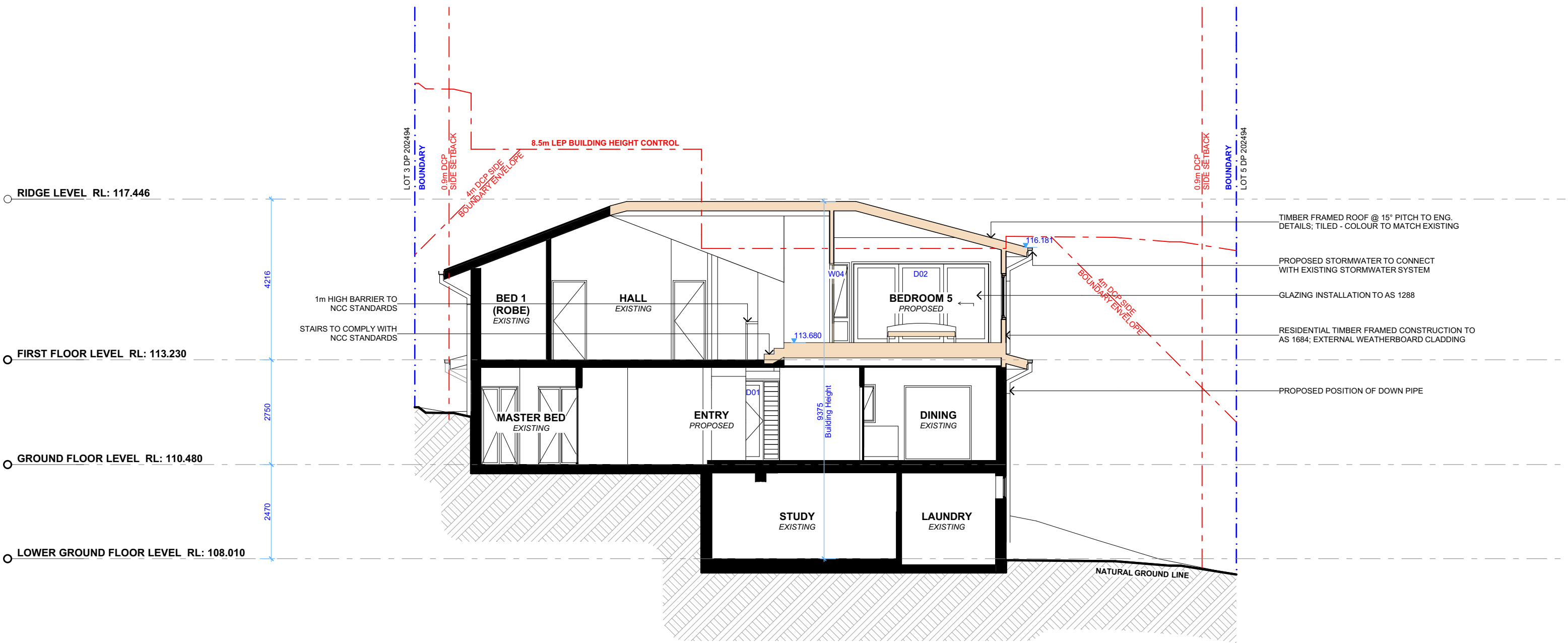
1

SOUTH ELEVATION

1:100

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	A	05/05/2020	DA DOCUMENTATION	EAS			PROJECT ADDRESS 8 STINSON PLACE, FORESTVILLE NSW 2087		DATE 01 June 2020		SCALE 1:100 @A3	





1

LONG SECTION

1:100



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LEGEND

EXISTING

PROPOSED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA12

DATE

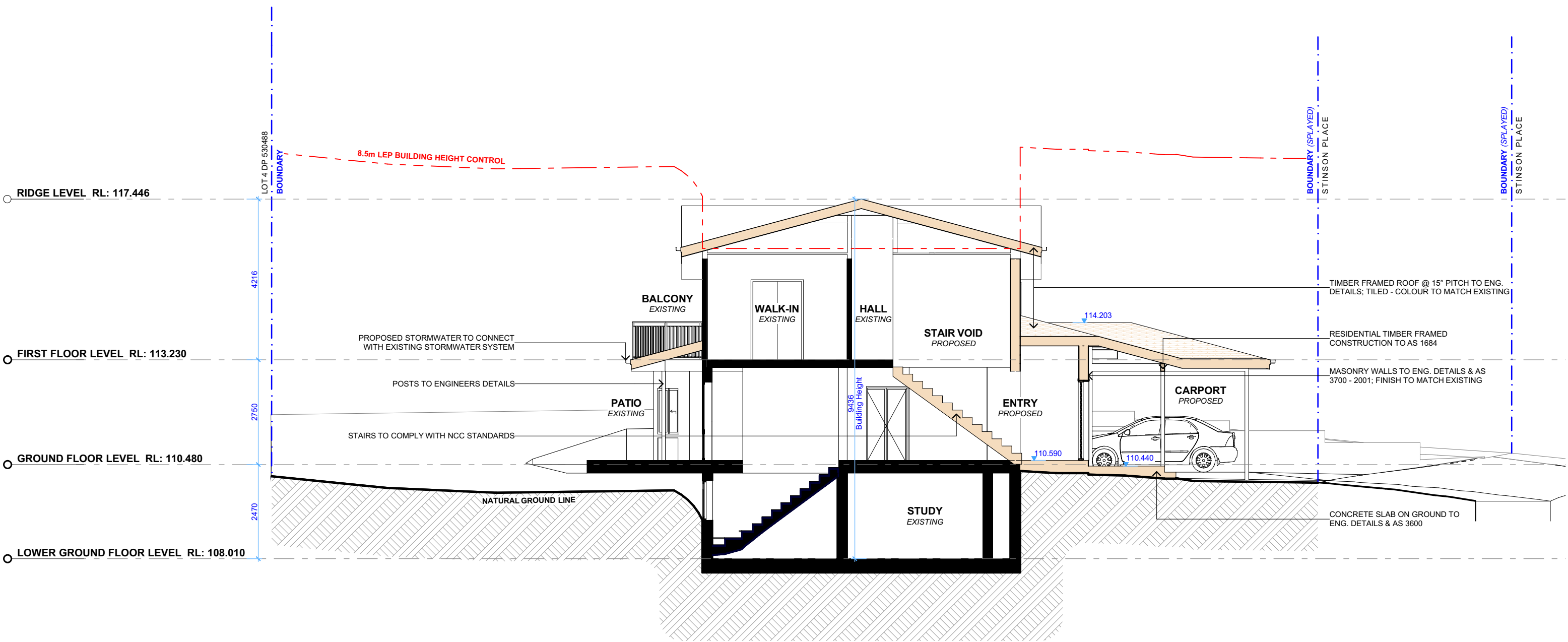
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DRAWING NAME

LONG SECTION

SCALE

1:100 @A3



1

CROSS SECTION

1:100



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LEGEND

EXISTING

PROPOSED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
FORESTVILLE NSW 2087

DRAWING NO.

DA13

DATE

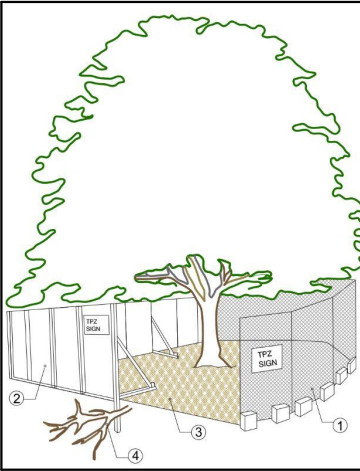
01 June 2020

DRAWING NAME

CROSS SECTION

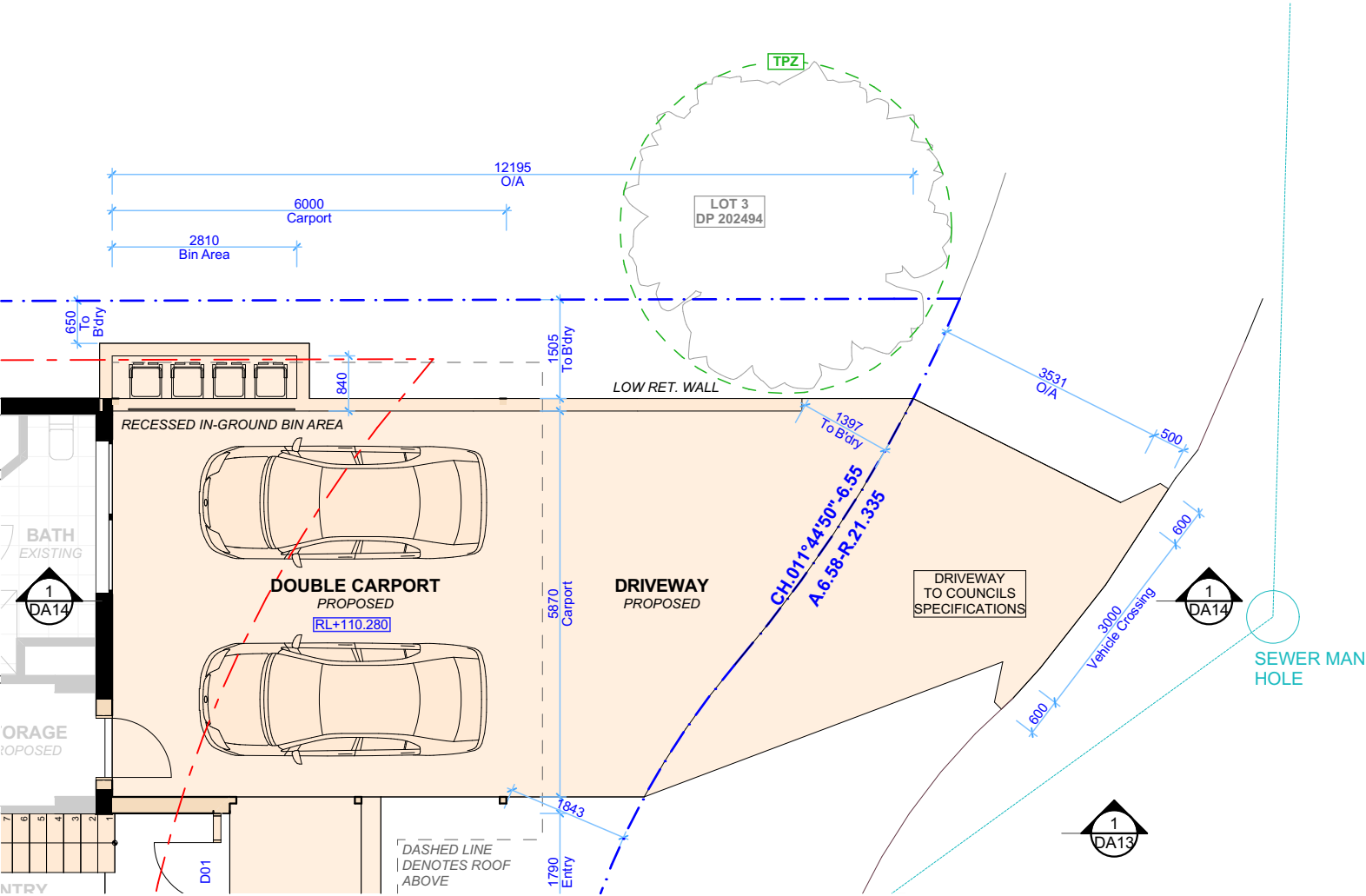
SCALE

1:100 @A3



TREE PROTECTION ZONE (TPZ):

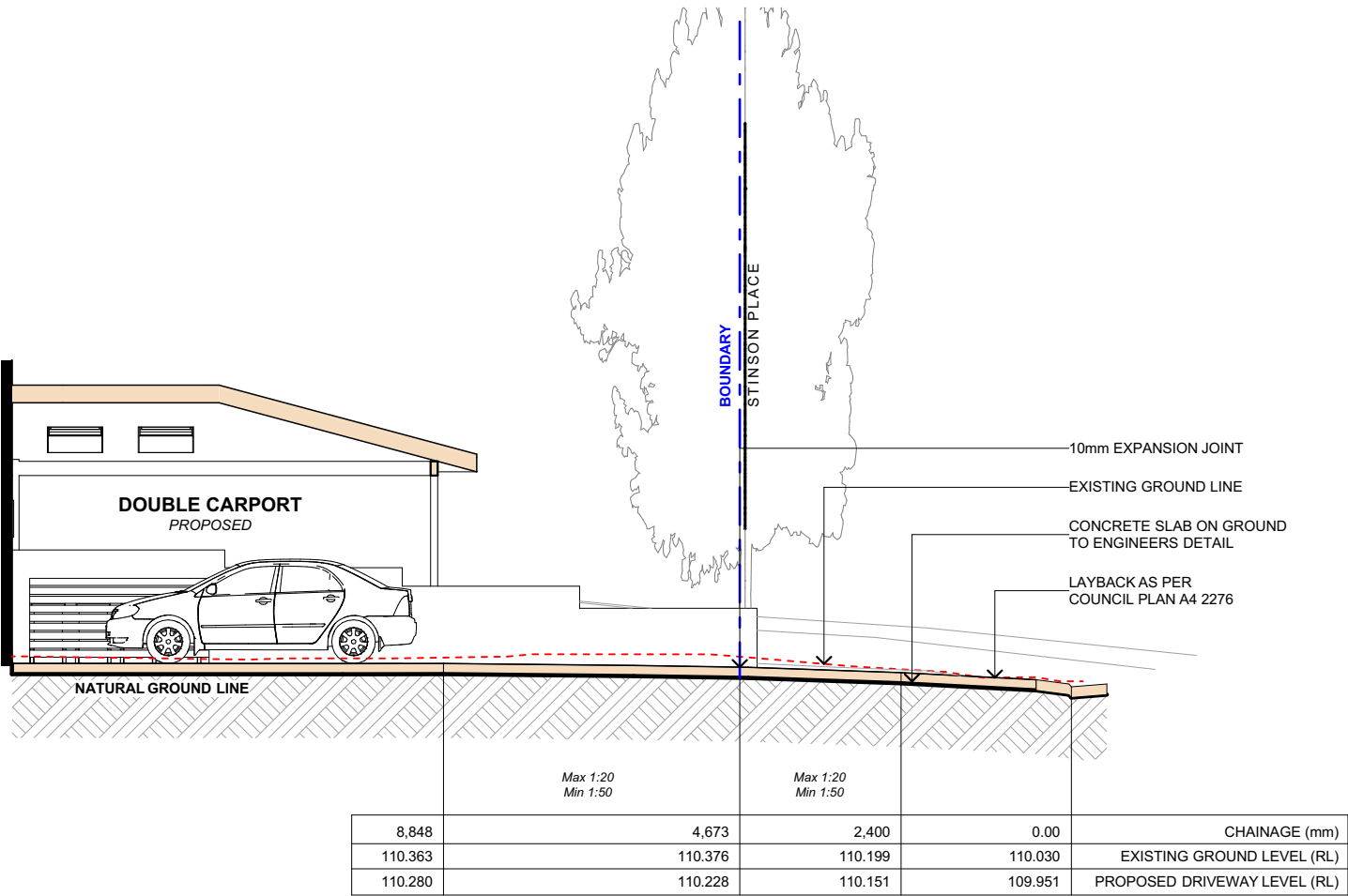
1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



1

PROPOSED DRIVEWAY PLAN

1:100



1

DRIVEWAY LONG SECTION

1:100



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LEGEND

 EXISTING

 PROPOSED

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA14

DATE

01 June 2020

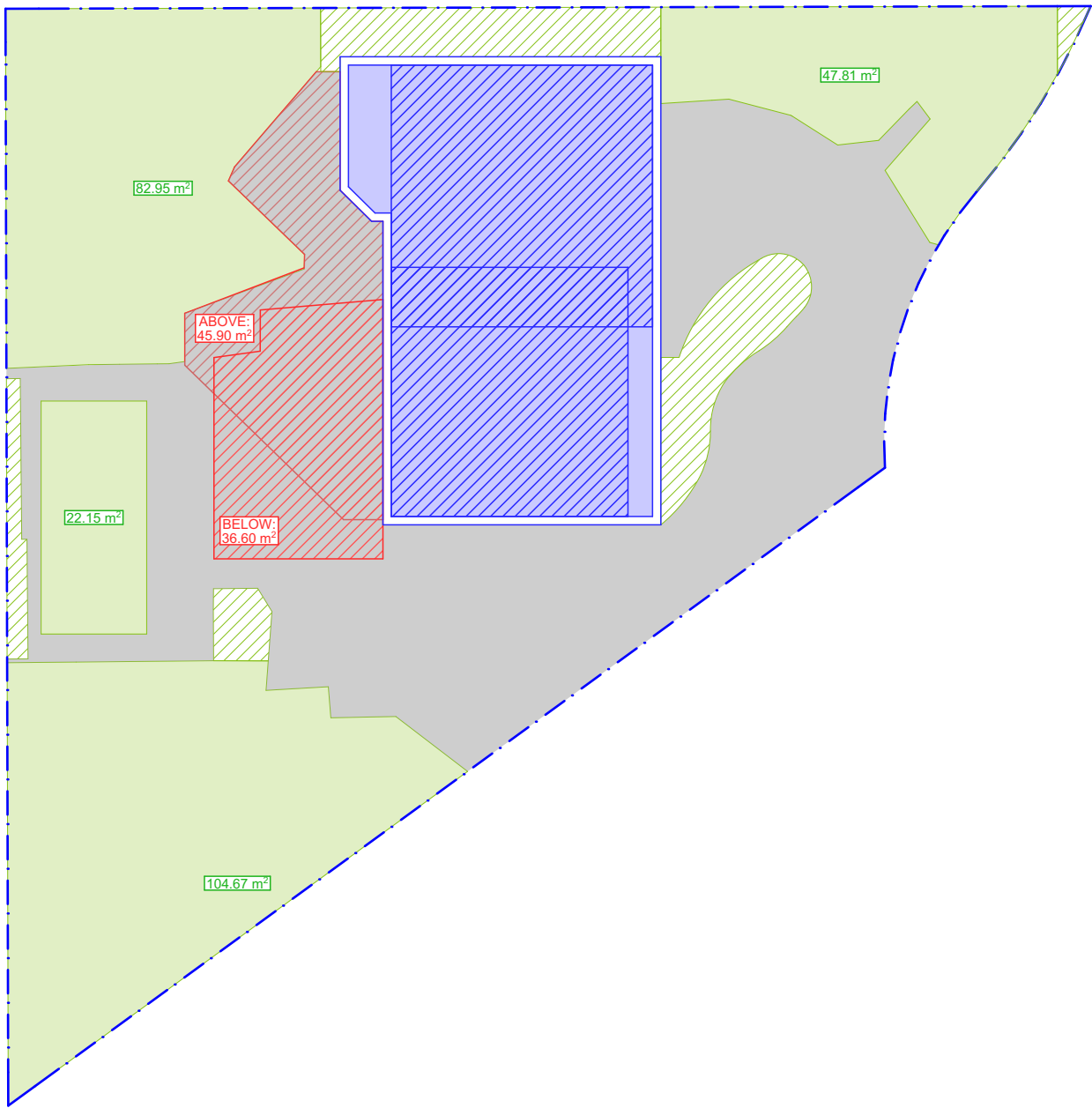
DRAWING NAME

DRIVEWAY PLAN / SECTION

SCALE

1:100 @A3

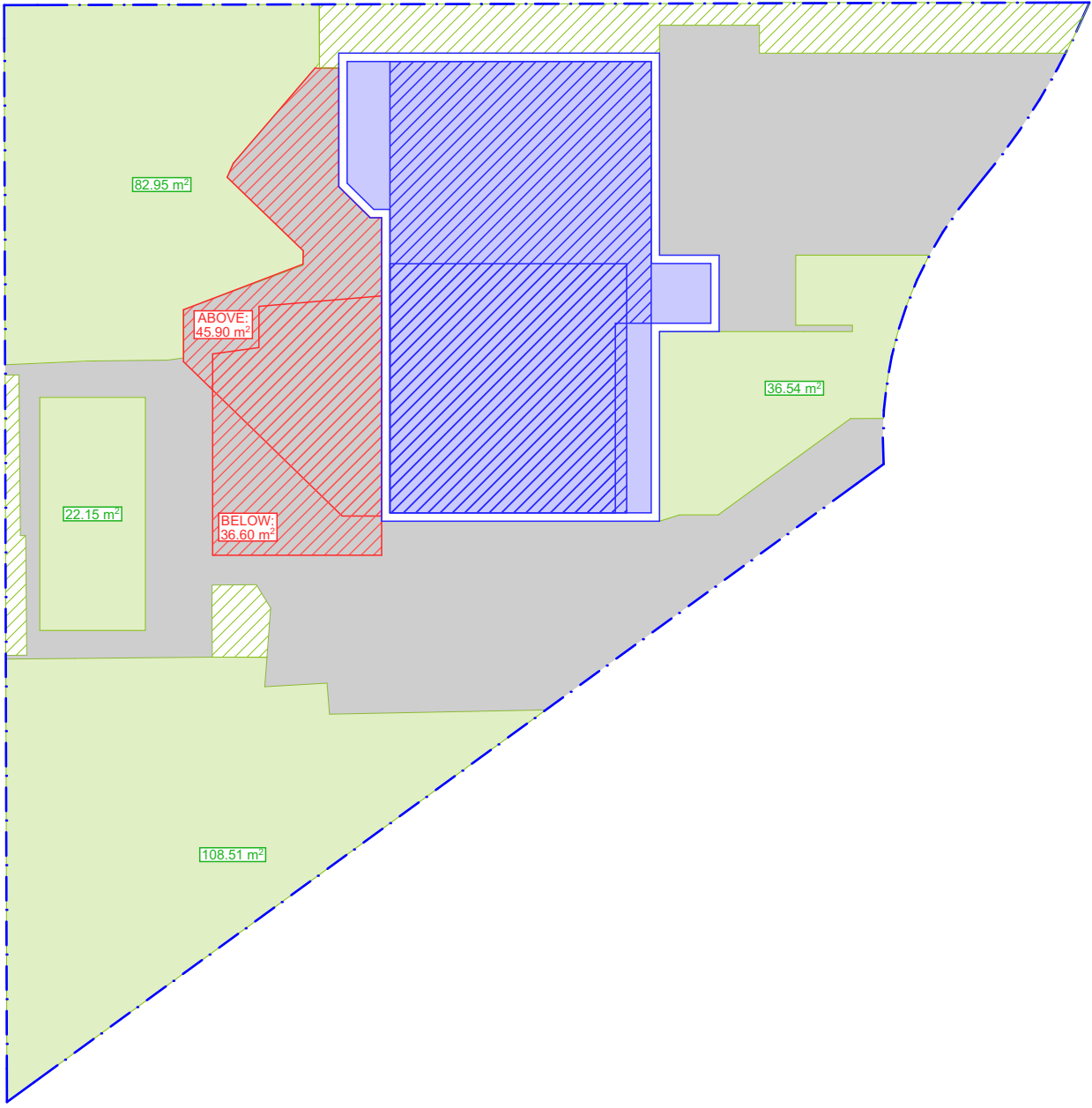
CONTROL AREA CALCULATIONS			
	SITE AREA SIZE: 648.8m ²		
	LANDSCAPED AREA REQUIRED: 40% (259.52m ²)	EXISTING:	39% (256.13m ²)
		PROPOSED:	39% (250.15m ²)
	PRIVATE OPEN SPACE REQUIRED: 60m ²	EXISTING:	82.5m ²
		PROPOSED:	UNCHANGED



1

EXISTING AREA CALCULATIONS

1:200



2

PROPOSED AREA CALCULATIONS

1:200



ALUMINIUM FRAMED SLIDING DOOR
BY STEGBAR OR OTHER



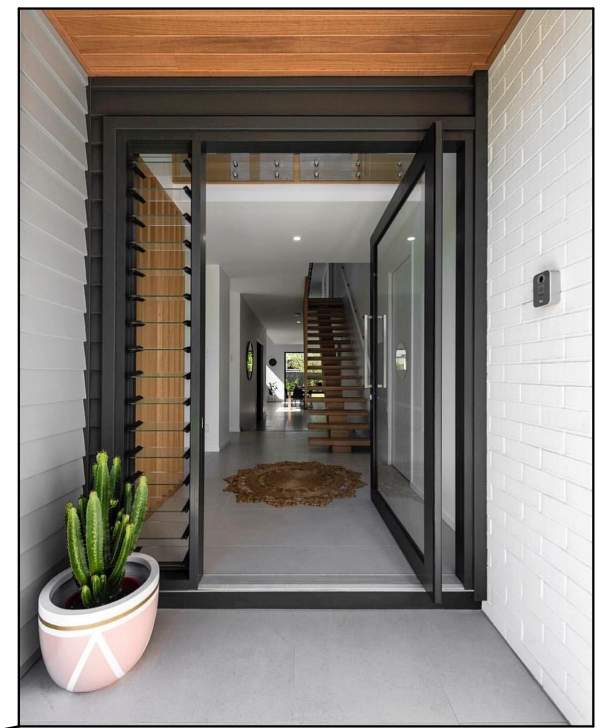
TILED ROOF
TO MATCH EXISTING



ALUMINIUM FRAMED WINDOW
BY STEGBAR OR OTHER



WEATHERBOARD CLADDING
TO MATCH EXISTING



GLAZED DOOR WITH SIDE LOUVERS
STYLE TO BE CONFIRMED BY CLIENT

1

SAMPLE BOARD



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LEGEND

CLIENT

ROB & TASHA
SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
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DRAWING NO.

DA16

DATE

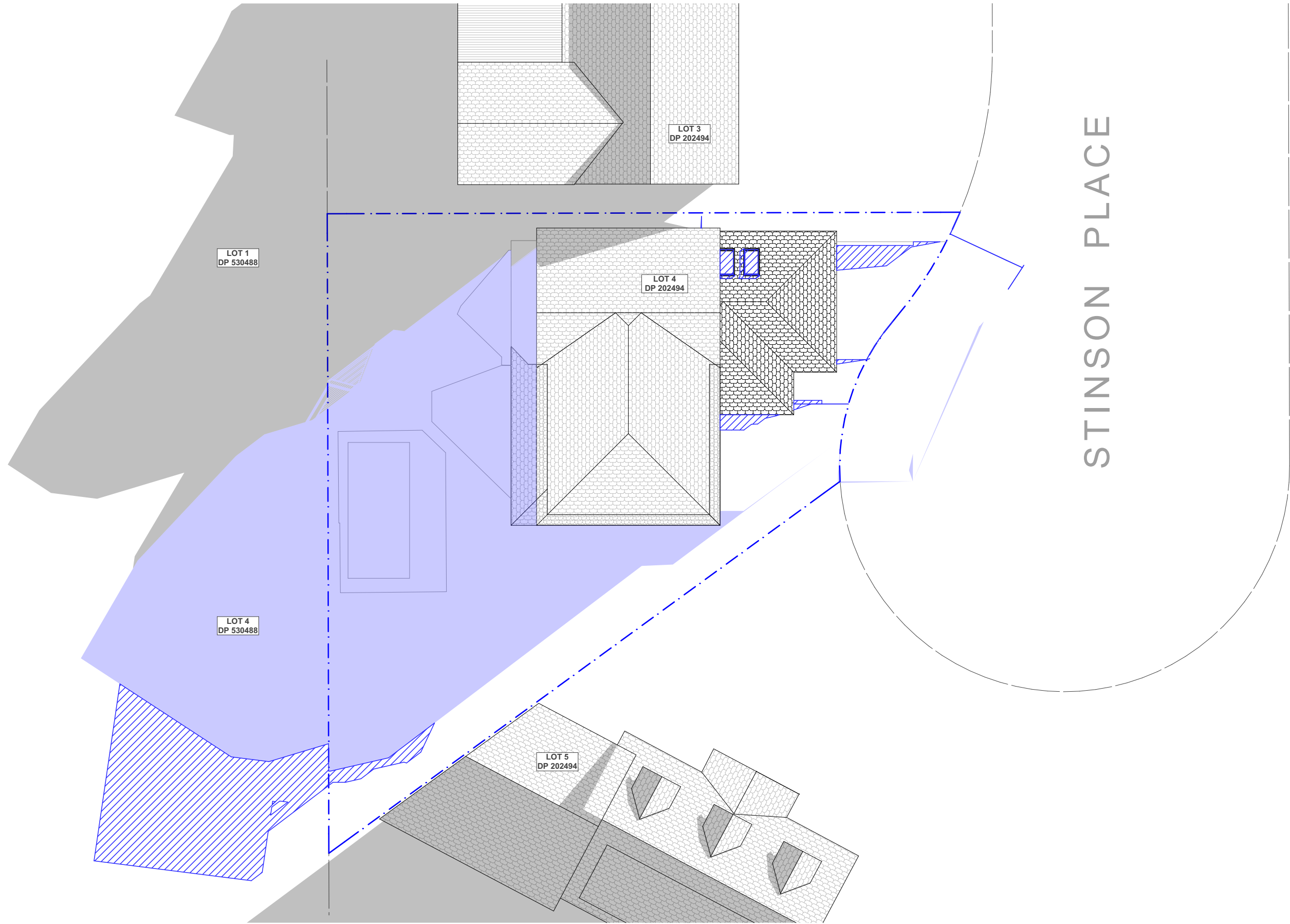
01 June 2020

DRAWING NAME

SAMPLE BOARD

SCALE

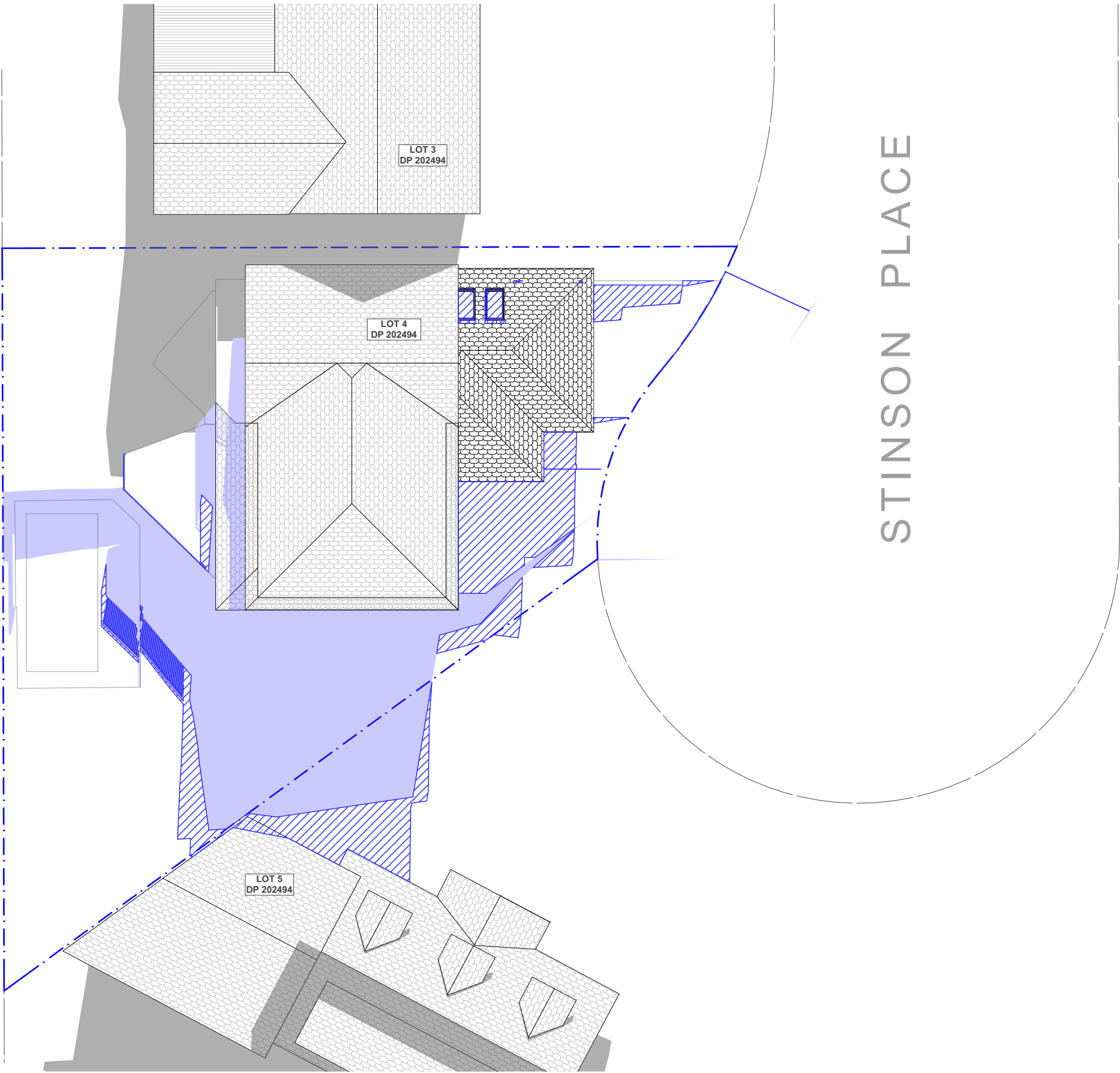
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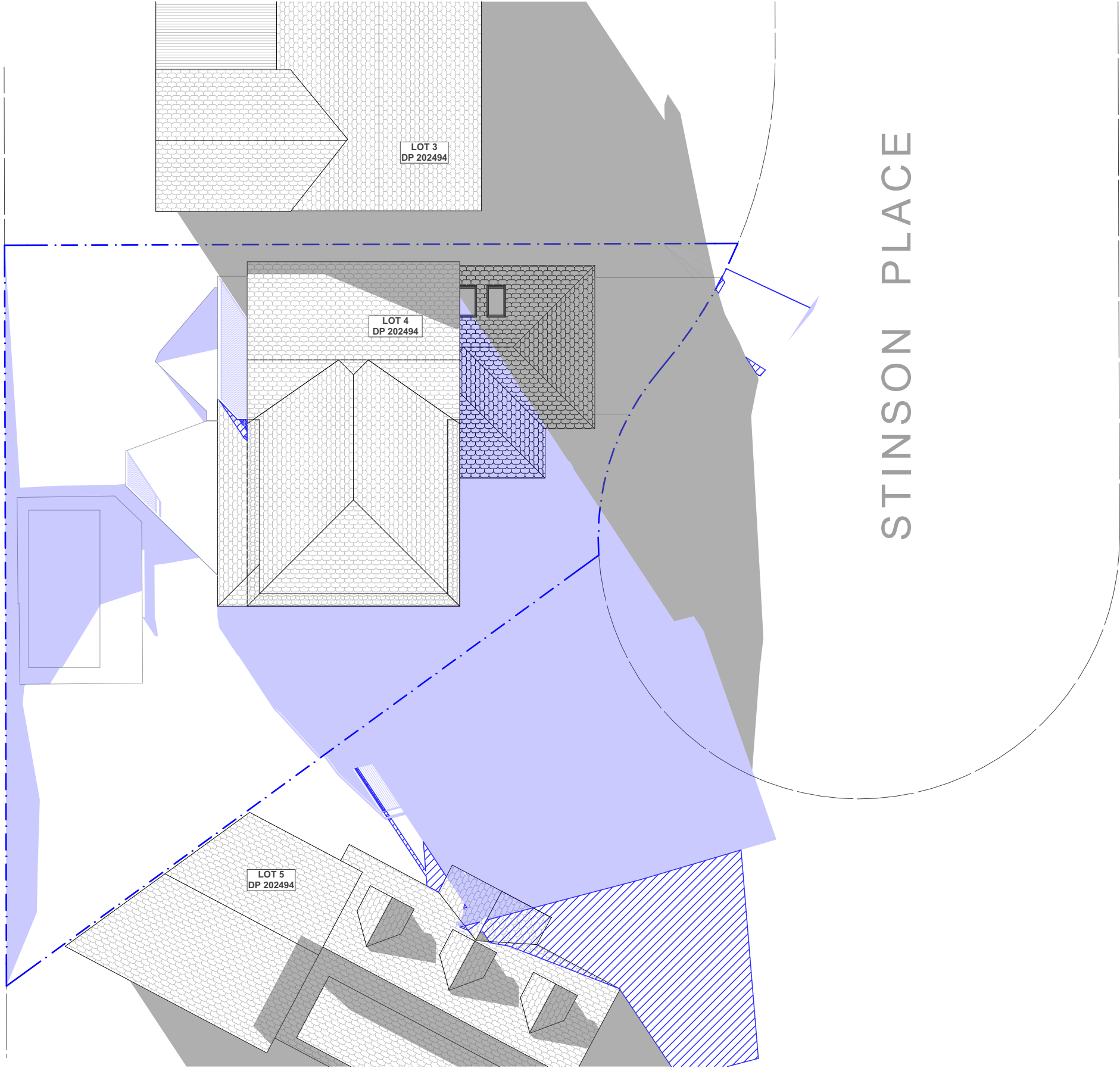


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WINTER SOLSTICE 9AM

1:200





Alterations and Additions

Certificate number: A376106

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 29, April 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	8 Stinson Place Forestville
Street address	8 Stinson Place Forestville 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 202494
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓ ✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓ ✓		
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type
W1	W	2.58	0	0	eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	2.58	0	0	eave/verandah/pergola/balcony >=600 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	2.58	0	0	eave/verandah/pergola/balcony >=600 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W4	E	1.78	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	E	2.58	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D1	E	3.76	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	E	7.58	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



ACTION PLANS

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w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	05/05/2020	DA DOCUMENTATION	EAS

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
all new glazing must meet the BASIX specified frame and glass type, *OR* meet the certified U value and SHGC value.

CLIENT

ROB & TASHA SMITHIES

PROJECT ADDRESS

8 STINSON PLACE,
FORESTVILLE NSW
2087

DRAWING NO.

DA20

DATE

01 June 2020

DRAWING NAME

BASIX COMMITMENTS