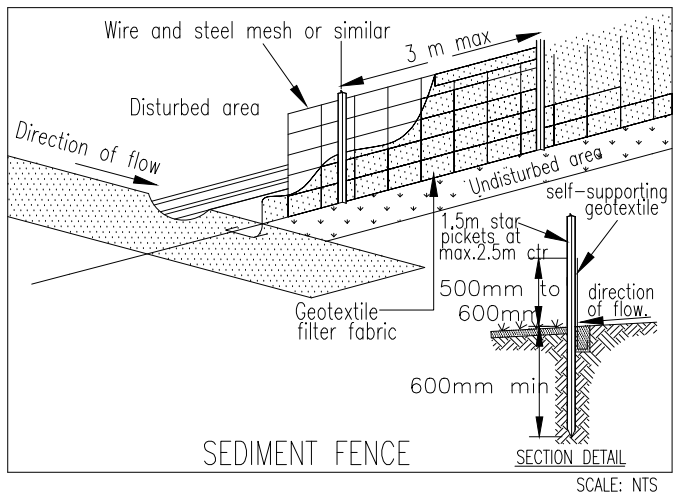


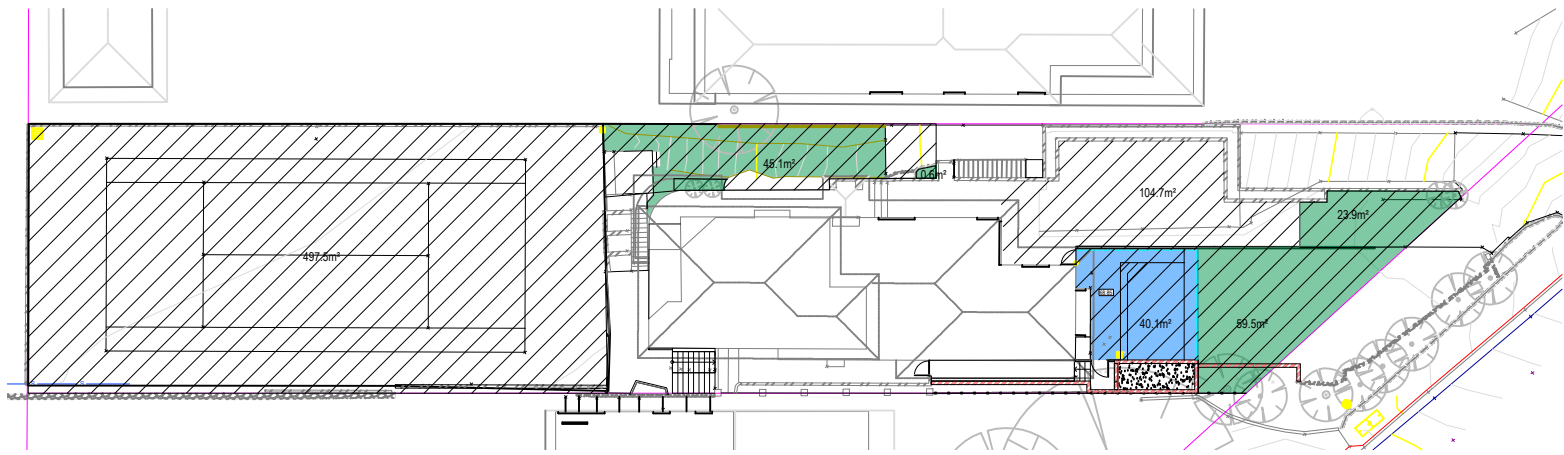
LEGEND	
	BOUNDARY
	BOUNDARY FENCE
	POOL FENCE
	TO BE REMOVED
	RETAINING WALL
	PROPOSED PAVEMENT
	TURF
	EXISTING PLANTING TO BE RETAINED
	S4.55 MODIFICATIONS



SITE ANALYSIS LEGEND			
	SITE VEHICLE ENTRY		VIEWS
	WASTE STORAGE AREA		MATERIALS STORAGE AREA
NEW WORKS COLOURS			
	NON COMBUSTIBLE CLADDING		BRICK
	GLASS		CONCRETE
			METAL
			FIBROUS CEMENT SHEETS



SEDIMENT & EROSION CONTROL NOTES
During earthworks the following procedures shall be followed:
1. Install silt barriers where shown on plan prior to commencement of works.
2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
3. Repair any damages to fence immediately.
4. Clean up spillages outside silt fence immediately.
5. Sediment control measures to be left in place until works completed.
6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

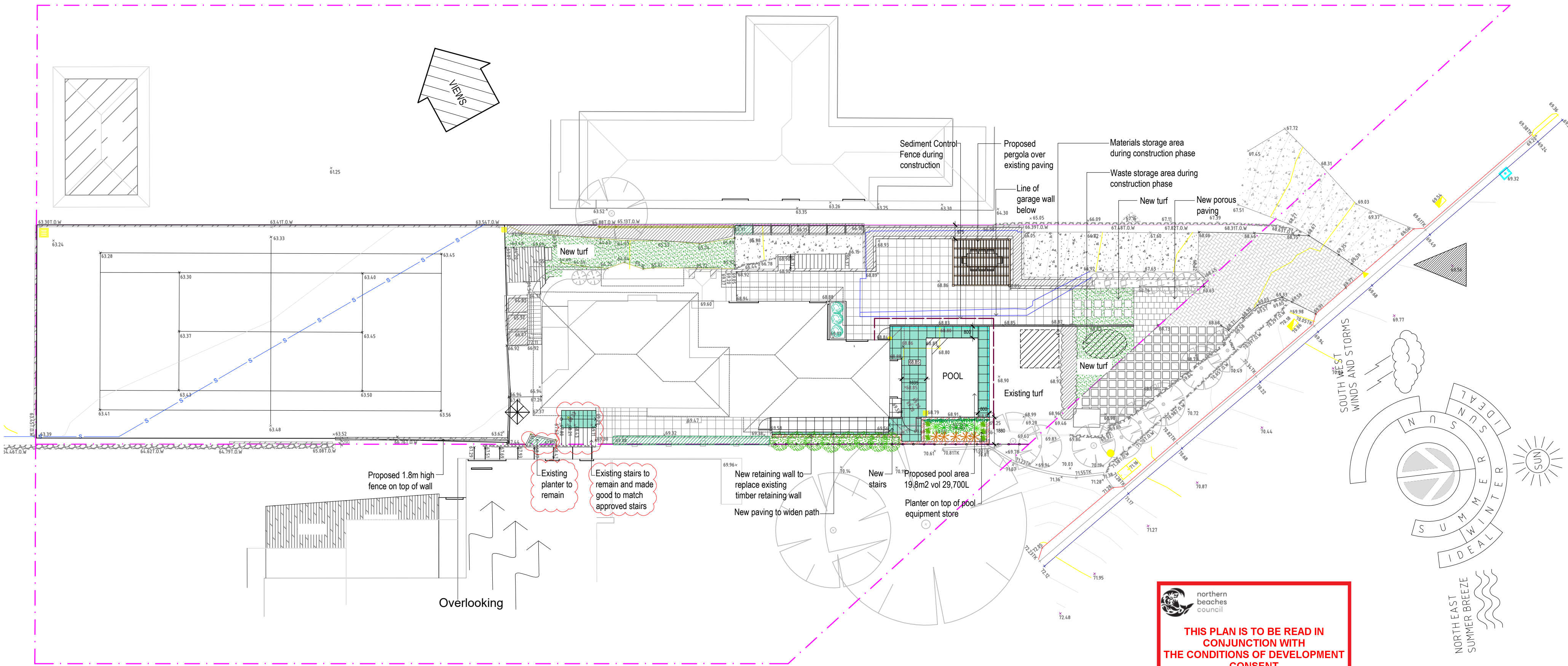


LANDSCAPE CALCULATIONS PLAN
SCALE N.T.S

Denotes Open Space >3m
 Denotes Landscape Area >0.5m
 Denotes Pool Component of OS

Residential Development Control Area OS4 requires 60% of site area to be Open Space with 40% of that open space to be Landscaped Area.

Site Area:	1176m ²		
Open Space required:	705.6m ²	60%	
Open Space proposed:	773.1m ²	66%	Complies
Maximum pool component of OS	211.7m ²	30%	
Pool proposed of Open Space:	40.1m ²	6%	Complies
Landscape Area required:	282.2m ²	40% of 705.6m ²	
Existing Landscape Area:	95.8m ²	13%	Non-compliance
Landscape Area proposed:	129.1m ²	18%	Non-compliance



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2019/0617

NOTES:
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- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	21/11/18	Preliminary Issue
B	10/12/18	DA Issue
C	23/05/19	Revised DA Issue
D	28/11/19	4.55 Issue

Checked
CW
CW
CW

SPACE
LANDSCAPE DESIGNS

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Brookvale NSW 2100

CLIENT
David and Ruanne Brell
ADDRESS
15 Gurney Crescent, Seaforth

DRN: A.Elboz (AILDM 625)
DATE: 21/11/2018
SCALE: 1:200@A2
PROJECT NO: 181568



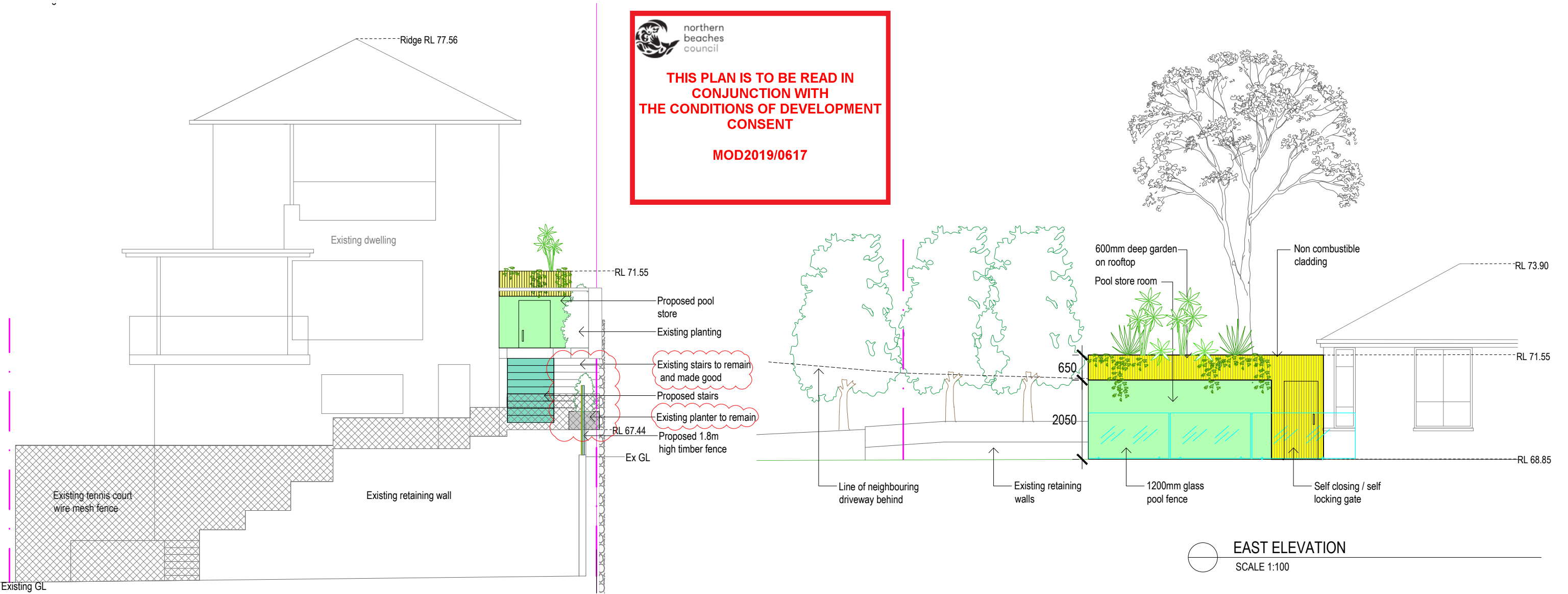
SITE PLAN/SITE ANALYSIS
EROSION & SEDIMENT CONTROL PLAN
L-01

Rev D

 northern
beaches
council

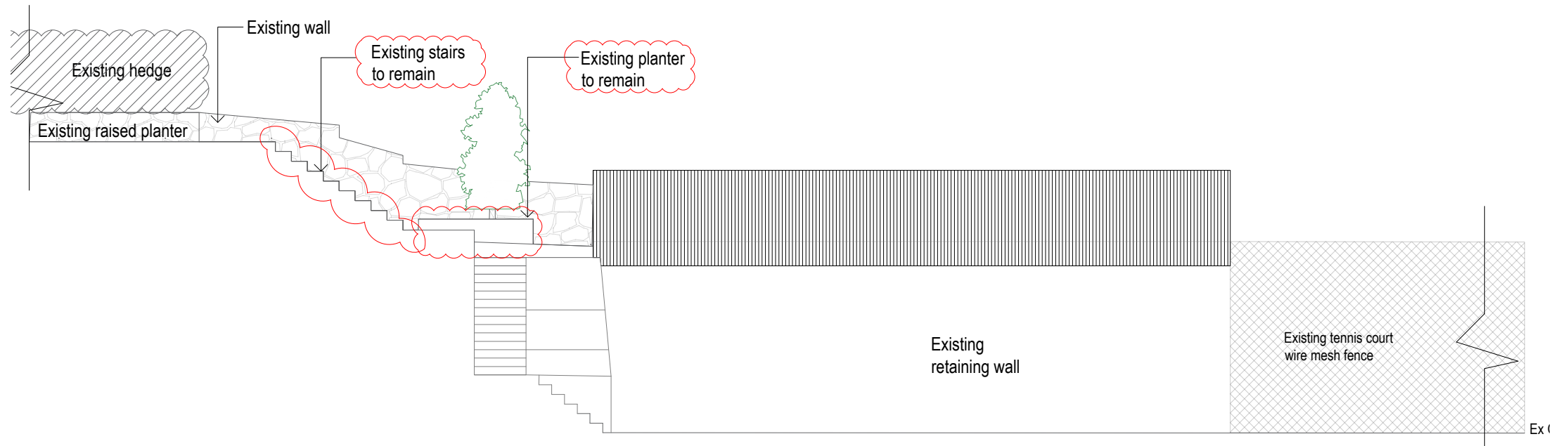
**THIS PLAN IS TO BE READ IN
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MOD2019/0617



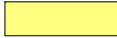
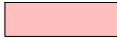
 **EAST ELEVATION**
SCALE 1:100

 **SOUTH ELEVATION**
SCALE 1:100



 **REAR WEST ELEVATION**
SCALE 1:100

NEW WORKS COLOURS

	NON COMBUSTIBLE CLADDING		CONCRETE
	GLASS		METAL
	BRICK		FIBROUS CEMENT SHEETS

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A	21/11/18	Preliminary Issue
B	10/12/18	DA Issue
C	25/11/19	S4.55 Issue

Checked
CW
CW

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DRN: **A.Elboz (AILDM 625)**
DATE: **21/11/2018**
SCALE: **1:100@A3**
PROJECT NO: **181568**



ELEVATIONS
DA-03

Rev **C**

- LEGEND**
- BOUNDARY
 - BOUNDARY FENCE
 - POOL FENCE
 - TO BE REMOVED
 - RETAINING WALL
 - PROPOSED PAVEMENT
 - TURF
 - EXISTING PLANTING TO BE RETAINED
 - S4.55 MODIFICATIONS

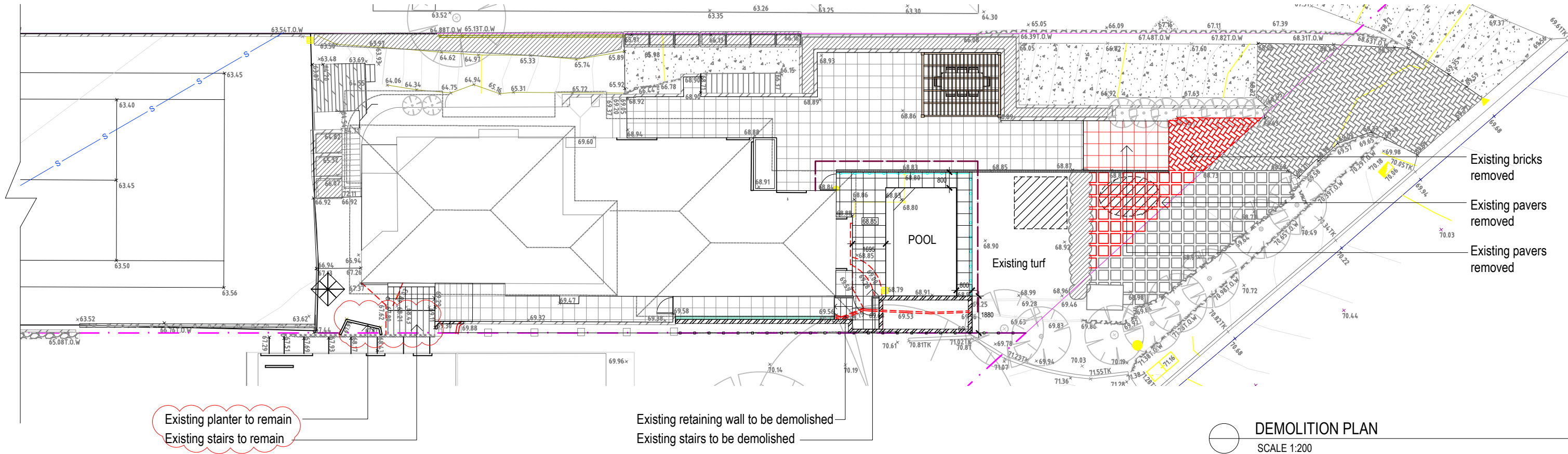
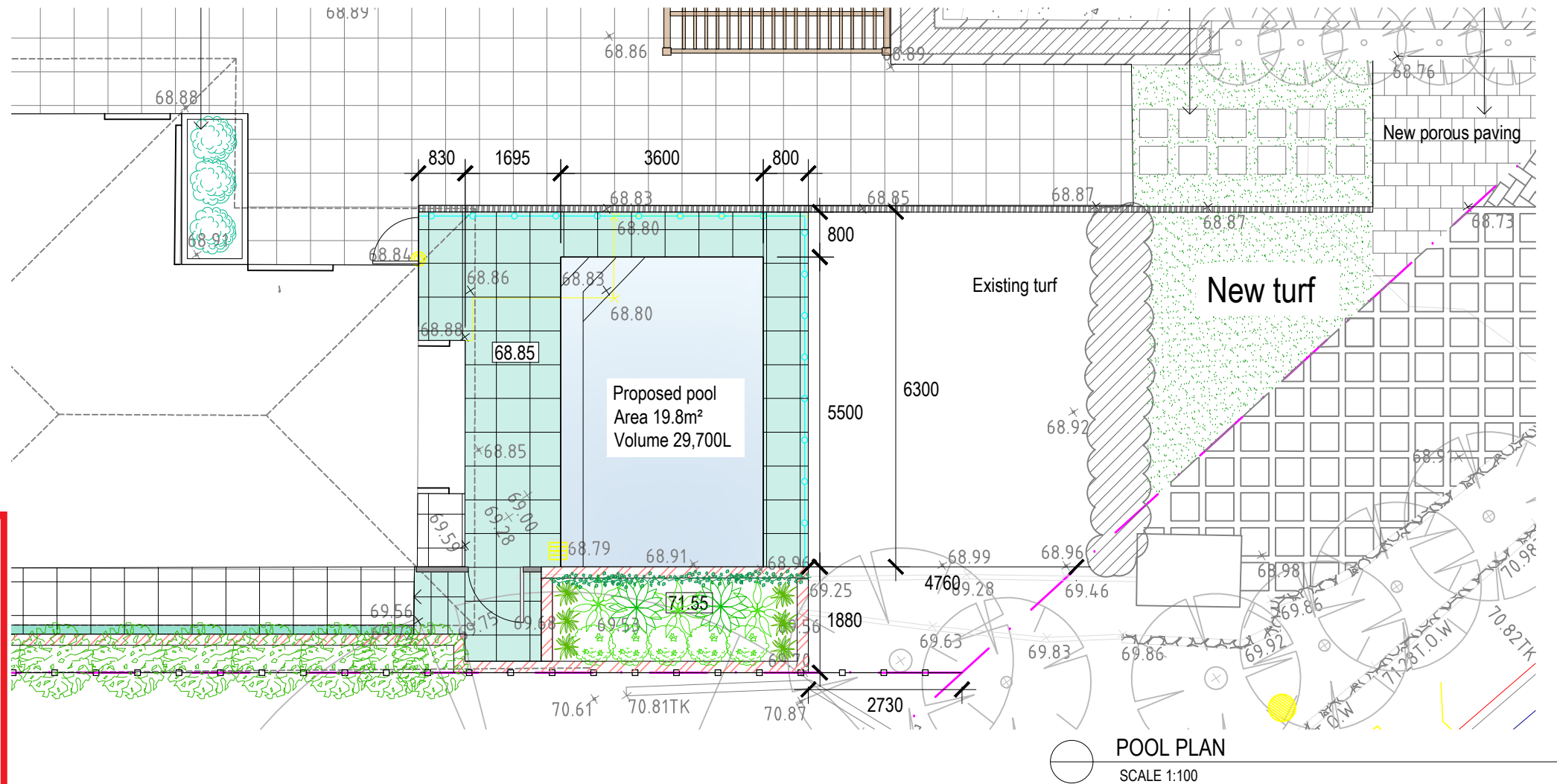


EXISTING TREE
TO BE RETAINED



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THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2019/0617



NOTES:

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C	23/05/19	Revised DA Issue
D	25/11/19	S4.55 Issue

Checked
CW
CW
CW

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CLIENT
David and Ruanne Brell
ADDRESS
15 Gurney Crescent, Seaforth

DRN: A.Elboz (AILDM 625)
DATE: 21/11/2018
SCALE: 1:200 & 1:100 @A3
PROJECT NO: 181568

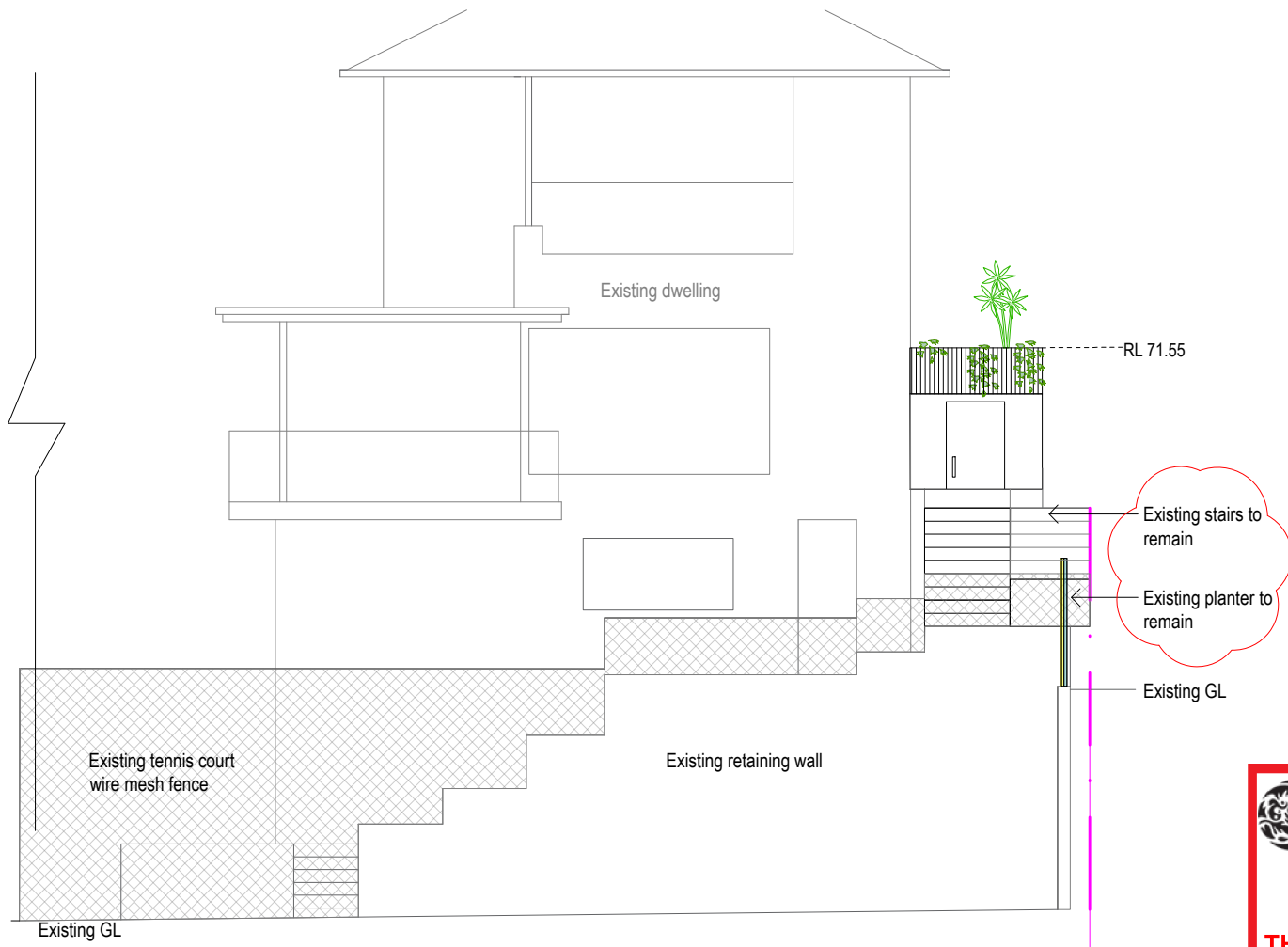


NORTH

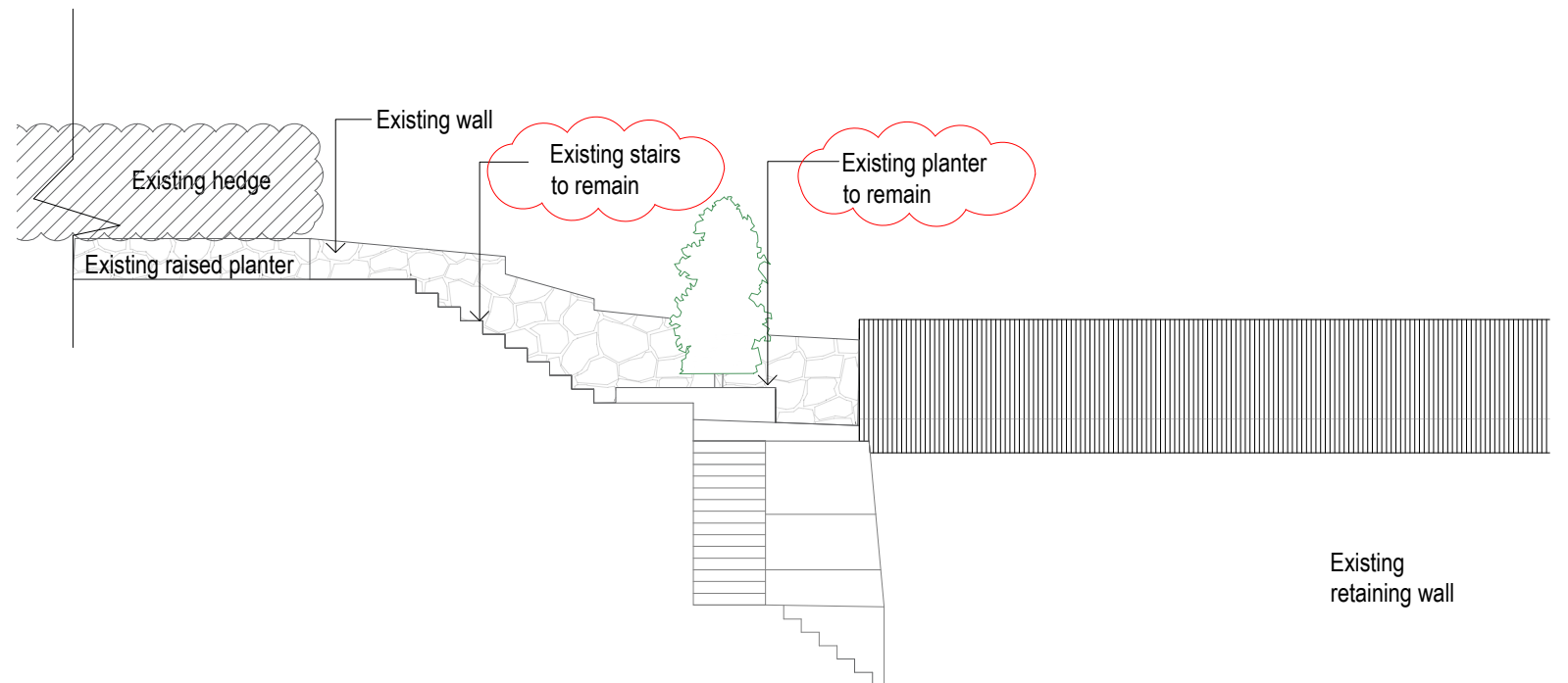
DEMOLITION PLAN

DA-04

Rev **D**

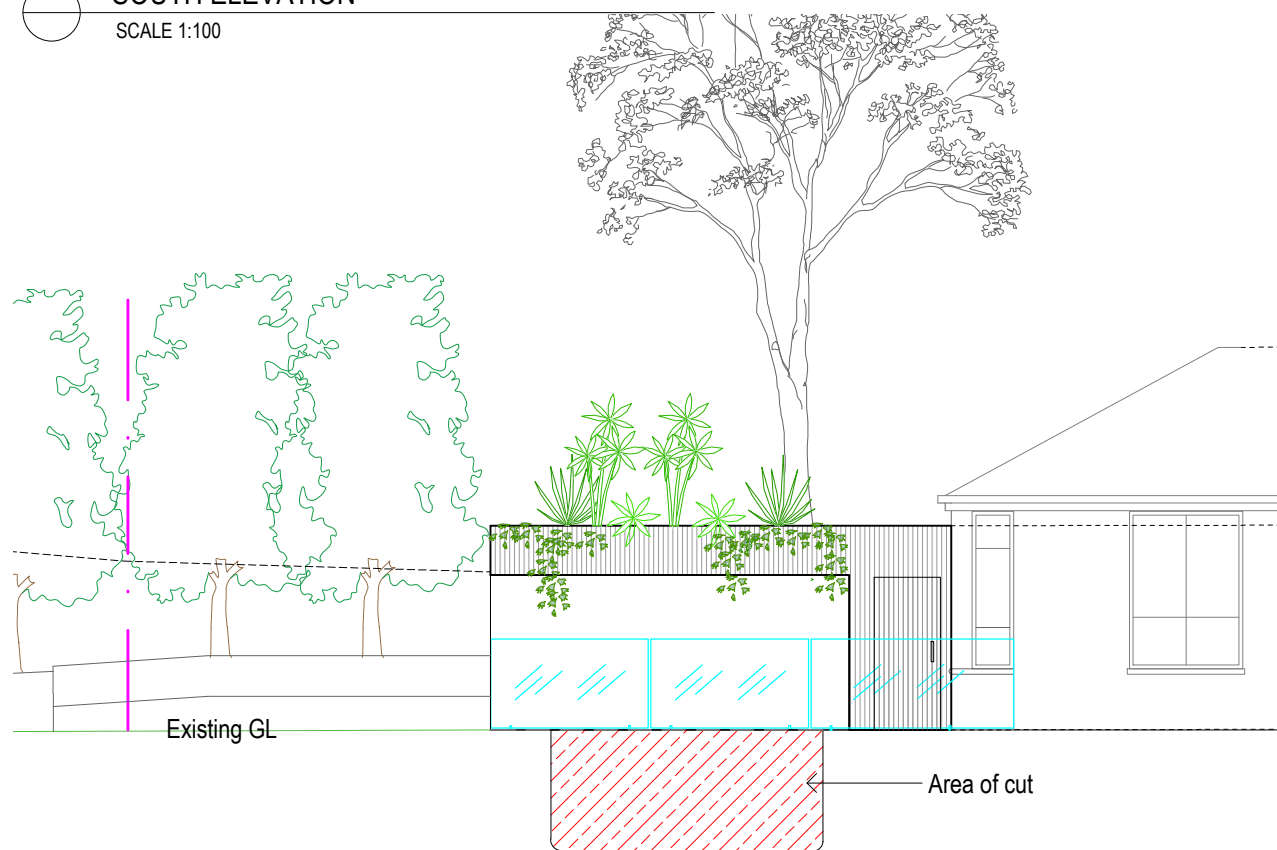



SOUTH ELEVATION
 SCALE 1:100

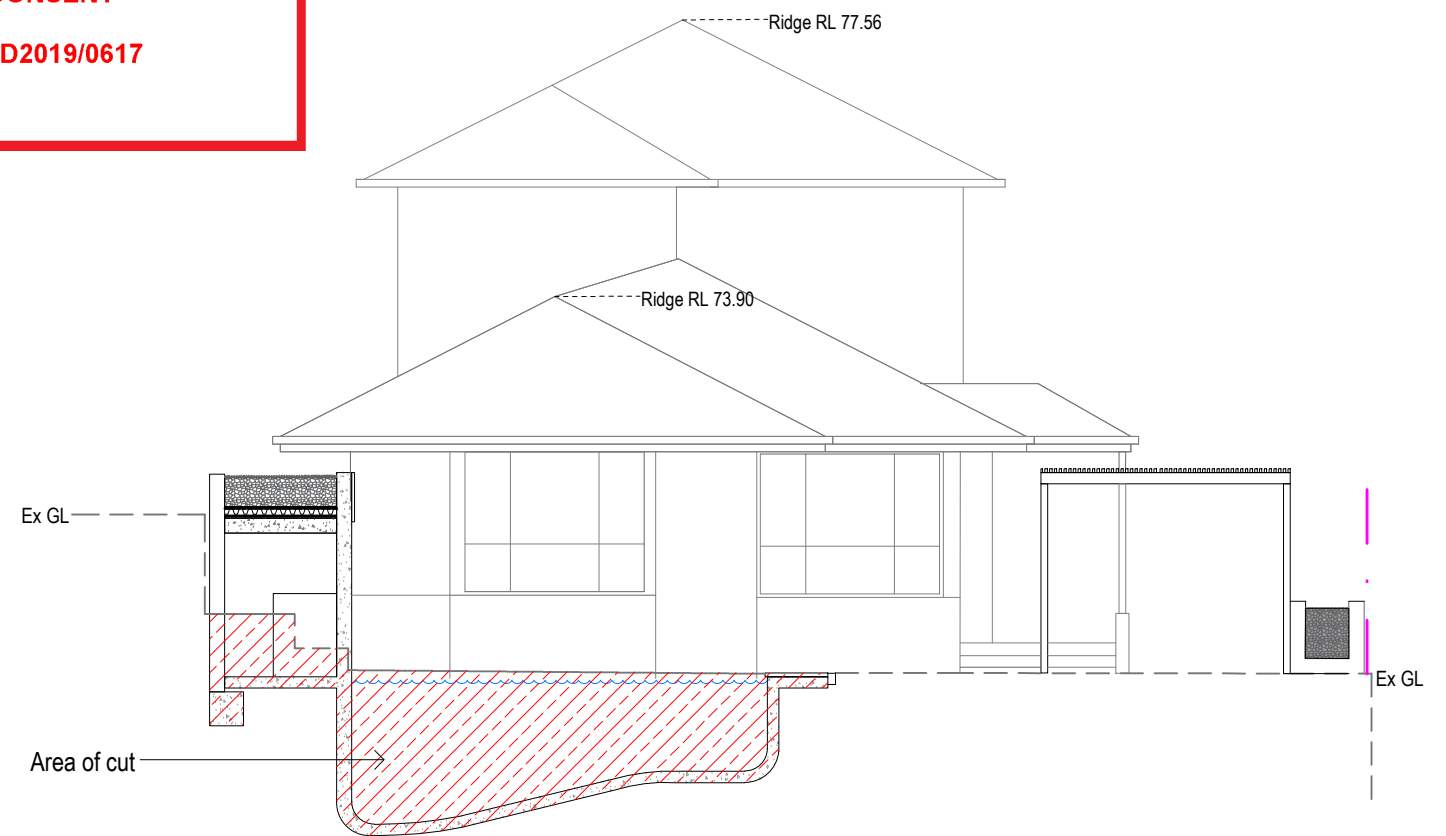



EAST ELEVATION (REAR)
 SCALE 1:100


 northern
beaches
council
**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**
MOD2019/0617




EAST ELEVATION
 SCALE 1:100




SOUTH ELEVATION
 SCALE 1:100

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C	25/11/19	S4.55 Issue

Checked
 CW
 CW
 CW

S P A C E
 LANDSCAPE DESIGNS

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 15 Gurney Crescent, Seaforth

DRN: A.Elboz (AILDM 625)
 DATE: 21/11/2018
 SCALE: 1:100@A3
 PROJECT NO: 181568



EXCAVATION & FILL PLAN
 DA-05
 Rev **C**

LEGEND

BOUNDARY

BOUNDARY FENCE

POOL FENCE

TO BE REMOVED

RETAINING WALL

PROPOSED PAVEMENT

TURF

EXISTING PLANTING TO BE RETAINED

S4.55 MODIFICATIONS

EXISTING TREE
TO BE RETAINED

PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
AA	AGAVE ATTENUATA	AGAVE	3	0.6m	200mm
CA	CORREA ALBA	WHITE CORREA	3	1.5m	200mm
CB	CRASSULA 'BLUEBIRD'	BLUEBIRD	2	0.6m	200mm
CG	CARPOBROTUS GLAUDESCENS'AUSSIE RAMBLER	PIG FACE	6	0.2m	200mm
LT	LOMANDRA LONGIFOLIA 'TANIKA'	TANIKA	6	0.5m	140mm
SA	SYZYGIIUM AUSTRALE 'STRAIGHT AND NARROW'	STRAIGHT & NARROW	8	5m	300mm
WF	WESTRINGIA FRUTICOSA 'NARINGA'	NARINGA	5	1.5m	200mm

DETAIL A
SHRUB PLANTING DETAIL N.T.S.

Apply 50mm depth of mulch uniformly applied 100mm away from stems

Scarify existing subsoil to a depth of 150mm minimum to facilitate root growth

Planting hole to be twice as wide as container and as deep as container. backfilled with garden mix as specified

DETAIL B
TURF DETAIL N.T.S.

Turf laid tightly butted & well tamped down in brickwork pattern across slope

100mm bedding layer of turf underlay

75mm layer of site topsoil

Break up subgrade 100mm deep

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

ELIMINATE WEEDS
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION
Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE
Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.
Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to SW system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL
Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL
Quality System: AS 4419. Turf Areas: 'Turf Underlay', Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

TREE STOCK
Tree stock to be supplied by production nurseries in accordance with AS 2303:2015 Tree Stock for Landscape Use.
Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species.
Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

MULCHING
Quality system: AS 4454. All planting area impacted by building works to receive 50-75mm of garden Mulch, Droughtmaster, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

TURFING
New turf- Sapphire Softed Leafed Buffalo. Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the subgrade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.

WATERING
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

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MOD2019/0617

