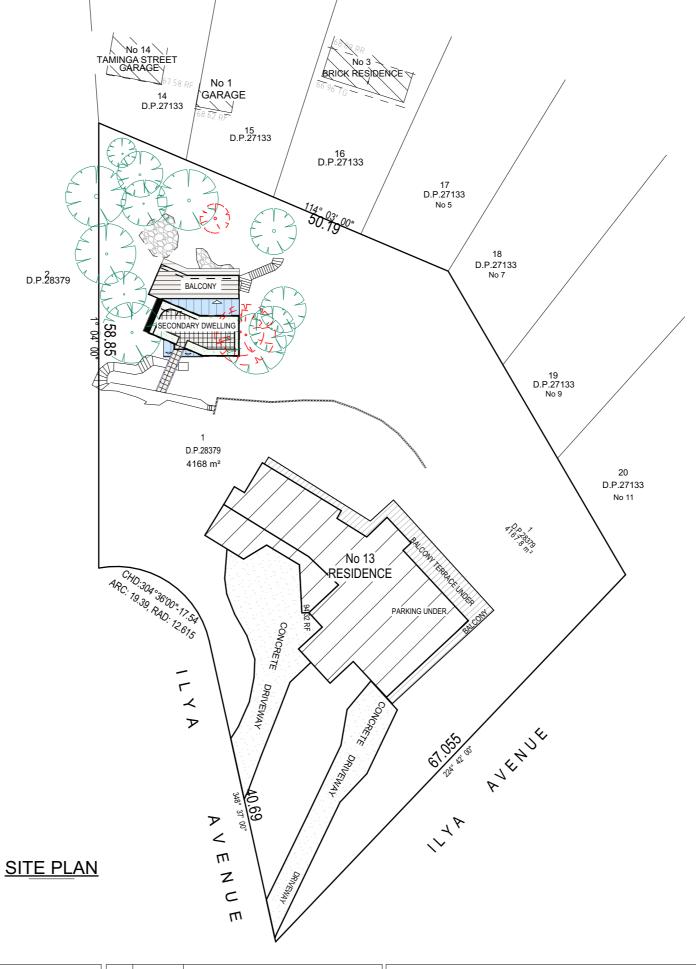


from Northern Beaches Council)







NOTES (E & OE)

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• All workmanship & materials shall be in accordance with the requirements of current editions.

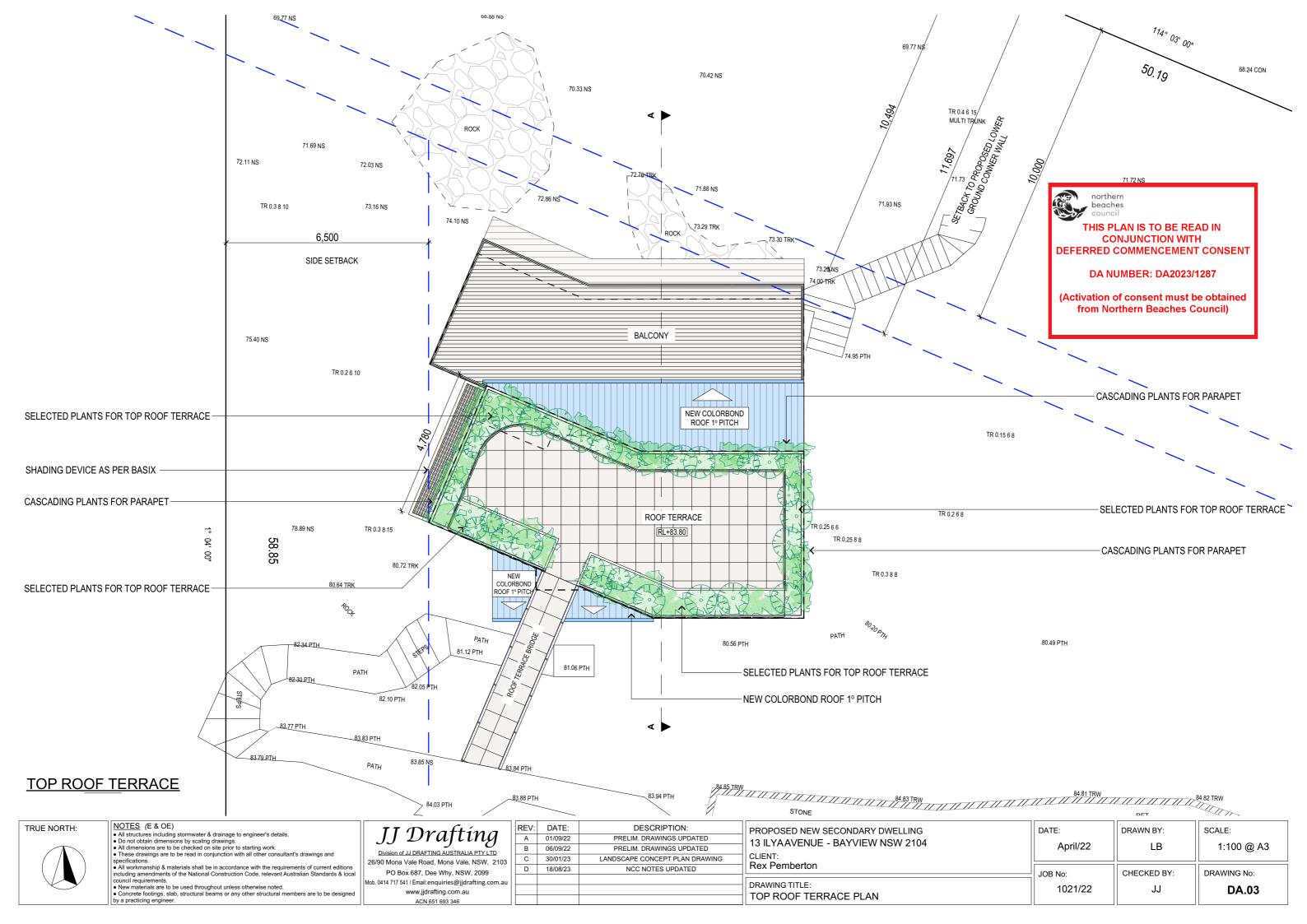
 All working amendments of the National Construction Code, relevant Australian Standards & local council requirements.
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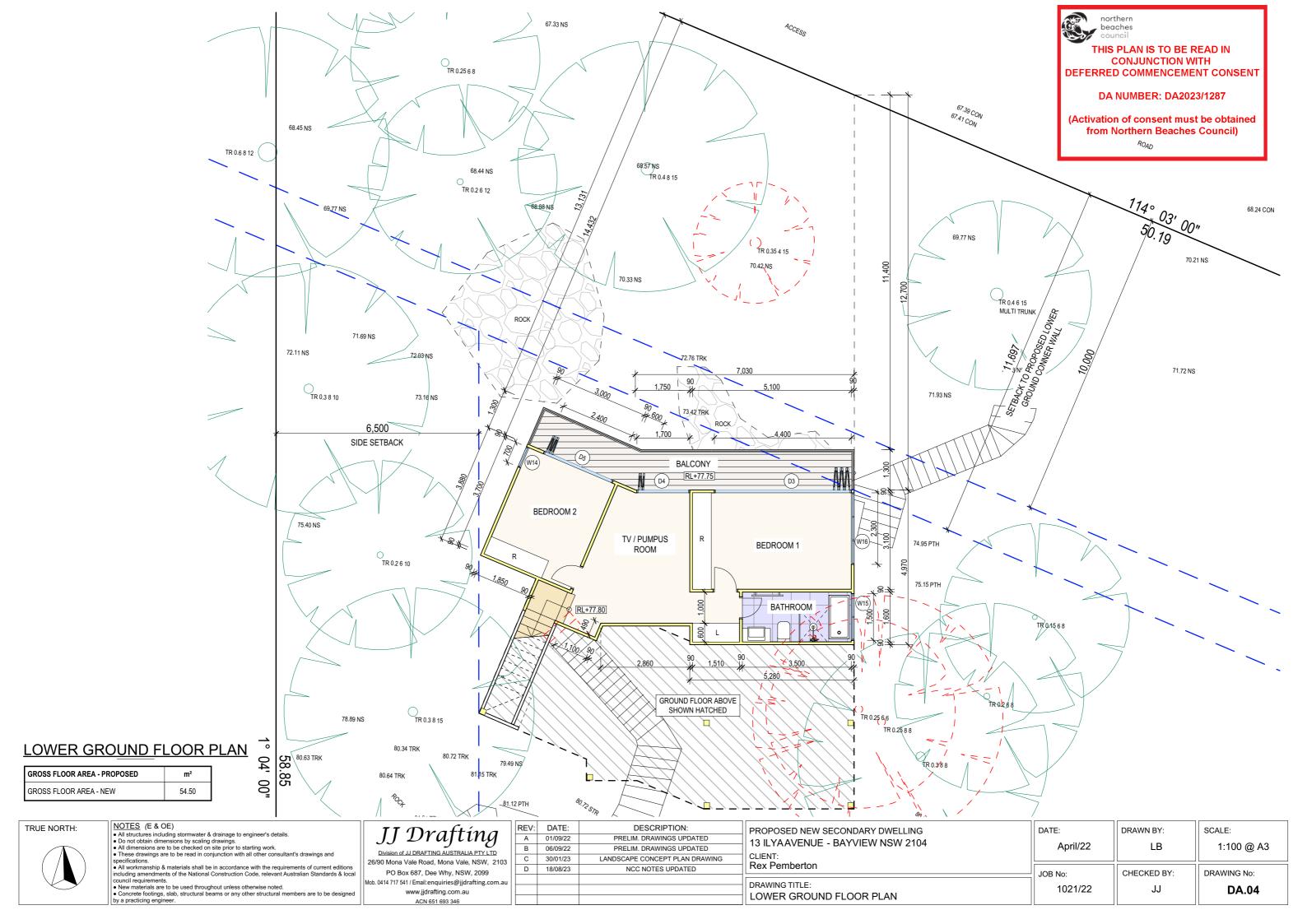
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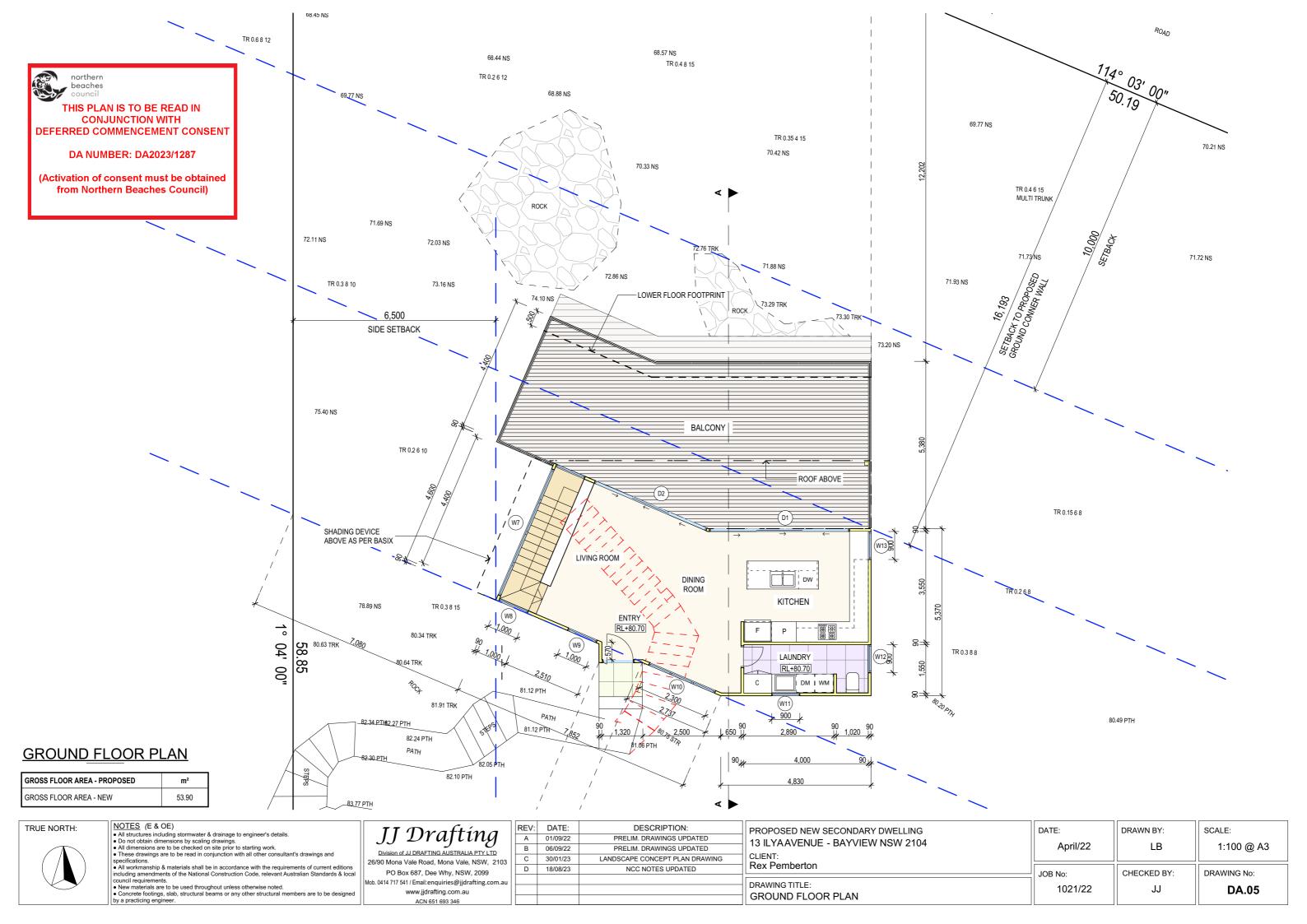
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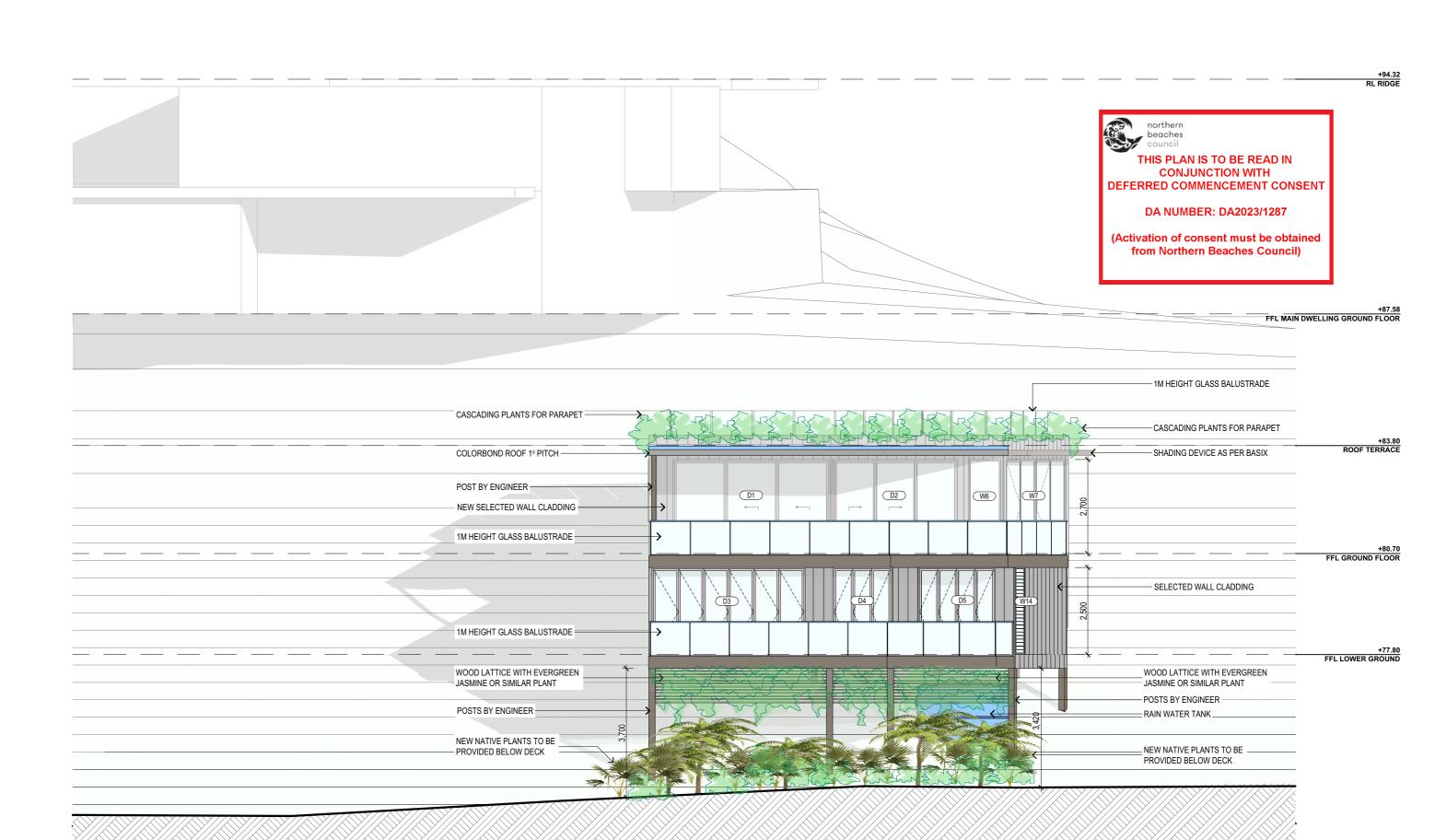
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# **NORTH ELEVATION**

NOTES (E & OE)

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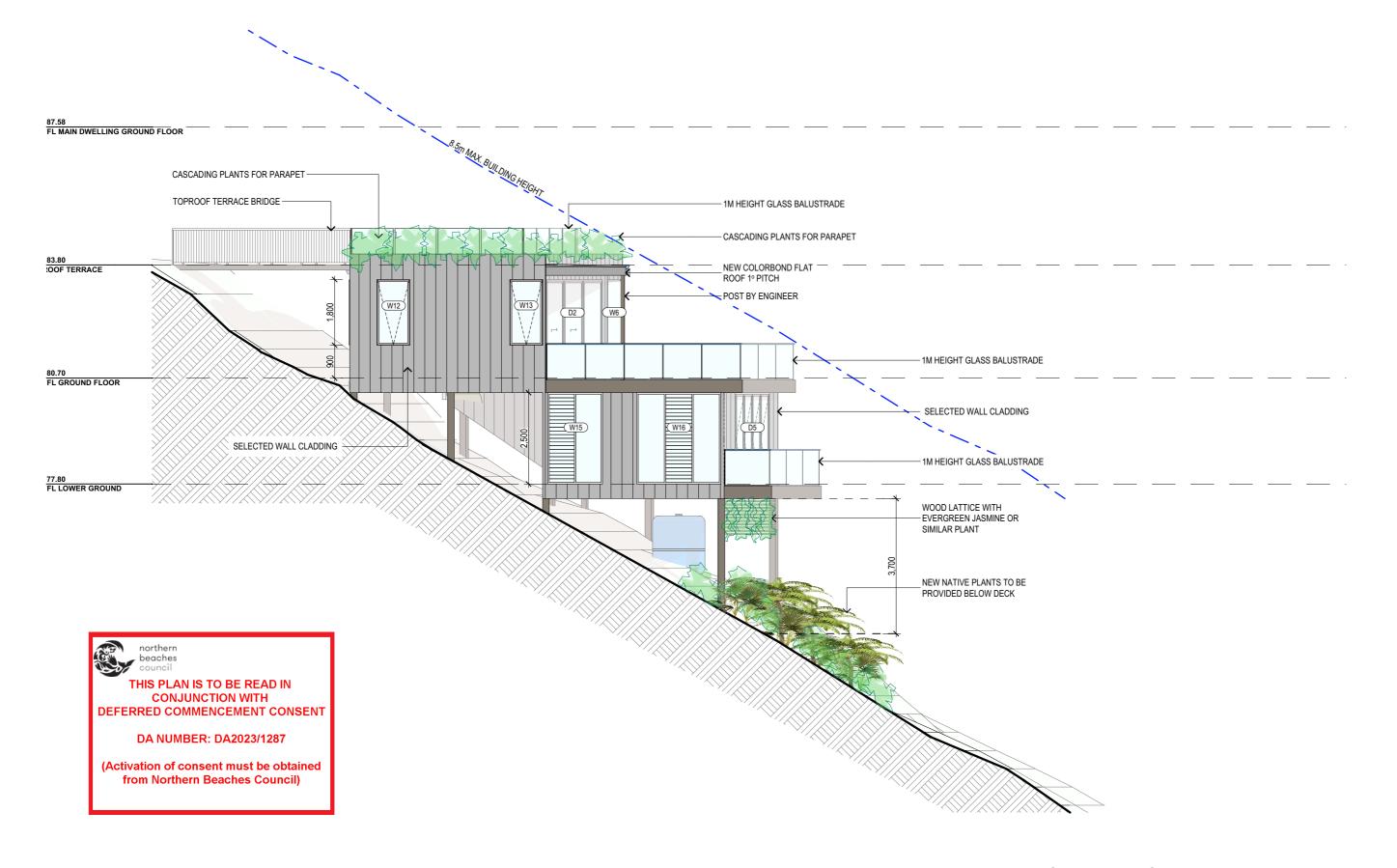
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PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104 CLIENT:	13 ILYAAVENUE - BAYVIEW NSW 2104	DATE: April/22	DRAWN BY:	SCALE: 1:100 @ A3
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ı	DRAWING TITLE: NORTH ELEVATION	1021/22	JJ	DA.06



# **EAST ELEVATION**

- NOTES (E & OE)

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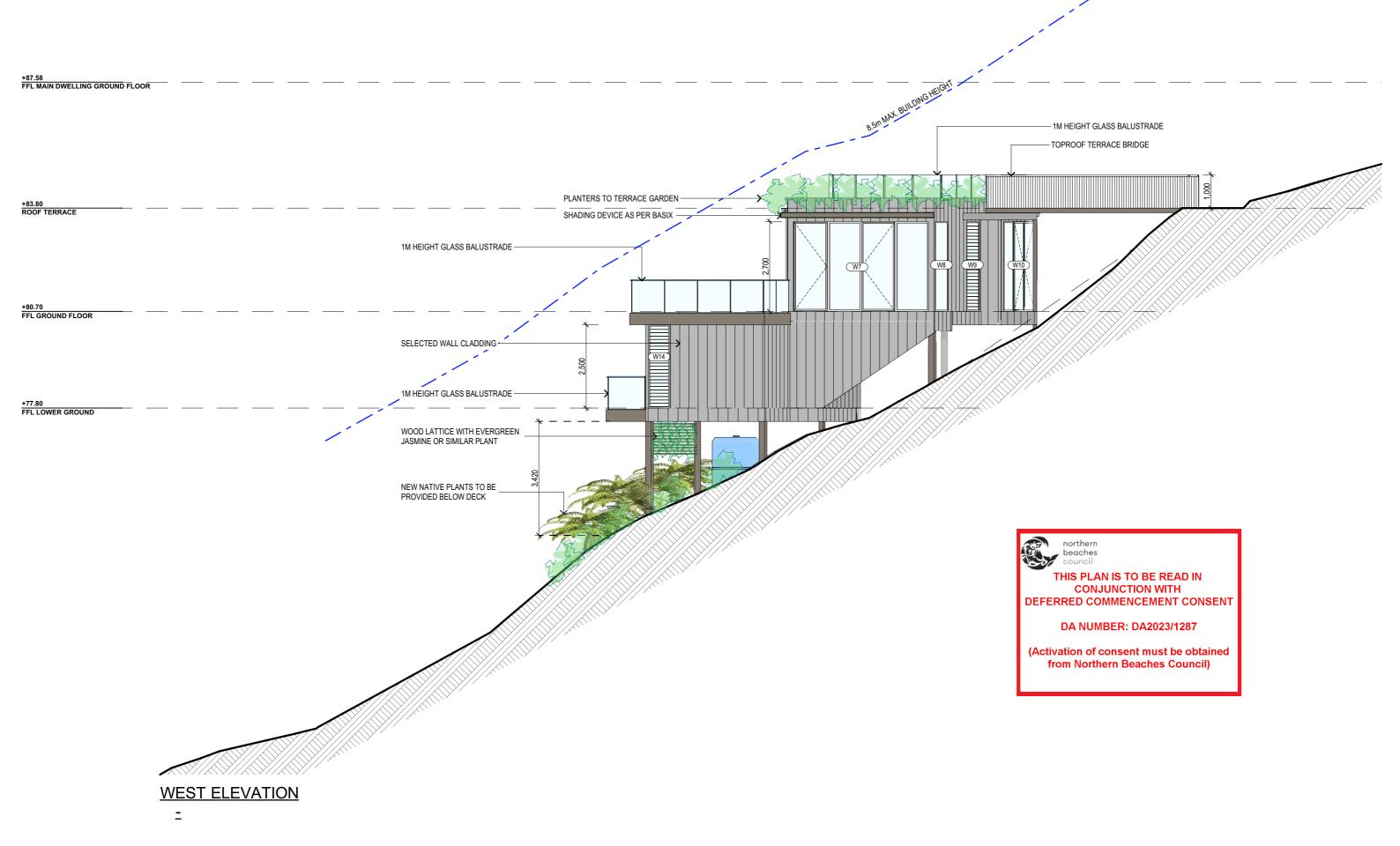
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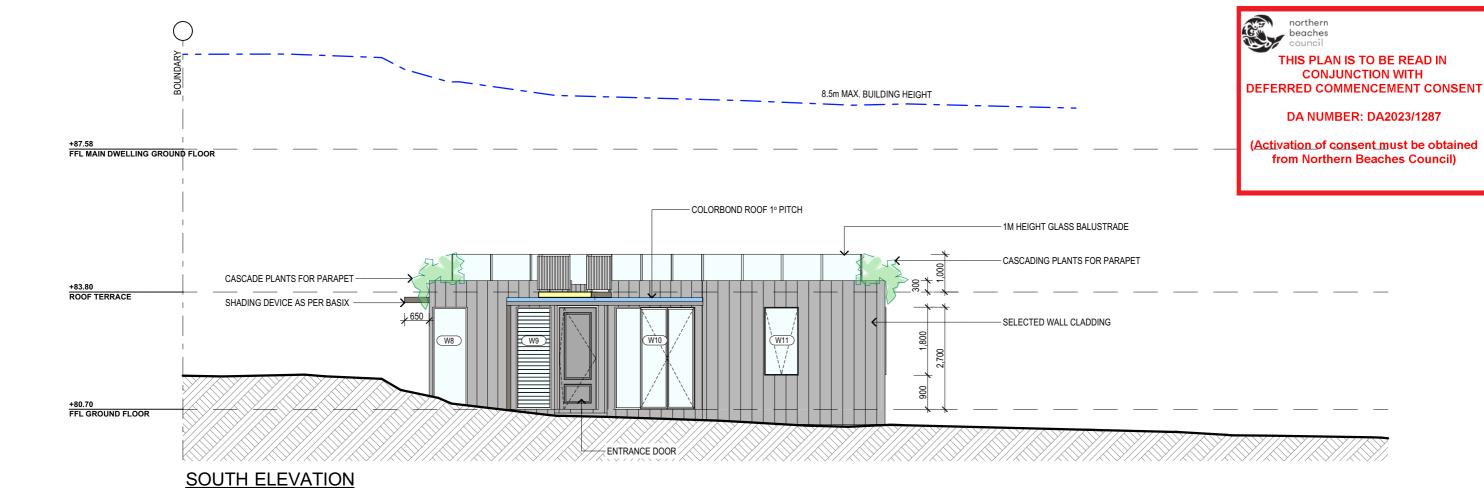
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## **BASIX REQUIREMENT:**

BASIX INCLUSIONS FOR 13 ILYAAVENUE - BAYVIEW

## **External walls**

Lightweight cladding on framed walls with R2.5 insulation (insulation only value) External colour:

Medium (0.475 < SA < 0.7)

## Walls within dwellings

Plasterboard on studs, no insulation required

Plasterboard on studs with R2.5 insulation on the internal walls of bathroom and laundry and habitable areas

## **Glazing doors/windows**

Glazed windows and doors:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)

Group B - sliding doors/windows + fixed glazing + louvred windows

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

## Upgrades as per NatHERS certificate:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 2.20 (equal to or lower than) SHGC: 0.32 (±10%)

Group B - sliding doors/windows

U-value: 3.60 (equal to or lower than) SHGC: 0.54 (±10%)

Group B - Fixed glazing

U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%)

Group B - Louvred windows

U-value: 4.90 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window system values (glass and frame)

External colour:

Medium (0.475 < SA < 0.7)

## **Floors**

Suspended timber floor with R4.0 insulation (insulation only value) to open and enclosed suspended areas

## Roof and ceilings

Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above

External colour

Medium (0.475 < SA < 0.7)

Ceiling penetrations

Sealed LED downlights, as per electrical plan, modelled as 150mm

Sealed externally ducted exhaust fans, modelled as 200mm diameter Ceiling fans 1300mm diameter to bedrooms, living room and rumpus Penetrations not to exceed NatHERS certificate

### Floor coverings

Tiles to wet areas; carpet with rubber underlay to bedrooms and rumpus; timber elsewhere

## External shading

Shading as per stamped drawings

### **Ventilation**

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights will be sealed.

## **BASIX Water Commitments**

## Fixtures

Install showerheads minimum rating of 3 stars - High flow (>7.5 and <= 9 litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with a minimum rating of 3 stars in the kitchen Install taps with a minimum rating of 3 stars in each bathroom

## Alternative water

Install rainwater tank, minimum 3,000L capacity collected from min. 150m² roof area. Tank connected to - at least one outdoor tap, and all toilets

## **BASIX Energy Commitments**

Hot water system

Gas instantaneous - 6 Stars

## Cooling system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5 Day-night zoned

### Heating system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5 Day-night zoned

Bathrooms - individual fan, externally ducted to roof or façade, manual on/off switch Kitchen - individual fan. not ducted, manual on/off switch

Laundry - individual fan, externally ducted to roof or façade, manual on/off switch

## Other

Electric cooktop & electric oven Outdoor clothes drying line

## **Alternative Energy**

1kW PV System

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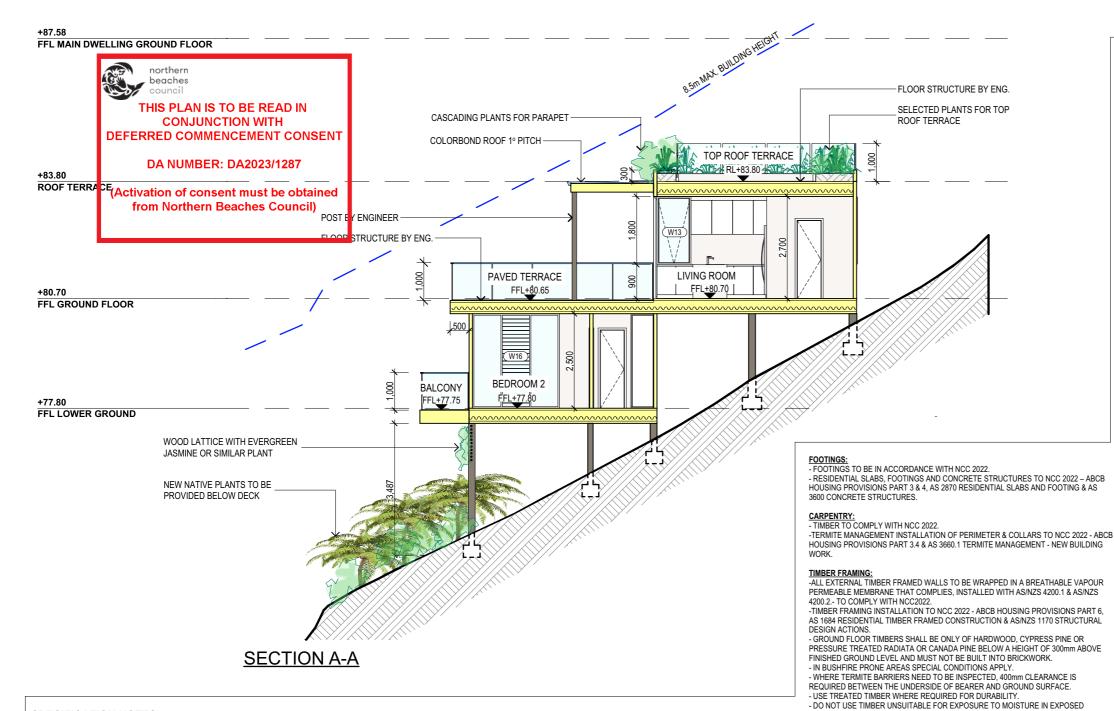
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Rex Pemberton	
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## **SPECIFICATION NOTES**

## INTERNAL LINING

PROVIDE PLASTERBOARD LINING.

- LIGHTWEIGHT METAL WALL CLADDING. - ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 - ABCB

HOUSING PROVISIONS PART 7 AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES. - ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

## CONDENSATION MANAGEMENT:

- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8

GROUND FLOOR TO BE SUSPENDED TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING. FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

- ALL WATERPROOFING TO NCC 2022 – ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANI FACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

## PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING

- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS 1562.

# ROOF TILES OR SHINGLES: - NCC VOL.2 PART 3.5.2.

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE

### BRICK AND BLOCKWORK:

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- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH

TERMITE CONTROL:
- TO BE IN ACCORDANCE WITH TO NCC2022.

FLASHING AND CAPPINGS:
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS

- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER

- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION. - DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS

PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

### CONCRETE BLOCKS OR BRICKS: TO COMPLY WITH TO NCC2022

LIGHTING:
-40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

### WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH NCC2022

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC2022 ALUMINIUM WINDOWS AND TIMBER
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

### STAIRS, HANDRAILS AND BALUSTRADES:

- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN NCC2022.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm. - THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

### SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN NCC2022.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

# STORMWATER: EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- IN ACCORDANCE WITH NCC 2022
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

### GLAZING:

- -ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

### FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.7.5
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1a AND 1b MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SECTIONS 3.7.5.3 and 3.7.5.4.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 ABCB HOUSING PROVISIONS
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING NCC 2022 VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

## WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

### SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER

SWIMMING POOLS & SAFETY: -POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY -

WATER RECIRCULATION SYSTEMS - ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 - 2012 - SAFETY BARRIERS FOR SWIMMING

POOLS, AS NCC2022 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH NCC2022 - SAFETY GLASS,

- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

### MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4. - GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

## NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH

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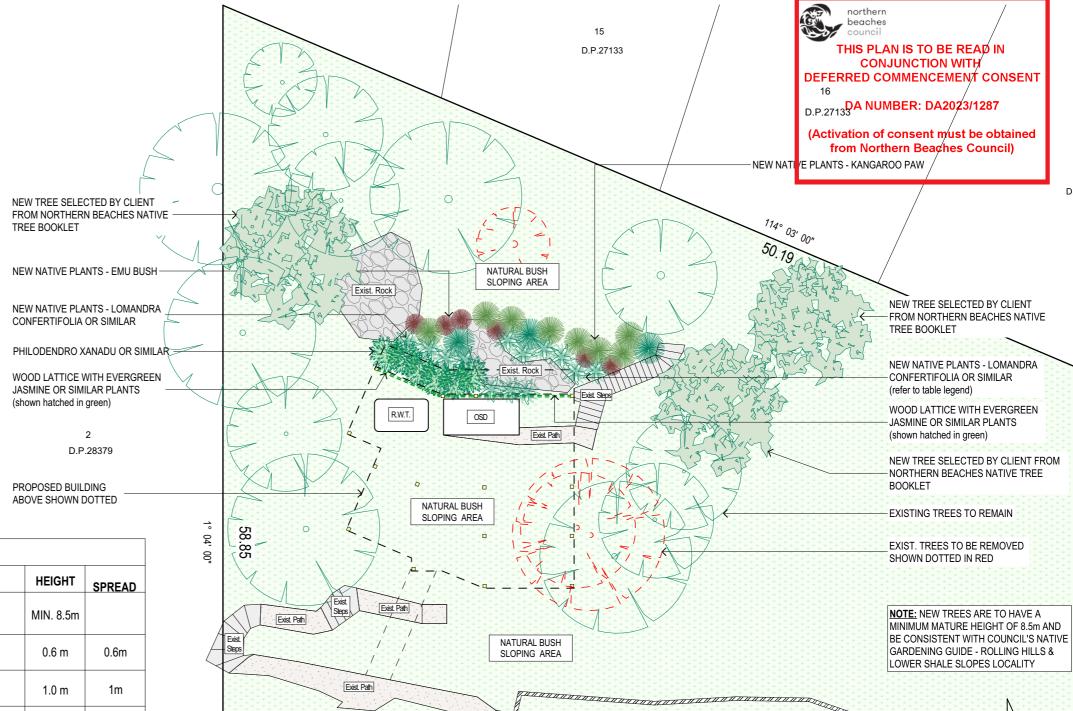
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Rex Pemberton	JOB No:	CHECKED BY:
DRAWING TITLE:	1021/22	JJ
SECTION AA / SPECIFICATION NOTES	1021/22	





PLANTS TABLE - LEGEND:				
SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD
	NEW TREE SELECTED BY CLIENT FROM NORTHERN BEACHES NATIVE TREE BOOK	LET	MIN. 8.5m	
A	NATIVE PLANTS - LOMANDRA CONFERTIFOLIA	Seascape	0.6 m	0.6m
	NATIVE PLANTS - EMU BUSH	Eremophila Maculate	1.0 m	1m
	NATIVE PLANTS - KANGAROO PAW or SIMILAR	Anigozanthos	1.5 m	3m
	PHILODENDRO 'XANADU' or SIMILAR	Thaumatophyllum Xanadu	1.5 m	2m
End	SELECTED CASCADE SILVER FALLS	Dichondra	1.0 m	0.5m
End.	PLANTS (EXAMPLES): TRAILING ROSEMA	ARY Anigozanthos	0.5 m	3m
<b>(3)</b>	SELECTED PLANTS BY CLIENT	-	-	-
	EXISTING TREE TO REMAIN	-	-	-
Z.	EXISTING PALM TREE TO REMAIN	-	-	-
CTO .	EXISTING TREE TO BE REMOVED	-	-	-

## LANDSCAPE BALCONY CASCADING PLANTS SELECTED PLANTS FOR FOR PARAPET TOP ROOF TERRACE CASCADING PLANTS SELECTED PLANTS FOR FOR PARAPET TOP ROOF TERRACE CASCADING PLANTS FOR PARAPET SELECTED PLANTS FOR TOP ROOF TERRACE LANDSCAPE CONCEPT PLAN - ROOF TERRACE

# TRUE NORTH:



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LANDSCAPE CONCEPT PLAN

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PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104	DATE: April/22	DRAWN BY:
CLIENT: Rex Pemberton	JOB No:	CHECKED BY:
DRAWING TITLE: LANDSCAPE CONCEPT PLAN	1021/22	JJ

SCALE:

DRAWING No:

1:200 @ A3

**DA.12** 

## **NOTES**

### DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT

### TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN MPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

### **BUILDING MATERIAL STOCKPILING**

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

### DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE

## **EROSION & SEDIMENT CONTROLS**

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE

## SEDIMENT TRAPS

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE

### **DIVERSION CHANNELS**

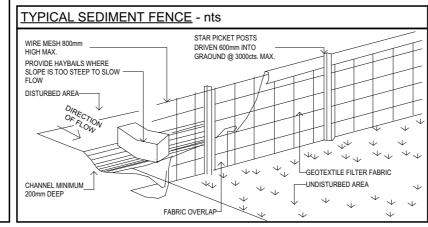
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE JSED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING

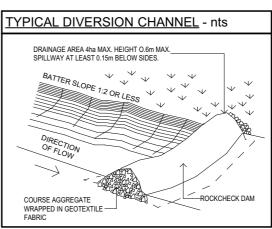
### VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

### beaches MULTI TRUNK 74.10 NS ROCK S PLAN IS TO BE READ IN 71.69 NS 71.88 NS 73.29 TRK 73.30 TRK 73.20 TRK 74.00 TRK CONJUNCTION WITH 72.11 NS 72.03 NS 71.73 NS 71.72 NS **DEFERRED COMMENCEMENT CONSENT** 71.93 NS TR 0.3 8 10 73 16 NS ROCK 73.29 TRK DA NUMBER: DA2023/1287 (Activation of consent must be obtained SEDIMENT BARRIER from Northern Beaches Council) D.P.28379 75.40 NS BALCONY 74.95 PTH SHADING DEVICE 6 10 C AS PER BASIX SEDIMENT BARRIER NEW COLORBOND ROOF 1º PITCH R.0.15 6 8 78.89 NS ROOF TERRACE GR 0.3 8 1 2 0 85 80.72 ₹R 0.3 8 ß 80.64 TRK COLORBOND SEDIMENT BARRIER PATH 81.12 PTH 80.49 PTH 80.56 PTH 82.34 PTI 81.06 PT SAND/SOIL STOCK PILES 82.05 PTH 83.77 PTH \_ 83.83 PTH 83.79 PTH FENCE ENVELOPE OF THE SITE. PATH 84.83 TRW 83.88 PTH 84.03 PTH 84.03 PTH 83.99 PTF SOURCE OF SEPARATION OF WASTE MATERIALS FOR RECYCLING D.P.28379 4168 m<sup>2</sup> MAIN DWELLING

# **EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN**





### TRUE NORTH:



- NOTES (E & OE) All structures including stormwater & drainage to engineer's details
  Do not obtain dimensions by scaling drawings.
  All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and All workmanship & materials shall be in accordance with the requirements of current edition
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- by a practicing engineer

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	REV:	DATE:	DESCRIPTION:
	Α	01/09/22	PRELIM. DRAWINGS UPDATED
	В	06/09/22	PRELIM. DRAWINGS UPDATED
.	С	30/01/23	LANDSCAPE CONCEPT PLAN DRAWING
	D	18/08/23	NCC NOTES UPDATED
П			

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