

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2004/424

Council	Pittwater
Determination date of determination	Approved 23 December 2004
Subject land Address Lot No, DP No.	118 Riverview Road, Avalon Lot 57 DP 24563
Applicant Name Address Contact No. (phone)	Mr Mark Lewis 57 Trappers Way, Clareville NSW 2107 9918 6774
Owner Name Address Contact No. (phone)	Mr Mark Lewis & Ms Wendy Sillence 57 Trappers Way, Clareville NSW 2107 9918 6774
Description of Development Type of Work	Alterations & additions to an existing dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	Keith Root Building Services 40028
Value of Work Building	\$299,000.00
Attachments	1. Pittwater Council receipt no. 155371, dated 9 November 2004, for payment of Long Service Levy

**COUNCIL
COPY**

Plans & Specification**approved**

List plans no(s) & specifications

Reference

1. Architectural Details, reference no. 682-01 to 05 (inclusive) and Construction Specifications prepared by JD Evans & Company Pty Ltd, dated June 2004
2. Sydney Water Approval dated 22 December 2004
3. Sediment & Erosion Control Plan, reference no. 682-07, prepared and certified by JD Evans & Company Pty Ltd, dated 28 June 2004
4. Structural Details, reference no. 0415, Drawing no. S2(A), prepared and endorsed by Taylor Thomson Whitting, Consulting Engineers, dated 26 November 2004, endorsed by Jeffery & Katauskas Pty Ltd Geotechnical Engineer
5. Completed *Form 2* of Pittwater Council's Geotechnical Risk Management Policy, dated 1 December 2004

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed**Date of endorsement
Certificate No.**23 DEC 2004
2004/424

Certifying Authority

Name of Accredited Certifier

Accreditation No.

Accreditation Authority

Contact No.

Address

Tom Bowden

93

Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)

(02) 9999 0003

13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.

Date of Determination

NO 474/04

19 August 2004

BCA Classification

1a

Pittwater Council

OFFICIAL RECEIPT

09/11/2004 Receipt No 155371

To WENDY GILLENCE & MARK LEWIS

Applic Reference	Amount
GL Re: QLSL-Buil N0615/03	\$793.50

Total: \$793.50

Amounts Tendered

Cash	\$800.00
Cheque	\$0.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$800.00
Rounding	\$0.00
Change	\$6.50
Nett	\$793.50

Printed 09/11/2004 11:10:01

Cashier GH11

Syncarpia Vegetation Management

P.O Box 294 Church Point 2105 Fax: 99731649 Mob: 0403074075
Email:juliastanton@ozemail.com.au ABN: 70 451 712 942

Matters to be satisfied prior to issue of construction certificate and prior to commencement of work - Bushland Management

Property 57 Trappers Way (118 Riverview Road)
DAN0615/03
DAN0474/04

I Julia Stanton of Syncarpia Vegetation Management am a qualified Bushland Management Consultant/Ecologist.

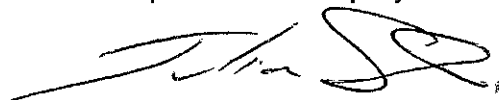
I hold the following qualifications

B.Sc. (Environmental and Urban Horticulture) MAABR, MAIH, MISA

I certify the following has been completed in accordance with the conditions of Development Consent DA N0615/03 (C1, E36) DAN0474/04 (C7):

- I have been engaged to supervise a program of Bushland Management in accordance with the Vegetation Survey, Habitat Assessment Bushland Management/, and Landscape Concept Plan prepared by Syncarpia Vegetation Management dated August 2003 (C1);
- Screen planting details (screen 50% of the built form when viewed from the street) incorporating locally indigenous species are provided in approved Bushland Management/, and Landscape Concept Plan prepared by Syncarpia Vegetation Management dated August 2003 (E36).
- A pre-order of local native plants has been arranged with Tharwa Propagation Nursery and Harvest Seeds and Native Plants in accordance with the requirements of the approved Bushland Management/, and Landscape Concept Plan prepared by Syncarpia Vegetation Management dated August 2003. Both Nurseries have confirmed they grow a range of indigenous plant species listed in the revegetation Planting Schedule from propagation material sourced from the Pittwater Council area (C7).

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.



Julia Stanton

08/12/2004

Harvest Seeds & Native Plants - ABN 33 059 101 558

325 McCarrs Creek Road
TERREY HILLS NSW 2084
Ph: 61 2 9450 2699 Fax: 62 2 9450 2750
www.harvestseeds-nativeplants.com.au

TAX INVOICE

DATE	INVOICE NO.
3/12/2004	6695

BILL TO

SHIP TO

P.O. No	TERMS	DUE DATE	PROJECT
	COD	3/12/2004	

QTY/...	DESCRIPTION	RATE/gm	DIS...	AMOUNT	GST ...	GST
3	Eucalyptus maculata tree tubes DEF 6/15/03 6/15/03 - 89	5.50		16.50	GST	1.50

	GST	1.50
	Total	\$16.50

[illegible]

WEC4.5

2/12/2004

Sales Docket

Kate's Family Pets

22 MacPherson St

Warriewood NSW 2102

Ph: 02 9999 4920 Fax: 02 9999 1620

Served By ANNETTE

Docket No.	Date	Time
5672	8/12/2004	12:12

Description	Ext.
-------------	------

PARROT BREEDING BOX WOODEN	
13.5909 x 1	\$13.59

PEACHFACE BREEDING BOX WOODEN	
9.9091 x 1	\$9.91

Subtotal	\$23.50
Tax	\$2.35
Total inc	\$25.85
No. of Items (2)	
Payment Details:	
Cash	\$50.00
Change:	
Cash	\$24.15

DA 474 / 04

COUSIN D192

26 November 2004

041599

Keith Root Building Services Pty Ltd
PO Box 577
AVALON BEACH NSW 2107

Attention: Tony Root

**118 RIVERVIEW ROAD CLAREVILLE – ALTERATIONS AND ADDITIONS
DESIGN CERTIFICATE**

Dear Sir,

We certify that we have prepared the structural design of the alterations and additions to 118 Riverview Road, Clareville as shown on Drawing No. 041599 – S1 and S2 in accordance with the following Australian Standards:

AS 3600	Concrete Structures
AS 4100	Steel Structures

and the structure shown would be sufficient to carry the relevant loads specified in the AS 1170 Parts 0, 1 and 2, Minimum design loads on structures.

For and on behalf of
TAYLOR THOMSON WHITTING PTY LTD

Rex Van Katwyk

REX VAN KATWYK
Director

P:\2004\0415\041599\041126 Design Certificate.rvk-vo.doc

**COUNCIL
COPY**

Taylor Thomson
Whitting Pty Ltd
Consulting Engineers

ABN 23 882 481 909

ACN 001 282 711

48 Chandos Street

St Leonards

NSW 2065

PO Box 738

Crows Nest

NSW 2065

Telephone

61 2 9439 7288

Facsimile

61 2 9439 3146

Email

ttwsyd@ttw.net.au

Website

www.taylorthomson.com.au



**Quality
Endorsed
Company**
ISO 9001
QEC 6625/01



Structural Civil Traffic Facade Engineers

Directors:

RT Green BE(Hons) M Eng Sc FIE Aust.
D Carolan BE(Hons) M Eng Sc MIE Aust.
R Van Katwyk BE(Hons) Dip Struct Eng MIE Aust.
R Mackenzie BE(Hons) MIE Aust.
B Young BE(Hons) MIE Aust.

Technical Directors:

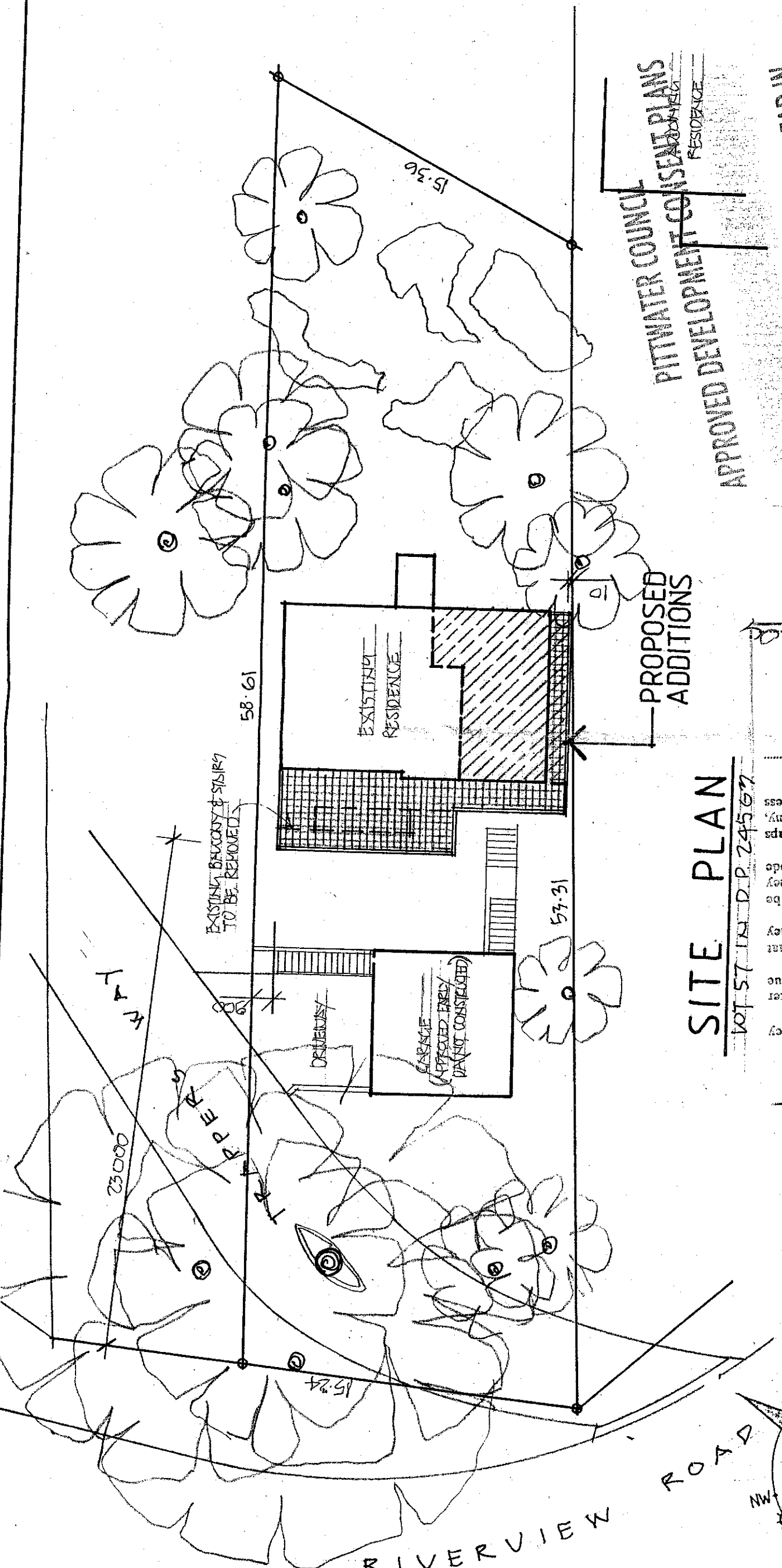
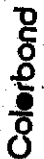
P Yannoulatos BE(Hons) Grad Dip LGE MIE Aust.
G Barton BE(Hons) BSc.
M Eddy BE(Hons).

Consultant:

D Marwood BE M Eng Sc FIE Aust.

Associates:

B Smith BE(Hons) M Eng Sc MIE Aust.
D Jeffries BE MIE Aust.
S Blair BE(Hons).
J Trezona BE(Hons) M Eng Sc MIE Aust.
R McCougall BE MIE Aust.
M Hannessey BSc(Eng)(Hons) Dip Eng(Struct)



SITE PLAN

LOT 57 IN DP 24567

SYDNEY WATER
APPROVED

1. Position of structure in relation to Sydney Water assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainlayer.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any plumbing and/or drainage work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, inspection shafts and boundary traps shall not be placed under any roof, balcony, verandah, floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 24567/50683

Reece, Mona Vale
Quick Check Agent on behalf of SYDNEY WATER

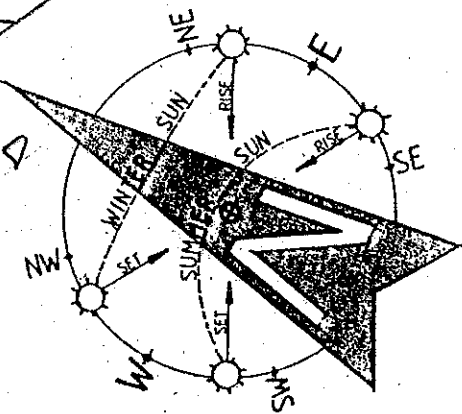
Reece 22.19.00

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	110	40 (200)	
ROOF AREA	110	NO INCREASE	
SITE COVERAGE (HARD SURFACE)	267 (25%)	215 (21%)	
LANDSCAPING AREA	509 (73%)	565	
SITE AREA	804	NOT APPLICABLE	

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



- 1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- 2. All dimensions that relate to site boundaries and easements are to be verified by a site survey.
- 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
- 4. Any building in addition to what is supplied shall be approved by the owner and the builder to the owner's approval, except for any structural alterations or design which it is to be supplied by a Structural Engineer.
- 5. Road water and sewerage drains to be determined by the approved inspector or as directed by local council inspectors.
- 6. Road water and sewerage drains to be determined by the approved inspector or as directed by local council inspectors.
- 7. All water and sewerage drains to be determined by the approved inspector or as directed by local council inspectors.
- 8. Make due and proper regard of existing features (damaged by new work). Remove existing materials where possible.

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J.D. EVANS AND COMPANY PTY. LTD.
118 RIVERVIEW ROAD
CLAREVILLE N.S.W. 2107
Mobile 041 976 576

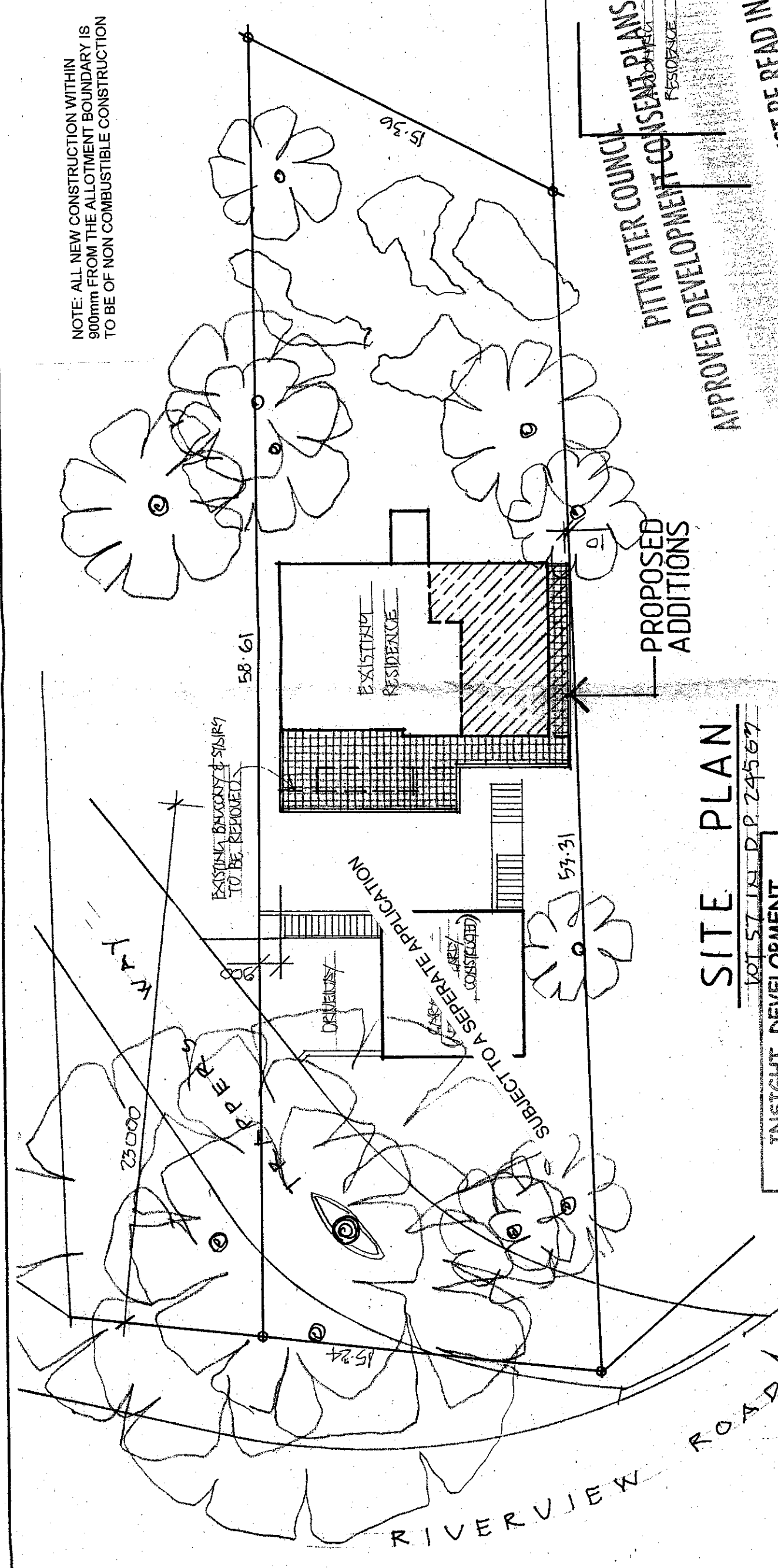
NO.	AMENDMENT	DATE



J.D. EVANS AND COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE. AVALON BEACHES, 2107
Ph: (02) 976 576 Fax: (02) 976 576
Mobile: 041 976 576

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 118 RIVERVIEW ROAD
CLAREVILLE N.S.W. 2107
CLIENT
MARK LEWIS & WENDY SILLENCE

DATE: JUNE 2004 SCALE: 1:200
DRAWN: JDE CHECKED: JDE
DRAWING NO. **682-01** ISSUE



SITE PLAN

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
 CONSENT NO. 474/04. DATE 19/8/04
 CONSTRUCTION CERT. NO. 2004/424
CONSTRUCTION CERTIFICATE PLANS
 Bowden 23 DEC 2004
 T. Bowden Accreditation No. 93

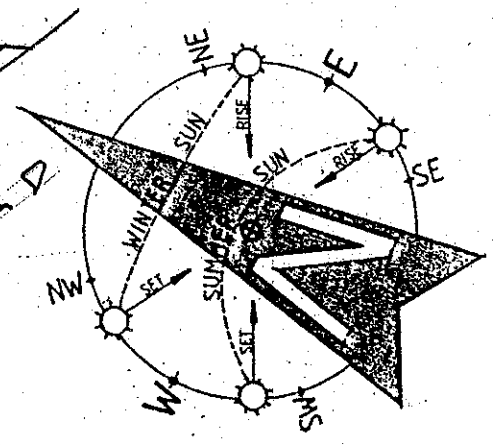
WARNING
 PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
 Dial Before You Dig 1100

ILLEGALLY COPIED

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	60	40 (200)	
ROOF AREA	158	NO INCREASE	
SITE COVERAGE (HARD SURFACE ETC)	207 (25%)	215 (27%)	
LANDSCAPING AREA	509 (73%)	565	
SITE AREA	804	NOT APPLICABLE	

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



PROJECT: PROPOSED ALTERATIONS/ADDITIONS
 No. 118 RIVERVIEW ROAD
 CLAREVILLE N. S. W. 2107
 CLIENT: MARK LEWIS & WENDY SILLENCE

DATE: JUNE 2004
 SCALE: 1:200
 DRAWN: JDE
 CHECKED: []
 ISSUE: 682-01

J.D EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVERVIEW AVE, AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
 Mobile 048 976 596

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 ALL RIGHTS AND COPYRIGHTS RESERVED BY J.D EVANS and COMPANY PTY. LTD.
 74 RIVERVIEW AVE, AVALON BEACH, NSW

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a surveyor.
 3. All work to be in accordance with BUILDING CODE of Australia and all other relevant codes.
 4. All work to be in accordance with the relevant Building Code of Australia and all other relevant codes.
 5. All work to be in accordance with the relevant Building Code of Australia and all other relevant codes.
 6. Read notes & schedule drawings to be completed in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by a qualified electrician.



Smoke alarm.

ALL FIBRE CEMENT DECKING, EXTERNAL CLADDING, WET FLOORING AND WALLING AREAS ARE TO BE LAID AND FIXED IN ACCORDANCE WITH THE APPROPRIATE JAMES HARDIE FIXING MANUAL.

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 118 RIVERVIEW ROAD
CLAREVILLE N. S. W. 2107

CLIENT
MARK LEWIS & WENDY SILLENCE

WILF EVANS and COMPANY, PTY. LTD.

BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

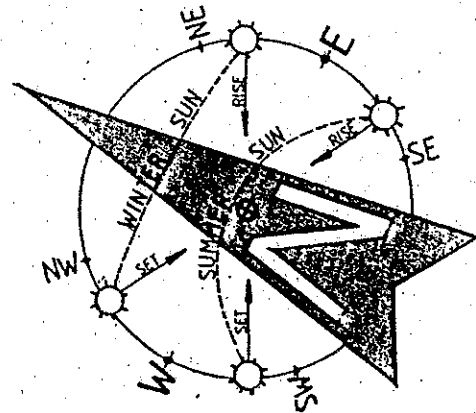
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PRIOR WRITTEN PERMISSION WILL RESULT IN
LEGAL PROCEEDINGS.

J.D. BYRNE AND COMPANY PVT. LTD.
INDIANAPOLIS, INDIANA 46204-1598

1. Bidder to check the accuracy of necessary documents as also refer to correspondence. Do not send the drawing.
2. All documents that relate to bid documents and instruments are subject to verification by site survey.
3. All tender to be in accordance with BUILDING CODE of AUSTRALIA & to local solicitation requirements & other authorities.
4. Any tendering construction to be in accordance with the "TIMBER FRAME" CODE.
5. Any tendering condition to that it is subject to the approval of the owner and the bidder to the owner's approval, except for the drawings.
6. Final order & material schedule to be determined by the owner.
7. All material power & light cables to be determined by owner.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



Architectural floor plan of a two-story house. The plan includes the following rooms and features:

- Rooms:** Rumpus Room, Bedroom 3, Bathroom, Entry, Bedroom 4, and a large Patio.
- Structural Elements:**
 - Columns: 12" x 12" columns in the Rumpus Room and Entry; 10" x 10" columns in the Bedroom 4 area.
 - Walls: 8" thick exterior walls; 12" thick interior walls in the Rumpus Room and Entry.
 - Floors: 4" thick concrete slabs in the Rumpus Room and Entry; 6" thick concrete slabs in the Bedroom 4 area.
 - Roof: 12" thick concrete roof over the Patio.
- Annotations:**
 - "SELECTED TILES ON A REINFORCED CONCRETE SLAB OVER AN APPROVED TERRAZZO BARRIER TO BUILDERS DETAILS" (Patio area).
 - "CUT & FIT EXISTING BRICKWORK AS REQUIRED FOR NEW WINDOW & DOORS AS SPECIFIED BY OWNER" (Rumpus Room).
 - "MECHANICAL VENTILATION COMPLY WITH BRS RULES" (Bathroom).
 - "CERAMIC FLOOR (APPROVED) WITH EXTERIOR FLOOR" (Bedroom 4).
 - "STAIR CASES BY TOPICUS USE OVER EXISTING PROJECTIONS TO OVERLOOK POOL" (Bedroom 4 area).
 - "DETAILS & SPECIFICATIONS & COUNTRY WITH A 3600 TERRAZZO BARRIER" (Bedroom 4 area).
 - "PROVIDE STAIRCASE TO EXISTING MASONRY" (Bedroom 4 area).
 - "WANT TO PROVIDE BRICK VENTILATION" (Bedroom 4 area).
- Dimensions:**
 - Overall width: 29'30" (29'30" EX).
 - Overall depth: 24'90" (24'90" EX).
 - Room dimensions: 12'00" x 12'00" (Rumpus Room), 10'00" x 10'00" (Bathroom), 12'00" x 12'00" (Bedroom 3), 12'00" x 12'00" (Bedroom 4).
- Other:** A large "A" is marked in the top right corner, and a smaller "A" is in the bottom right corner.



**PILKINGTON
PITWATER COUNCIL
PITWATER CONSENT PLANS
APPROVED DEVELOPMENT**

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

TERMITE PROTECTION TO BE IN ACCORDANCE WITH
AS 3660.1

SECTION A - A

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Failure to check for conformity with the provisions. Do not state the drawing.
2. All drawings must be in accordance with the provisions of the Building Regulations.
3. All drawings must be in accordance with the provisions of the Building Regulations.
4. All drawings must be in accordance with the provisions of the Building Regulations.
5. All drawings must be in accordance with the provisions of the Building Regulations.
6. All drawings must be in accordance with the provisions of the Building Regulations.
7. All drawings must be in accordance with the provisions of the Building Regulations.
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10. All drawings must be in accordance with the provisions of the Building Regulations.

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J.D. BYARS and COMPANY PVT. LTD.
18, STATION LANE, NEWTON HEATH, LANC.

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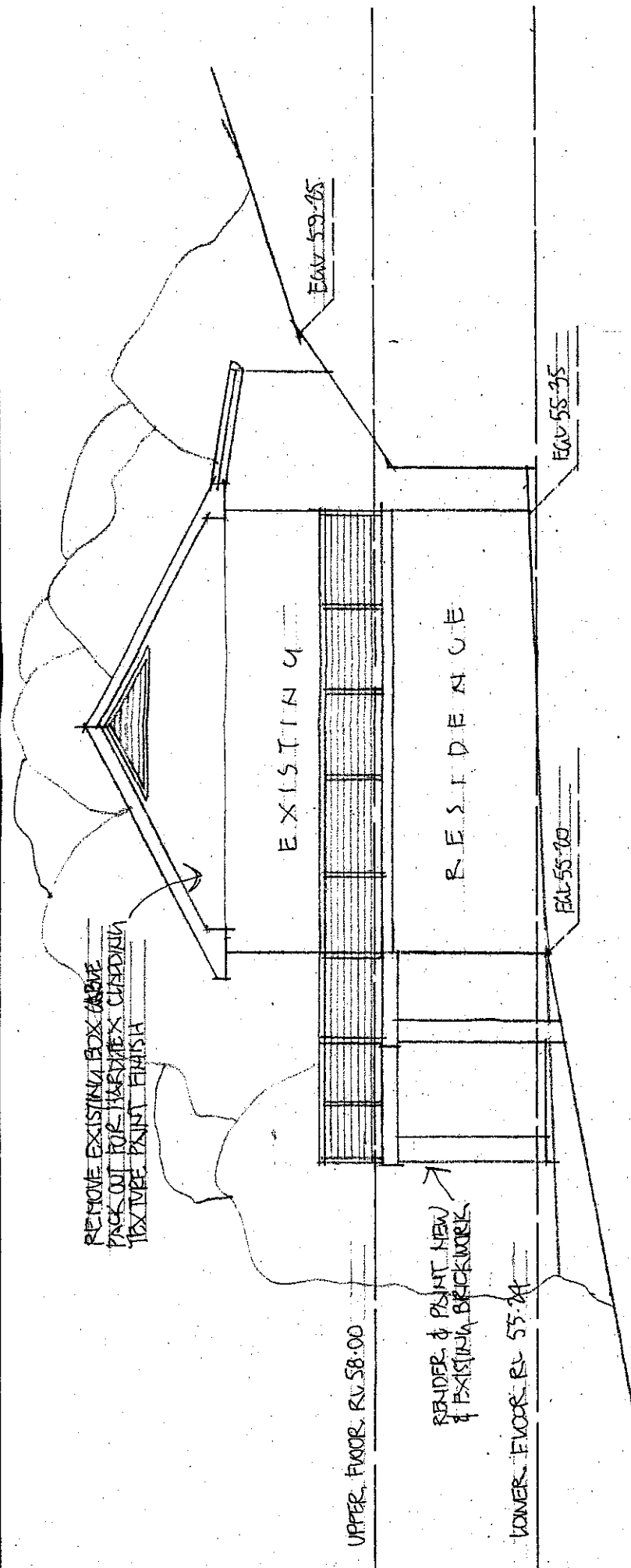
J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

REGISTERED
BUILDING DESIGNER
NSW



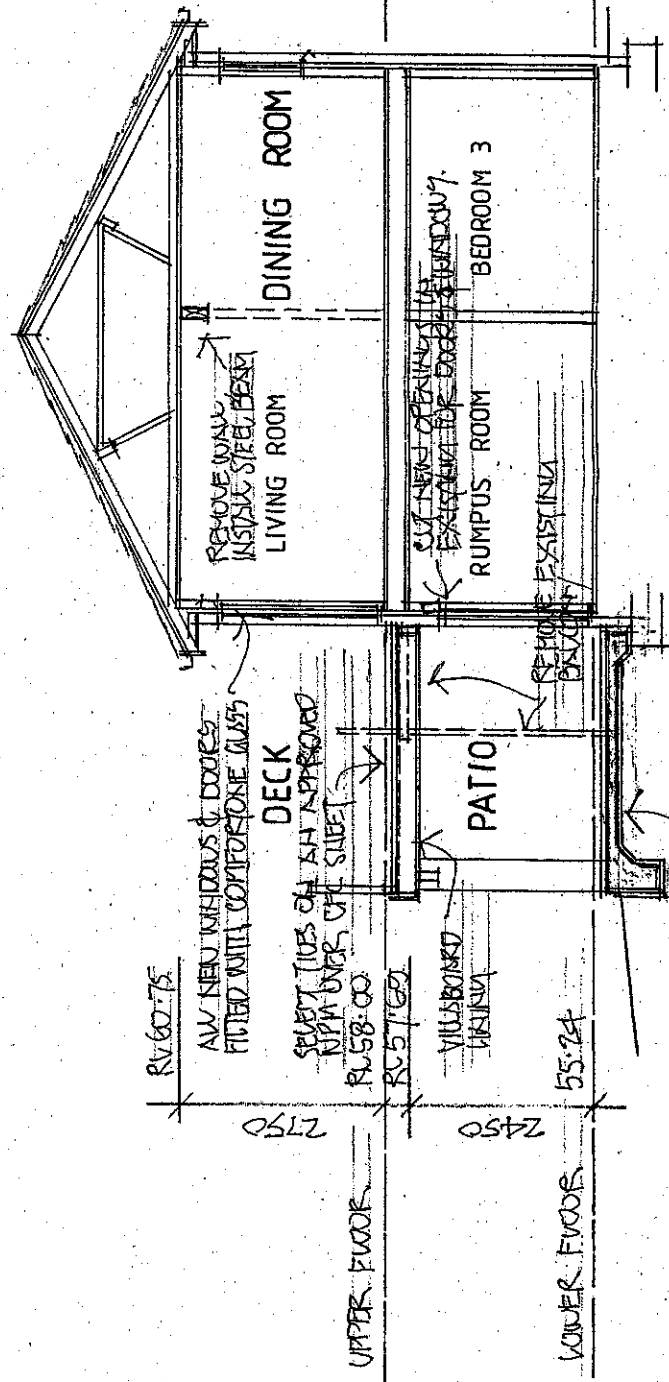
PROJECT
PROPOSED ALTERATIONS/ADDITIONS
NO. 118 RIVERVIEW ROAD
CLAREVILLE N. S. W. 2107
CLIENT
MARK LEWIS & WENDY SILLENCE

DATE	JUNE 2004	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING NO.		ISSUE	
682-05			



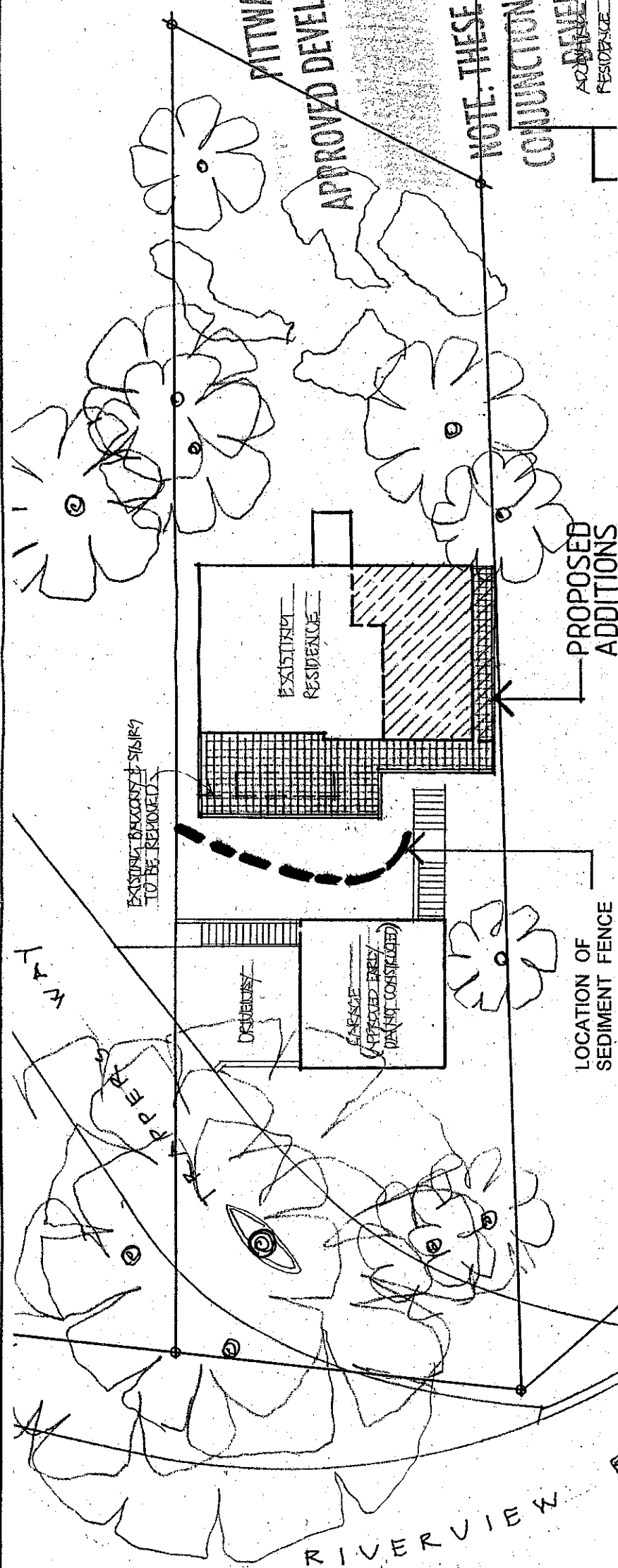
SOUTH-EAST ELEVATION

NOTE: ALL NEW CONSTRUCTION WITHIN 900mm FROM THE ALLOTMENT BOUNDARY IS TO BE OF NON COMBUSTIBLE CONSTRUCTION



REINFORCED CONCRETE SLAB ON AN APPROVED
TERMITE PROOFING BARRIER TO ENGINEER'S
DETAILS & SPECIFICATION

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE



BDA
Preferred

Unitex

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

STRATCO

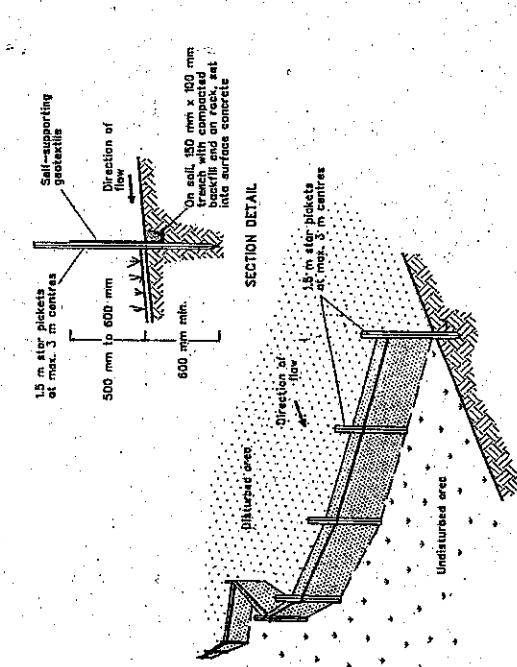
Colorbond

PILKINGTON

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

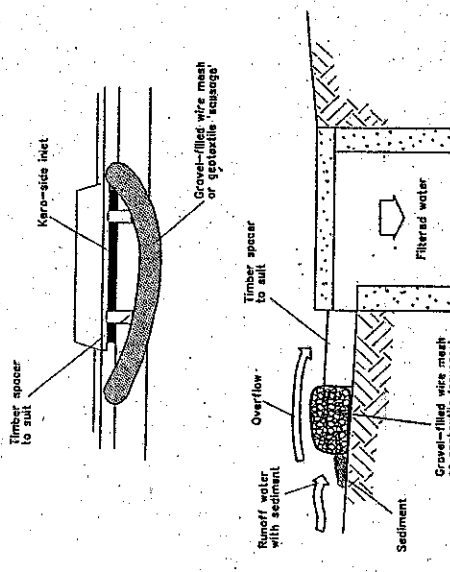
EROSION AND SEDIMENT MANAGEMENT PLAN

SEDIMENT FENCE



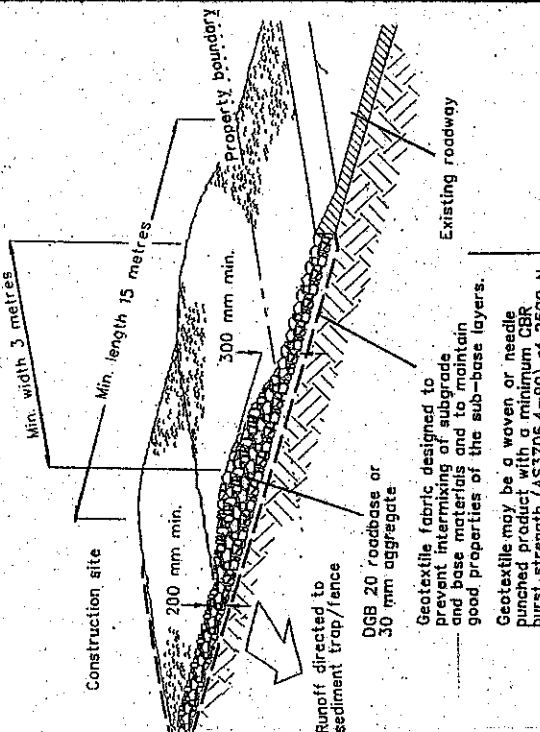
- ### CONSTRUCTION NOTES
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
 2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
 3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE.
 4. BACKFILL TRENCH OVER BASE OF FABRIC.
 5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER



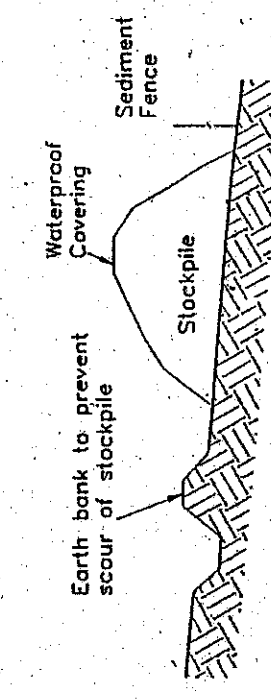
- NOTE: This practice only to be used where specified in an approved SWMP/ESCP.
- ### CONSTRUCTION NOTES
1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
 2. FILL THE SLEEVE WITH 25MM TO 50MM GRAVEL.
 3. FORM AN ELIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
 4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
 5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
 6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
 7. FIT TO ALL KERB INLETS AT SAG POINTS

STABILISED SITE ACCESS



- ### CONSTRUCTION NOTES
1. STRIP TOPSOIL AND LEVEL SITE.
 2. COMPACT SUBGRADE.
 3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
 4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
 5. CONSTRUCT HUMP IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OF OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION

I JOHN EVANS MEMBER No. 365-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N. S. W. INC., HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N. S. W. DEPARTMENT OF LAND AND WATER CONSERVATION'S "URBAN EROSION AND SEDIMENT CONTROL" MANUAL

Signed:
Date: 18-06-2004

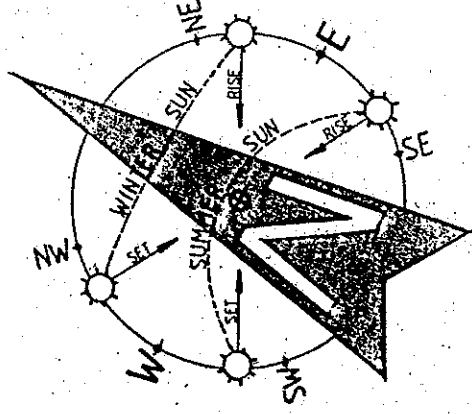
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J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9975 2454
Mobile 041 976 536

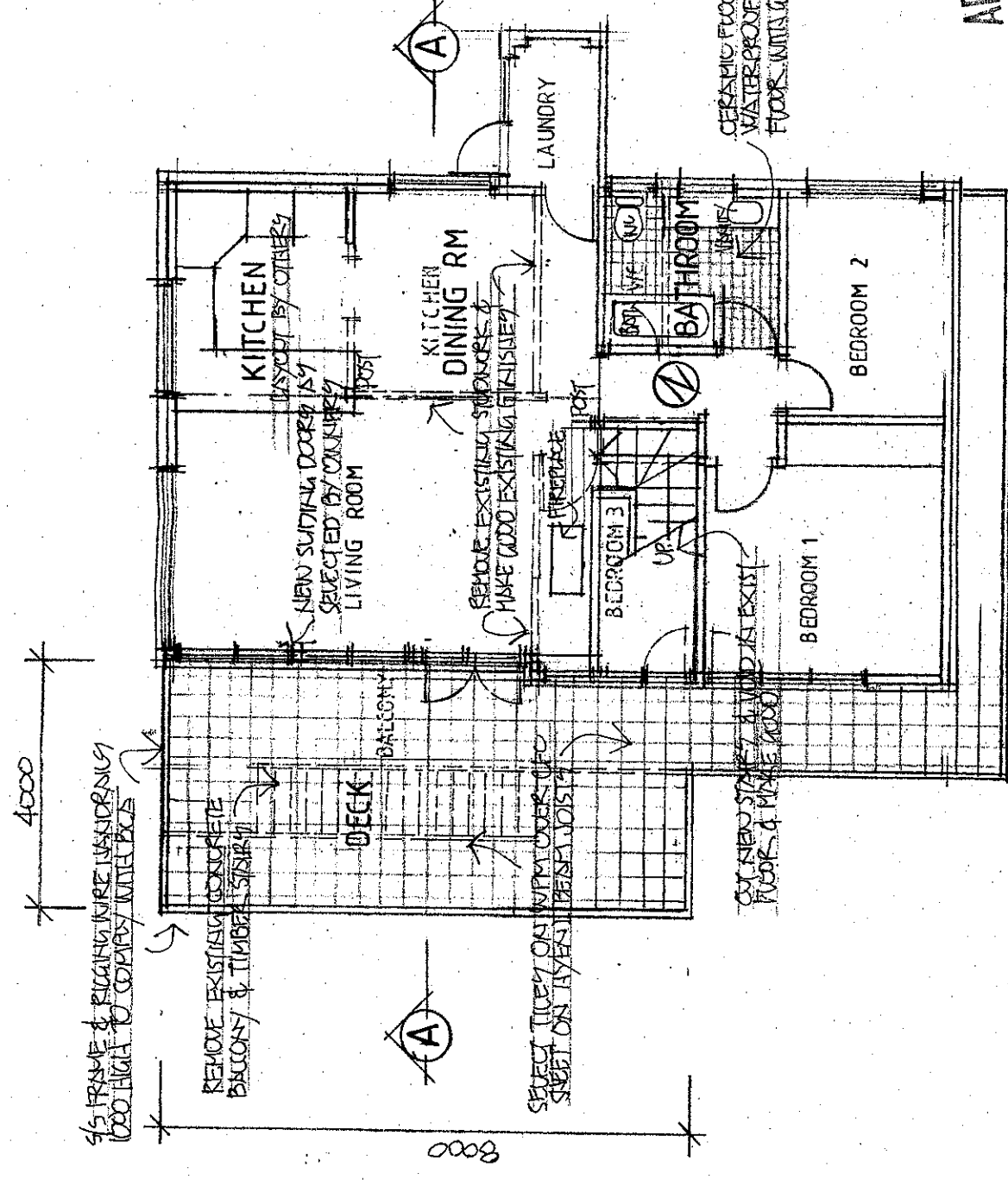
PROJECT: PROPOSED ALTERATIONS/ADDITIONS
No. 118 RIVERVIEW ROAD
CLAREVILLE N.S.W. 2107
CLIENT: MARK LEWIS & WENDY SULLENCE

DATE: JUNE 2004
SCALE: 1:200
DRAWN: JDE
CHECKED: []

DRAWING NO. 682-07
ISSUE



THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



UPPER FLOOR PLAN

PITTVATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

② smoke alarm.

ALL FIBRE CEMENT DECKING, EXTERNAL CLADDING, WET FLOORING AND WALLING AREAS ARE TO BE LAID AND FIXED IN ACCORDANCE WITH THE APPROPRIATE JAMES HARDIE FIXING MANUAL.



- 1. All dimensions that relate to site boundaries and easements are subject to verification by a suitably qualified surveyor.
- 2. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 3. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 4. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 5. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 6. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 7. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.
- 8. All dimensions that relate to the building footprint are subject to verification by a suitably qualified surveyor.

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Phone (02) 9918 9206 Fax (02) 9912 2454
Mobile 048 916 596

No.	AMENDMENT	DATE



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Phone (02) 9918 9206 Fax (02) 9912 2454
Mobile 048 916 596

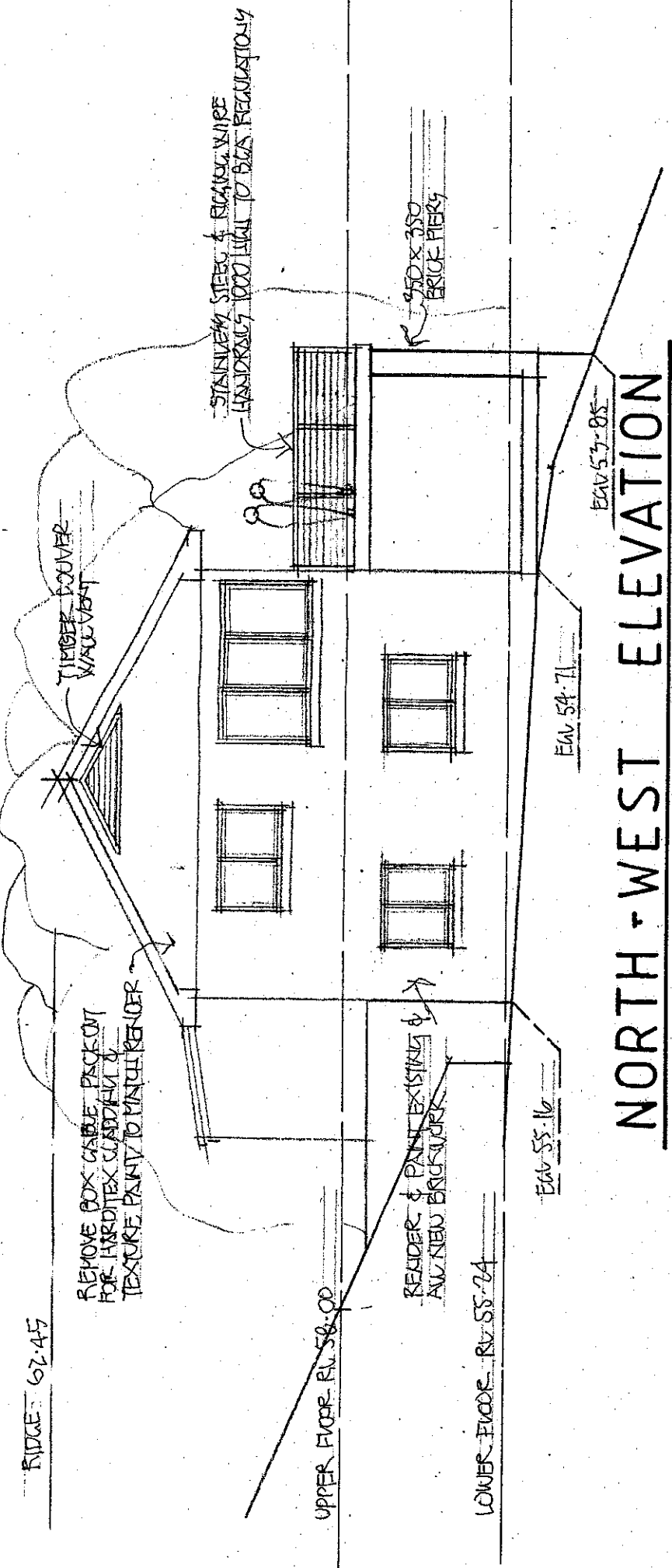
PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 118 RIVERVIEW ROAD
CLAREVILLE N.S.W. 2107
CLIENT
MARK LEWIS & WENDY SILLENCE

DATE JUNE 2004 SCALE 1:100;
DRAWN JOE.
CHECKED
DRAWING No.
682-03
ISSUE

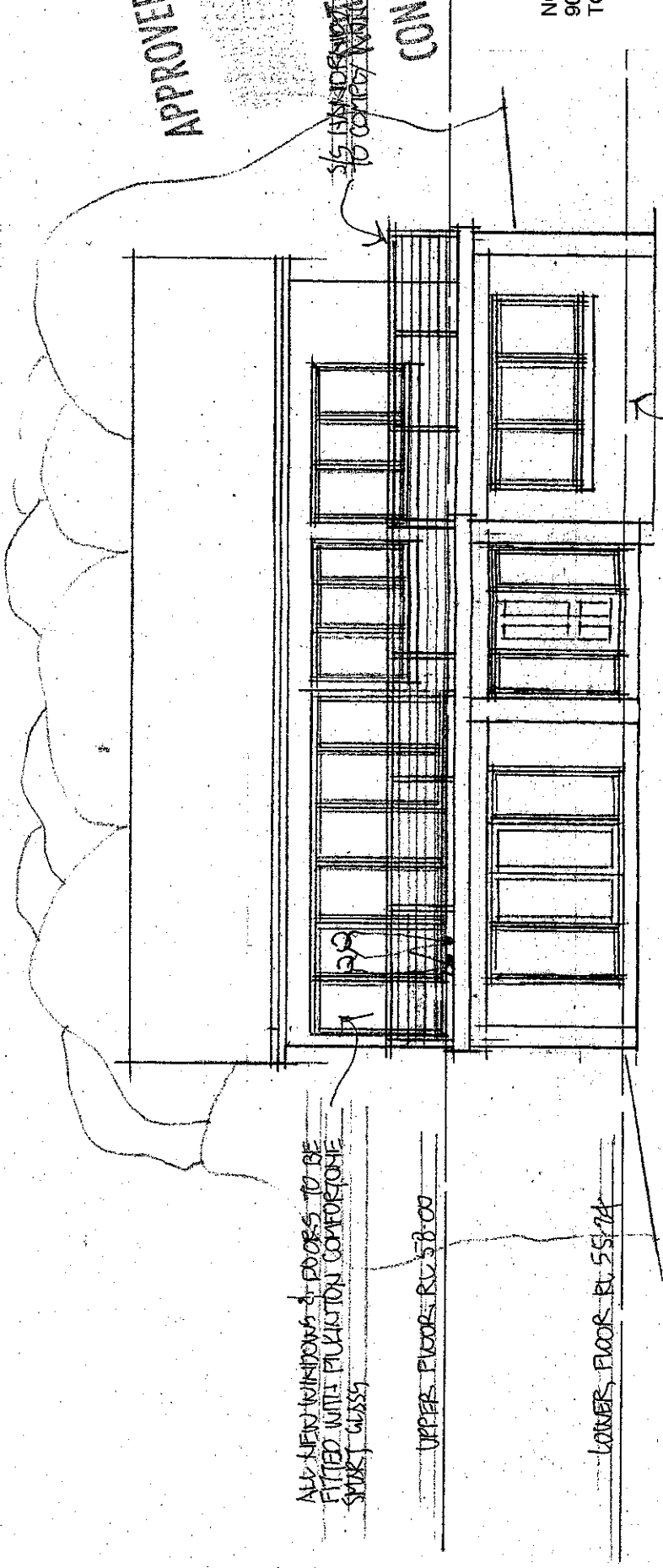


PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

NOTE: ALL NEW CONSTRUCTION WITHIN
900mm FROM THE ALLOTMENT BOUNDARY IS
TO BE OF NON COMBUSTIBLE CONSTRUCTION



NORTH - WEST ELEVATION



THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

SOUTH - WEST ELEVATION

- 1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- 2. All dimensions are to be taken to the face of the work unless otherwise stated.
- 3. All work to be done in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.
- 4. All building construction to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.
- 5. Any building in addition to what is specified shall be the responsibility of the owner and the builder is to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
- 6. Final value of sub-soil conditions to be determined by the approved engineer or as directed by local council inspectors.
- 7. All structural work to be done in accordance with the approved drawings or as directed by the approved engineer.
- 8. Materials and workmanship to be of a standard acceptable to the local council.

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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9916 9206 Fax (02) 9973 2454
Mobile 048 976 596

NO.	REVISION	DATE



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BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9916 9206 Fax (02) 9973 2454
Mobile 048 976 596



REGISTERED PROFESSIONAL ENGINEER
No. 10101

PROJECT	PROPOSED ALTERATIONS/ADDITIONS	DATE JUNE 2004	SCALE 1:100
DRAWN	J.D.E.	CHECKED	
CLIENT	CLAREVILLE N.S.W. 2107		
CLIENT	MARK LEWIS & WENDY SILLENCE		
DRAWING NO.	682-04	ISSUE	

57 TRAPPERS WAY,

CHAREVILLE

NSW

27th November 2004

FAO Insight Developments Pty Ltd.

Re : Proposed alterations & additions 118 Riverview Road.

Schedule of external finishes

Walls :  (Dulux) 'Shetland lace'

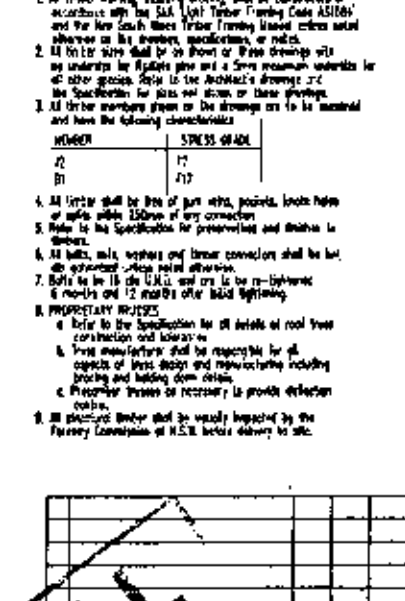
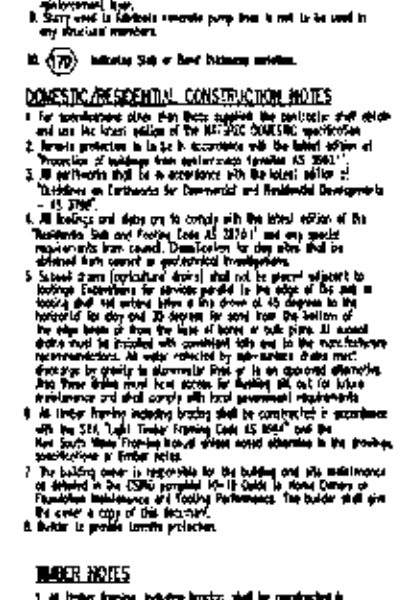
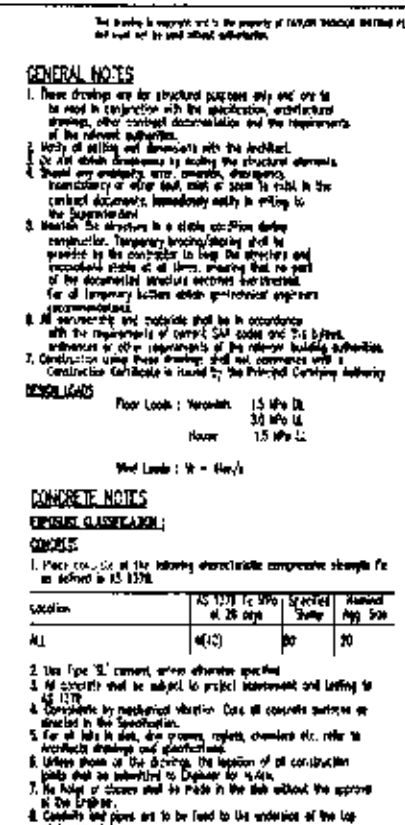
Roof :  (Dulux) 'Jasper'

Windows : Aluminium

Glass : Green tint

Mark Lewis & Wendy Sillence

**COUNCIL
COPY**



DATE	TIME	LOCATION	DATE	TIME	LOCATION
1/10/00	12:00	1/10/00	12:00	12:00	1/10/00
ALTERATIONS AND ADDITIONS TO 1512 EVERETT ROAD CHICAGO, ILL. 60641 HOUSE AND FOOTING PLANS, ELEVATIONS AND DETAILS J.D. EVANS & COMPANY PTD INC 1512 EVERETT ROAD CHICAGO, ILL. 60641 TAYLOR THOMPSON WHITTING 1512 EVERETT ROAD CHICAGO, ILL. 60641 1/10/00 12:00 1/10/00 12:00 1/10/00 12:00 1/10/00 12:00 1/10/00 12:00 1/10/00 12:00					

159386

Pittwater Council

ABN: 61340637871

TAX INVOICE
OFFICIAL RECEIPT

24/12/2004 Receipt No 159386

TO INSIGHT DEVELOPMENT
CONSULTANTS

Qty/ Appln	Reference	Amount
1	WHID-Rate	\$77.27
GL Ref	1 7 30474/0.	
	GST	\$2.73
GL Ref		
To GL Receipts		

Total Amount	\$80.00
Includes GST of:	\$2.73

Amount Tendered

Cheque	\$80.00
Total	\$80.00
Rounding	\$0.00
Change	\$0.00
Nett	\$80.00

Printed 24/12/2004 1:41:34 PM
Cashier BRILL

FROM : KEITH ROOT BUILD SERV PTY LTD PHONE NO. : 9973 1356

DEC. 01 2004 09:24AM P2

From: 9973 1356 Page: 2/2 Date: 1/12/2004 9:26:02 AM

FROM : KEITH ROOT BUILD SERV PTY LTD PHONE NO. : 9973 1356

DEC. 01 2004 08:46AM P2

24/12/04 13:14

From: 9973 1356 Page: 2/2 Date: 1/12/2004 9:25:02 AM
 FROM : KEITH ROOT BUILD SERV PTY LTD PHONE NO. : 9973 1356

DEC. 01 2004 08:46AM P2

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for MR M. LEWIS

Name of Applicant

Address of site 118 RIVERVIEW ROAD, AVALON
(also known as 52 TRAPPEL WAY)

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, REX VAN KATWYK on behalf of TAYLOR THOMPSON WHITTING
 (insert name) (trading or company name)on this the 1/12/04
 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2 million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development:

Geotechnical Report Details:Report Title: GEOTECHNICAL ASSESSMENT AT 118 RIVERVIEW RD, AVALONReport Date: 4/8/03Report Ref. No: 17855W-PLAuthor: MR BRIAN F WALKER**Structural Documents list:**GROUND FLOOR PLAN & SECTIONS (Drawn No. S1 Rev A) dated 5/1/04GROUND FLOOR PLAN, ROOF STRUCTURE & SECTIONS (Drawn No. S2 Rev A) dated 5/1/04both prepared by Taylor Thompson Whitting Pty Ltd as certified by REX VAN KATWYK

Wa/ I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

REX VAN KATWYK
 (name)Rex Van Katwyk
 (signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

Wa/ I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 6/3/2003 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk, as indicated in Report

Signature Brian F WalkerName BRIAN F WALKERChartered Professional Status F.I.E. Aust., C.P. EngMembership No. 199312

For and on behalf of Jeffery & Katsoukas Pty Ltd

24/11/04

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