



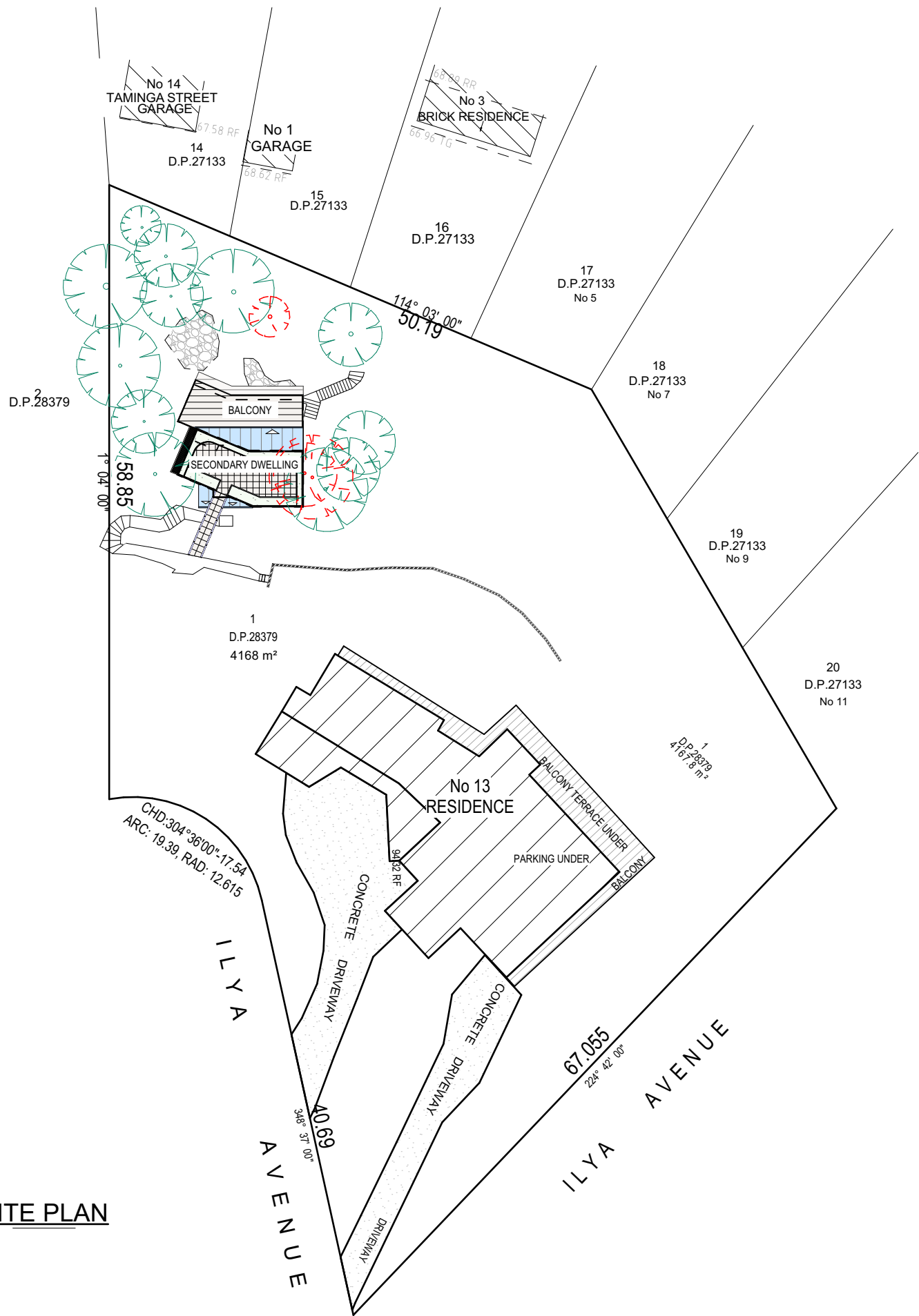
northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2023/1287

(Activation of consent must be obtained
from Northern Beaches Council)

SITE PLAN



TRUE NORTH:



NOTES (E & OE)

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REV:	DATE:	DESCRIPTION:
A	01/09/22	PRELIM. DRAWINGS UPDATED
B	06/09/22	PRELIM. DRAWINGS UPDATED
C	30/01/23	LANDSCAPE CONCEPT PLAN DRAWING
D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SITE PLAN

DATE:

April/22

DRAWN BY:

LB

SCALE:

1:500 @ A3

JOB No:

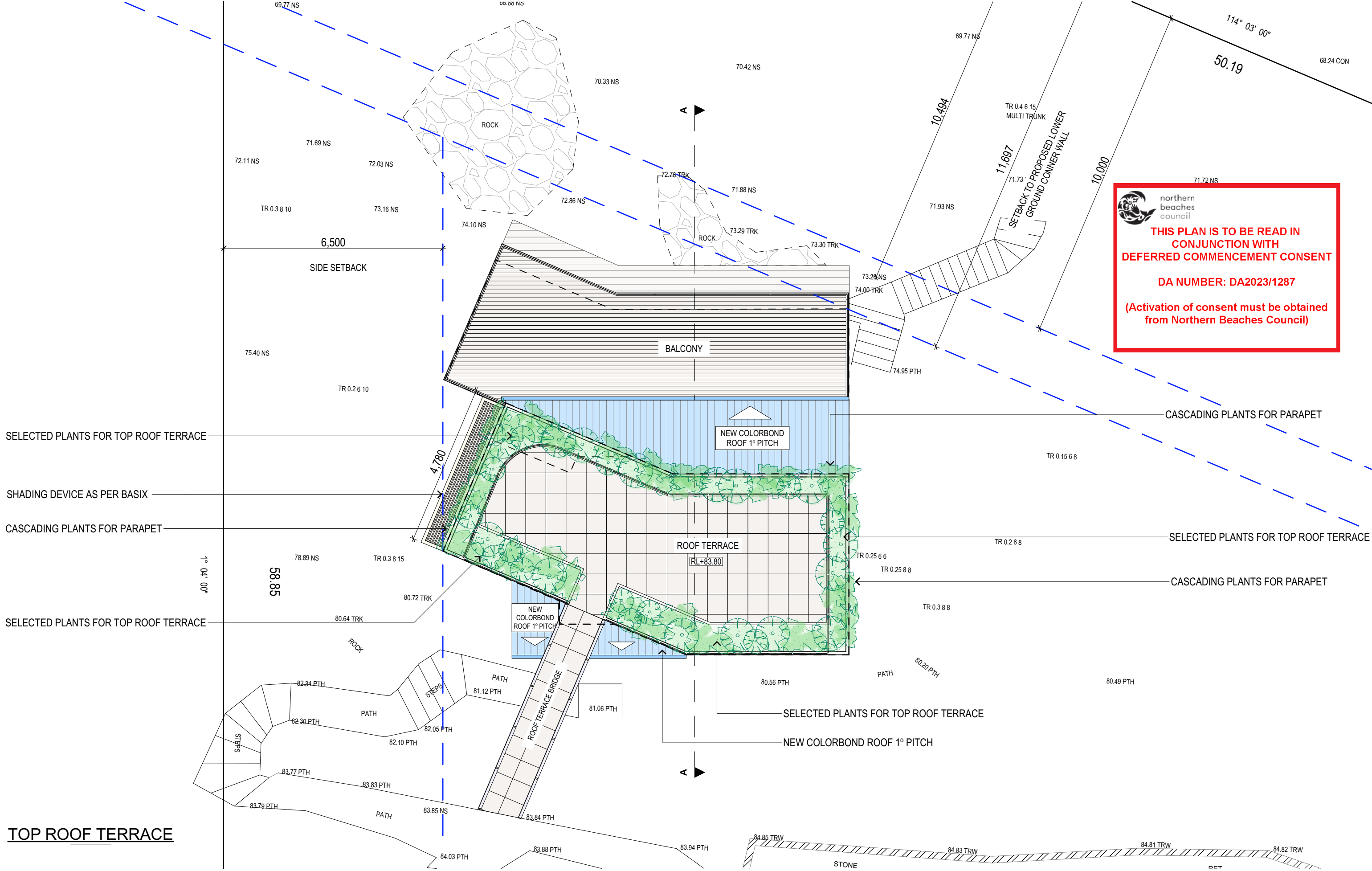
1021/22

CHECKED BY:

JJ

DRAWING No:

DA.01





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DA NUMBER: DA2023/1287

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TOP ROOF TERRACE

TRUE NORTH:



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PROPOSED NEW SECONDARY DWELLING

13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:

Rex Pemberton

DRAWING TITLE:

TOP ROOF TERRACE PLAN

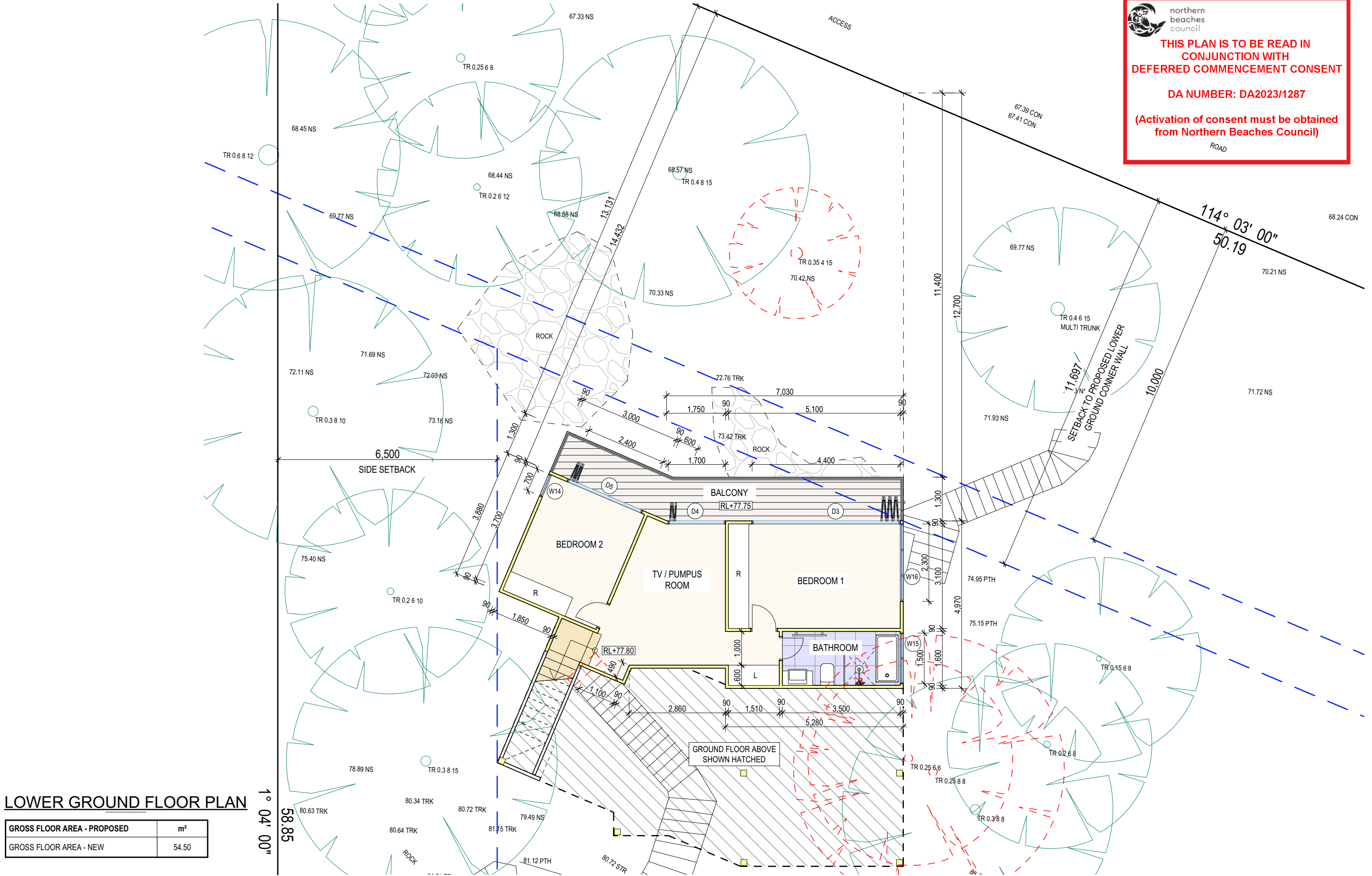
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1021/22	JJ	DA.03



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DA NUMBER: DA2023/1287

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LOWER GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	54.50

TRUE NORTH:



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13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
LOWER GROUND FLOOR PLAN

DATE:
April/22

DRAWN BY:
LB

SCALE:
1:100 @ A3

JOB No:
1021/22

CHECKED BY:
JJ

DRAWING No:
DA.04

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council**

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DA NUMBER: DA2023/1287

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from Northern Beaches Council)**

GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	53.90

TRUE NORTH:



NOTES (E & OE)

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CLIENT:
Rex Pemberton

DRAWING TITLE:
GROUND FLOOR PLAN

DATE:
April/22

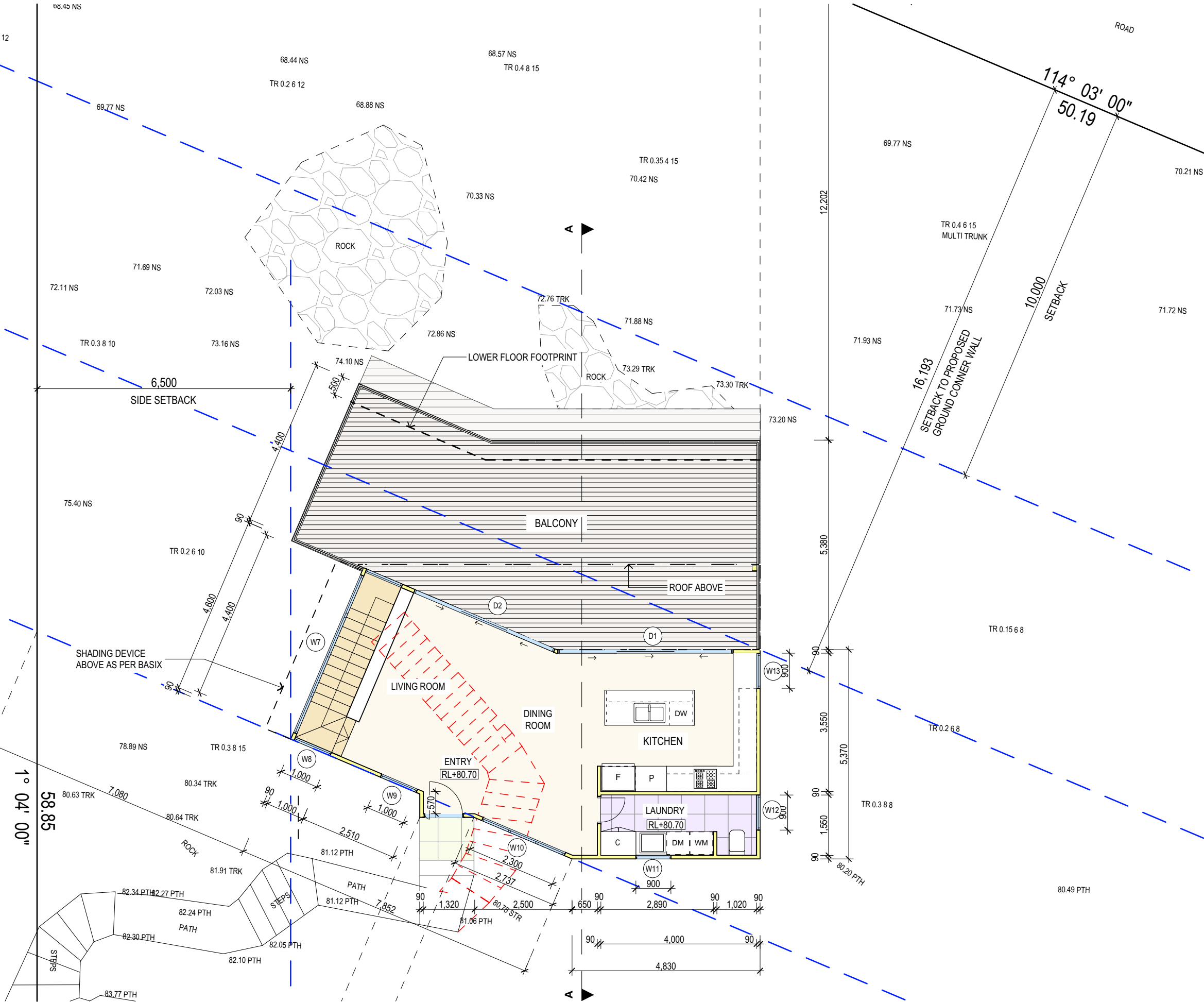
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1021/22

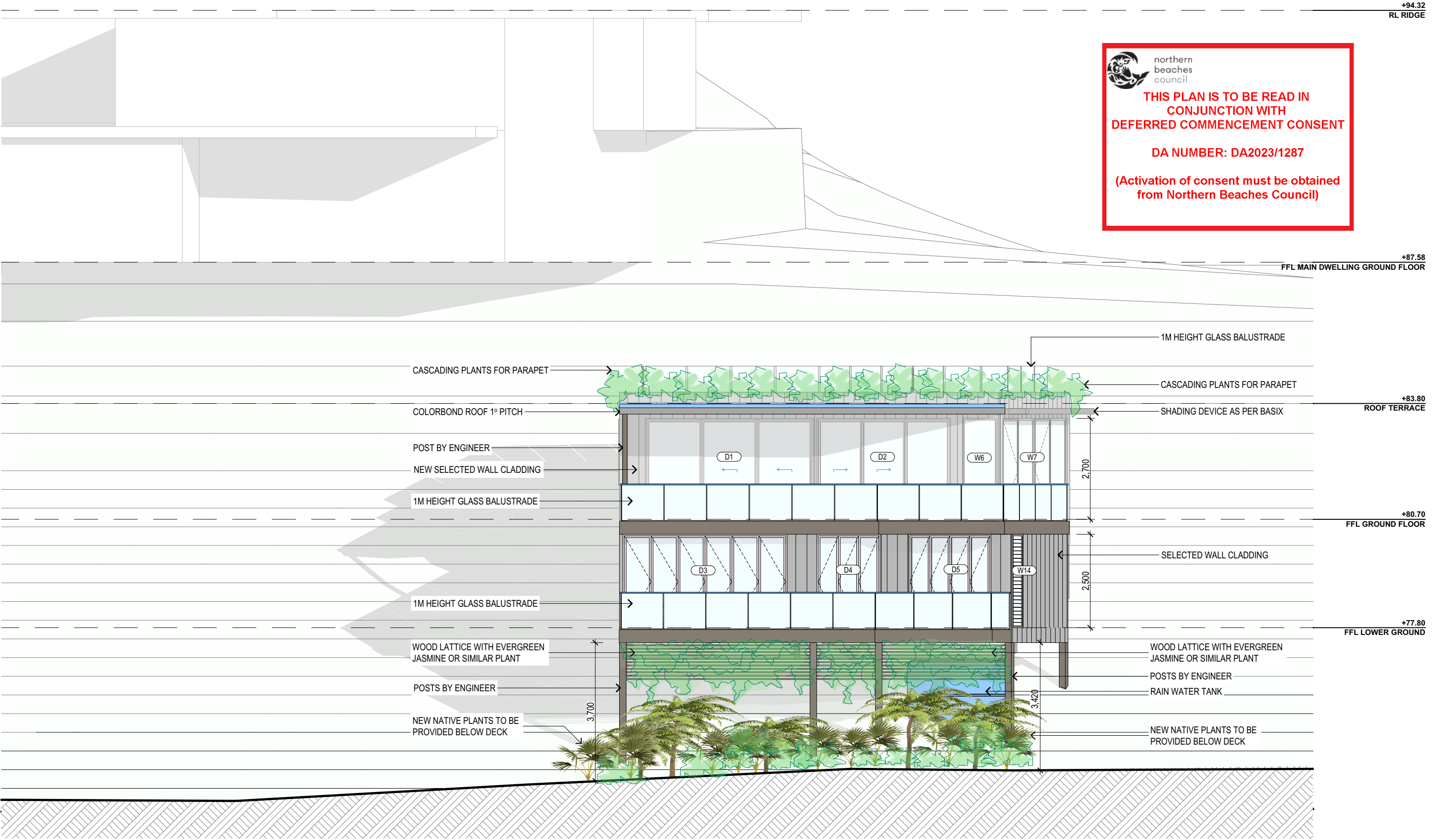
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SCALE:
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DRAWING No:
DA.05





NORTH ELEVATION

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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104
CLIENT:
Rex Pemberton

DRAWING TITLE:
NORTH ELEVATION

DATE: April/22	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.06

87.58
FL MAIN DWELLING GROUND FLOOR

83.80
ROOF TERRACE

80.70
FL GROUND FLOOR

77.80
FL LOWER GROUND

CASCADING PLANTS FOR PARAPET

TOPROOF TERRACE BRIDGE

8.5m MAX. BUILDING HEIGHT

1M HEIGHT GLASS BALUSTRADE

CASCADING PLANTS FOR PARAPET

NEW COLORBOND FLAT
ROOF 1° PITCH

POST BY ENGINEER

1M HEIGHT GLASS BALUSTRADE

SELECTED WALL CLADDING

1M HEIGHT GLASS BALUSTRADE

WOOD LATTICE WITH
EVERGREEN JASMINE OR
SIMILAR PLANT

NEW NATIVE PLANTS TO BE
PROVIDED BELOW DECK



northern
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council

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DA NUMBER: DA2023/1287

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EAST ELEVATION

=

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PROPOSED NEW SECONDARY DWELLING
13 ILYA AVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
EAST ELEVATION

DATE:
April/22

JOB No:
1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:100 @ A3

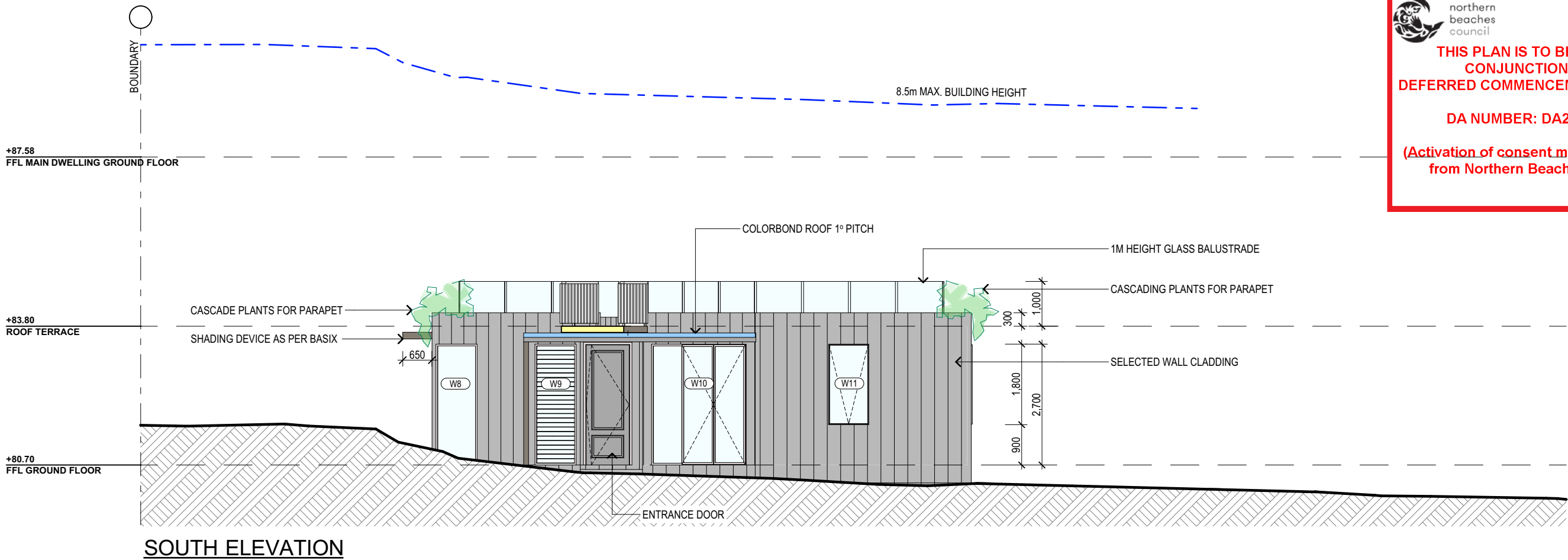
DRAWING No:
DA.07



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DA NUMBER: DA2023/1287

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SOUTH ELEVATION

BASIX REQUIREMENT:

BASIX INCLUSIONS FOR 13 ILYAAVENUE - BAYVIEW

External walls

Lightweight cladding on framed walls with R2.5 insulation (insulation only value)
External colour:
Medium (0.475 < SA < 0.7)

Walls within dwellings

Plasterboard on studs, no insulation required
Plasterboard on studs with R2.5 insulation on the internal walls of bathroom and laundry and habitable areas

Glazing doors/windows

Glazed windows and doors:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)

Group B - sliding doors/windows + fixed glazing + louvred windows

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Upgrades as per NatHERS certificate:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 2.20 (equal to or lower than) SHGC: 0.32 (±10%)

Group B - sliding doors/windows

U-value: 3.60 (equal to or lower than) SHGC: 0.54 (±10%)

Group B - Fixed glazing

U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%)

Group B - Louvred windows

U-value: 4.90 (equal to or lower than) SHGC: 0.33 (±10%)

Given values are AFRC total window system values (glass and frame)

External colour:

Medium (0.475 < SA < 0.7)

Floors

Suspended timber floor with R4.0 insulation (insulation only value) to open and enclosed suspended areas

Roof and ceilings

Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above

External colour

Medium (0.475 < SA < 0.7)

Ceiling penetrations

Sealed LED downlights, as per electrical plan, modelled as 150mm diameter.

Sealed externally ducted exhaust fans, modelled as 200mm diameter

Ceiling fans 1300mm diameter to bedrooms, living room and rumpus

Penetrations not to exceed NatHERS certificate

Floor coverings

Tiles to wet areas; carpet with rubber underlay to bedrooms and rumpus; timber elsewhere

External shading

Shading as per stamped drawings

Ventilation

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights will be sealed.

BASIX Water Commitments

Fixtures

Install showerheads minimum rating of 3 stars - High flow (>7.5 and <= 9 litres/min)

Install toilet flushing system with a minimum rating of 4 stars in each toilet

Install tap with a minimum rating of 3 stars in the kitchen

Install taps with a minimum rating of 3 stars in each bathroom

Alternative water

Install rainwater tank, minimum 3,000L capacity collected from min. 150m² roof area.

Tank connected to - at least one outdoor tap, and all toilets

BASIX Energy Commitments

Hot water system

Gas instantaneous - 6 Stars

Cooling system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Heating system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Ventilation

Bathrooms - individual fan, externally ducted to roof or façade, manual on/off switch

Kitchen - individual fan, not ducted, manual on/off switch

Laundry - individual fan, externally ducted to roof or façade, manual on/off switch

Other

Electric cooktop & electric oven

Outdoor clothes drying line

Alternative Energy

1kW PV System

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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SOUTH ELEVATION / BASIX NOTES

DATE:
April/22

JOB No:
1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.09

FFL MAIN DWELLING GROUND FLOOR



DA NUMBER: DA2023/1287

+83.80

ROOF TERRACE

+80.70

FFL GROUND FLOOR

+77.80

FFL LOWER GROUND

NEW NATIVE PLANTS TO BE PROVIDED BELOW DECK

SECTION A-A

- WATERPROOFING TO COMPLY WITH NCC2022

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

PROPOSED NEW SECONDARY DWELLING 13 ILYA AVENUE - BAYVIEW NSW 2104 CLIENT: Rex Pemberton
DRAWING TITLE: SECTION AA / SPECIFICATION NOTES

DATE: April/22	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.10



EVERGREEN JASMINE



KANGAROO PAW



LOMANDRA CONFERTIFOLIA



EMU BUSH



PHILODENDRON 'XANADU'



SILVER FALLS

P L A N T S T A B L E - L E G E N D :					
SYMBOL	COMMON NAME		SCIENTIFIC NAME	HEIGHT	SPREAD
	NEW TREE SELECTED BY CLIENT FROM NORTHERN BEACHES NATIVE TREE BOOKLET			MIN. 8.5m	
	NATIVE PLANTS - LOMANDRA CONFERTIFOLIA		Seascape	0.6 m	0.6m
	NATIVE PLANTS - EMU BUSH		Eremophila Maculate	1.0 m	1m
	NATIVE PLANTS - KANGAROO PAW or SIMILAR		Anigozanthos	1.5 m	3m
	PHILODENDRO 'XANADU' or SIMILAR		Thaumatophyllum Xanadu	1.5 m	2m
	SELECTED CASCADE	SILVER FALLS	Dichondra	1.0 m	0.5m
	PLANTS (EXAMPLES):	TRAILING ROSEMARY	Anigozanthos	0.5 m	3m
	SELECTED PLANTS BY CLIENT		-	-	-
	EXISTING TREE TO REMAIN		-	-	-
	EXISTING PALM TREE TO REMAIN		-	-	-
	EXISTING TREE TO BE REMOVED		-	-	-

TRUE NORTH:

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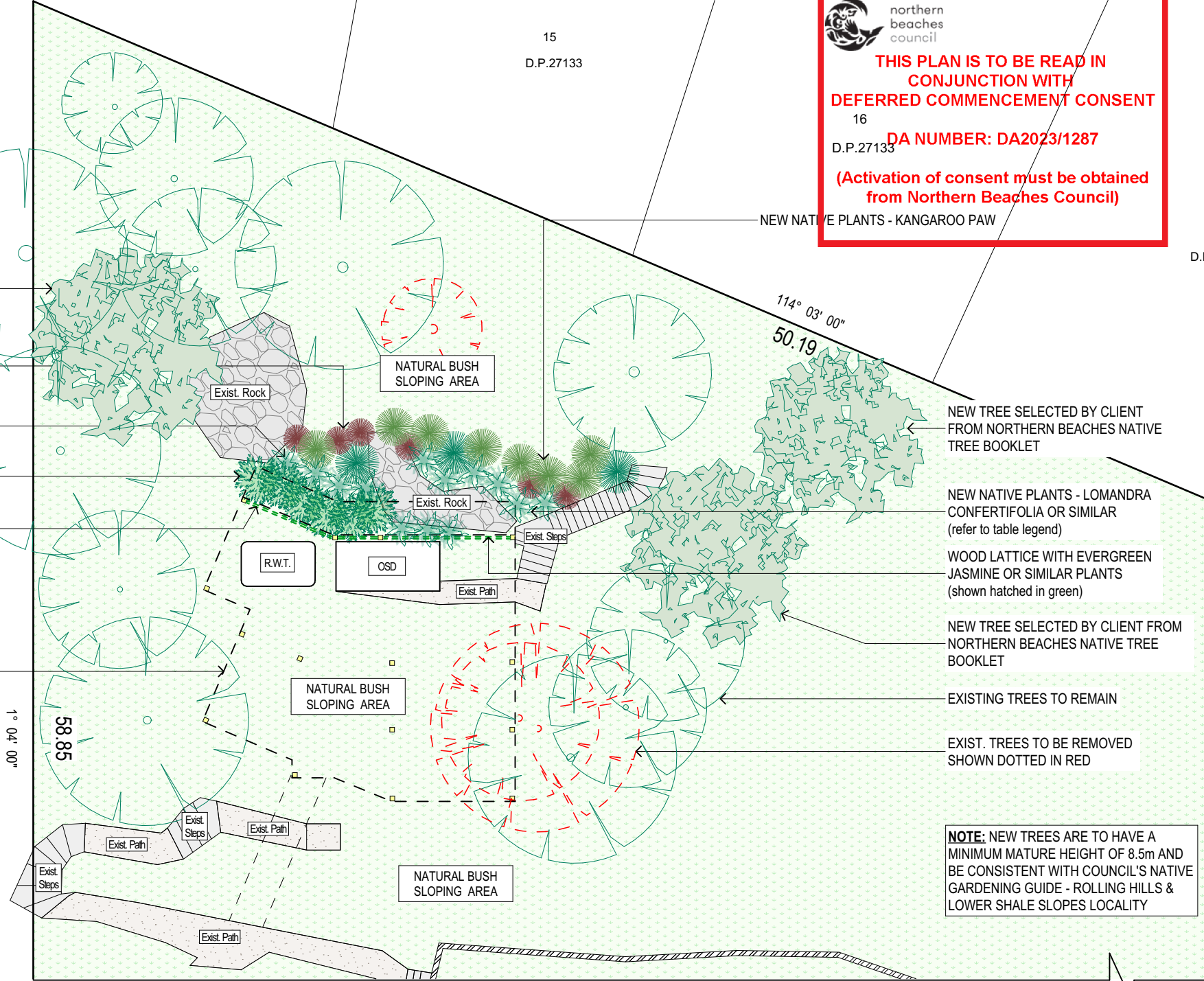
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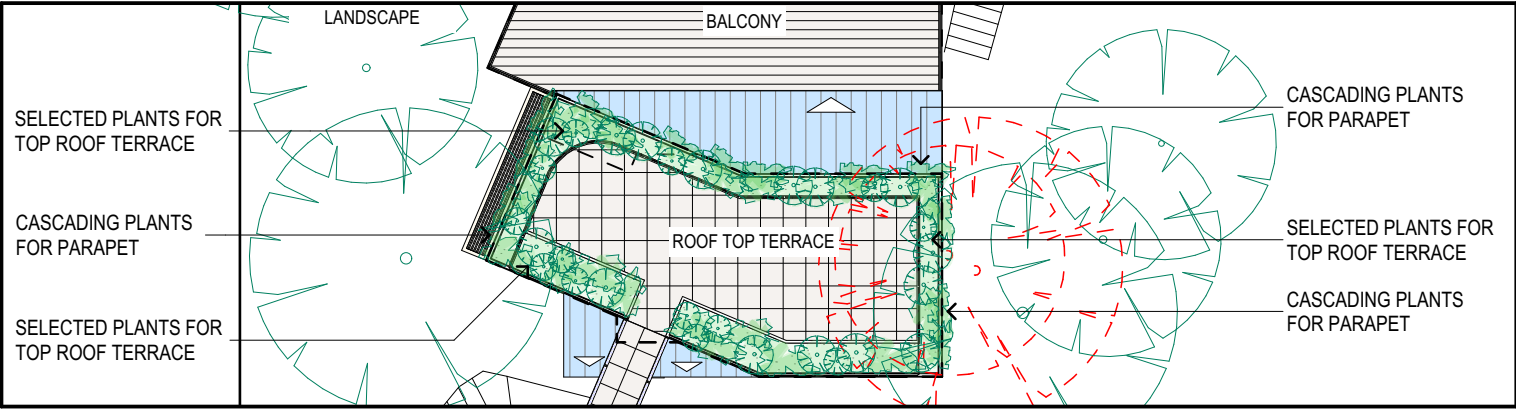
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13 ILYAAVENUE - BAYVIEW NSW 2104
CLIENT:
Rex Pemberton

DRAWING TITLE:
LANDSCAPE CONCEPT PLAN

DATE: April/22	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.12



LANDSCAPE CONCEPT PLAN



LANDSCAPE CONCEPT PLAN - ROOF TERRACE

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

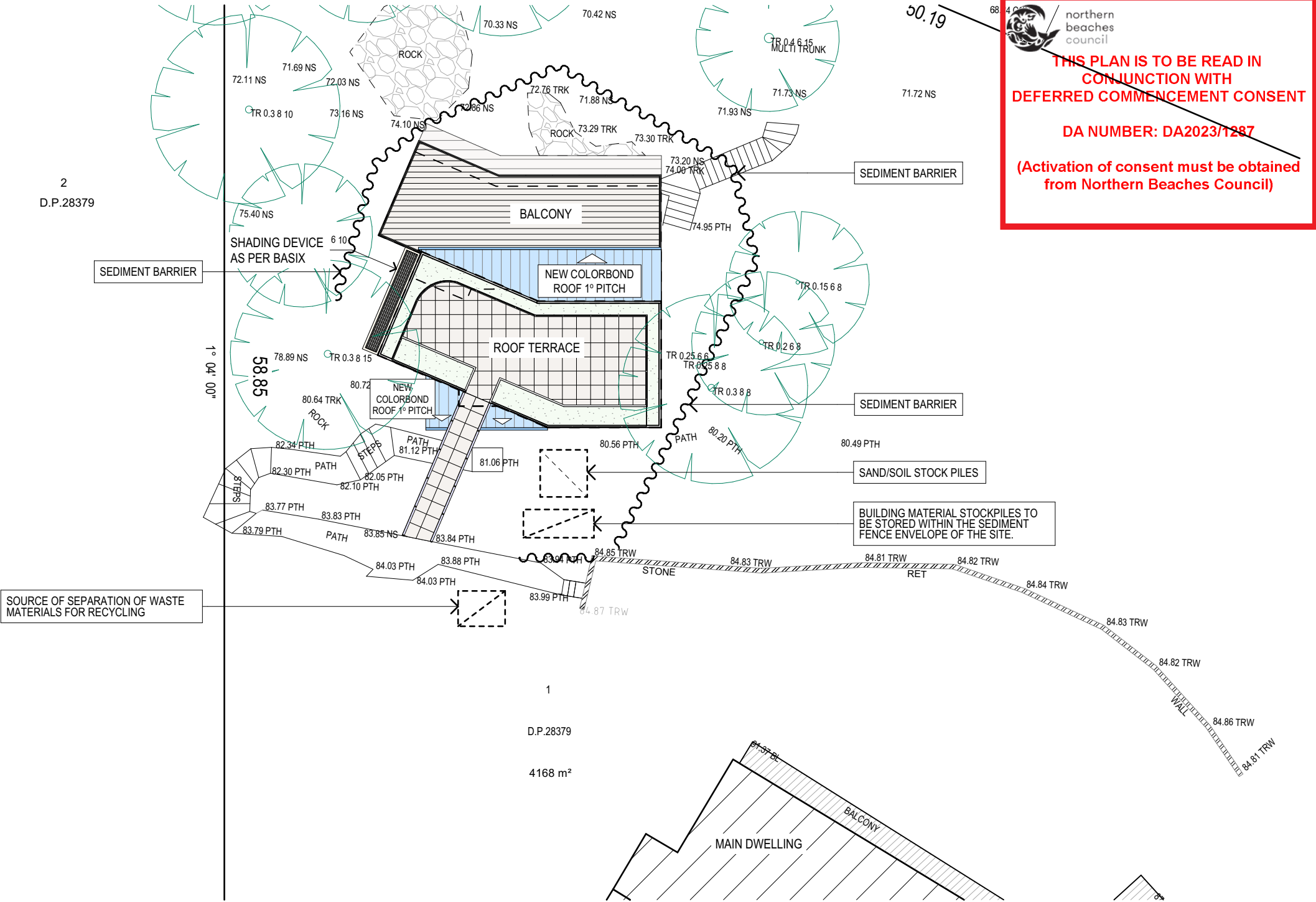
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



 northern beaches council

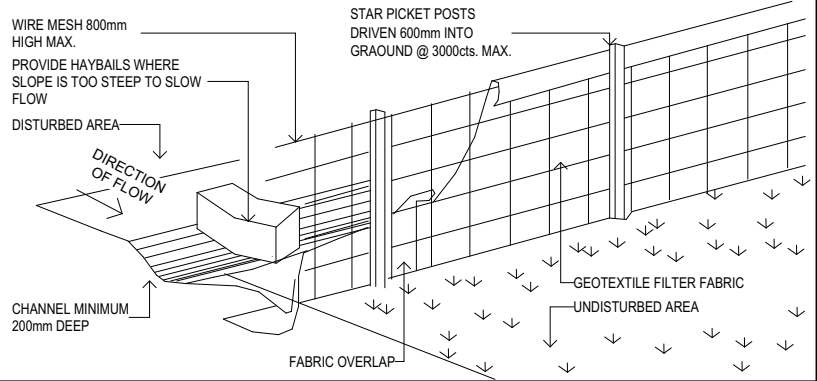
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2023/1287

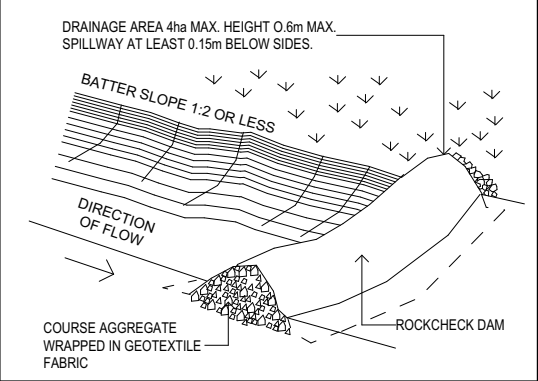
(Activation of consent must be obtained from Northern Beaches Council)

EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

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REV:	DATE:	DESCRIPTION:
A	01/09/22	PRELIM. DRAWINGS UPDATED
B	06/09/22	PRELIM. DRAWINGS UPDATED
C	30/01/23	LANDSCAPE CONCEPT PLAN DRAWING
D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE
MANAGFMFNT PI AN

DATE:
April/22

DRAWN BY:
LB

SCALE:
1:200 @ A3

JOB No:
1021/22

CHECKED BY:
JJ

DRAWING No:
DA.13