

DRAFT
Heritage Impact Statement

39 Pine Street, Manly NSW 2095



Proposed alterations to a two-storey house

September 2023

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1. Introduction and Overview

This Heritage Impact Statement (HIS) has been prepared to accompany a Development Application (DA) for proposed alterations and additions to the subject site located at 39 Pine Street, Manly within the Local Government Area (LGA) of the Northern Beaches. It is proposed to undertake a minor extension to the residence to create a dining room, as well as undertake some internal alterations to the existing outbuilding along with the creation of a new outdoor leisure space for the owner's kids at the rear of the property.

The subject dwelling is not listed as an individual heritage item in the Manly Local Environmental Plan (LEP) 2013, however it is located within the Pittwater Road Heritage Conservation Area (HCA) (C1). This HCA displays an aesthetically distinctive pattern of development, illustrating a cohesive period of building styles from the Victorian and Edwardian eras.

The site contains a two-storey interwar era residence which was formerly a block of flats before conversion to a single residence in recent years. The rear elevation contains an existing rear addition and the rear yard contains a pool and outhouse. Internally, there is no heritage fabric of note.

As the subject site is included within a HCA, a Heritage Impact Statement (HIS) is required to assess the heritage impact of the proposed works on the broader character of the area. This report has been prepared on behalf of the owners to ascertain the degree of heritage impact upon the significance of the site and the HCA more broadly.

This HIS considers the proposal against the relevant heritage planning objectives and controls contained within the Manly Local Environment Plan (LEP) 2013 and the Manly Development Control Plan (DCP) 2013.

1.1. Authorship

This report has been prepared by Damian O'Toole. Damian has a Master's Degree in Town Planning and a Post-Graduate Diploma in Heritage Conservation obtained from the University of Sydney and has been engaged by several Councils in Sydney.

1.2. Physical Evidence

A physical description of the site and surrounding area can be found in Section 2 of this report.

2. Subject Site and Surrounds

Subject Site

The subject site is located at 39 Pine Street, Manly and is legally defined as Lot A in Deposited Plan (DP) 346467. Manly, a beach-side suburb, is located 17 kilometres north-east of the Sydney central business district and is currently one of the three administrative centres of the site that forms part of the Local Government Area (LGA) of the Northern Beaches.

The subject site contains a two-storey interwar era residence which was originally a block of flats prior to conversion to a single residence. The building is characterised by red brick walls, a hipped tiled roof with a projecting hip along the front façade, sash and hopper windows, a staircase leading to the front door on the first floor level, a brick boundary fence with a metal palisade vehicle gate providing entry to the hard landscaped front setback which is utilised as a parking area. The rear elevation contains an existing rear addition and the rear yard contains a pool and outhouse. Internally, there is no heritage fabric of note.

The site is located within the vicinity of one local landscape heritage item along Pine Street, identified as *Street Trees* (I193).

Pittwater Road Heritage Conservation Area

Pine Street forms part of the Pittwater Road HCA. A physical description of the area from the NSW State Heritage Inventory is provided below:

The streetscape of Pittwater Road is a winding vista of late 19th and early 20th century commercial and residential architecture of generally one or two floors - although there are exceptions such as the four storey private hotel. The streetscape provides a 19th century atmosphere due to it's scale, width and the number of extant Victorian structures. Within the streetscape there are a number of individually significant buildings which are listed seperately. Adjacent streets generally comprise a consistant pattern of one and two story residential cottages, with the occasional terrace. Some streets have intermittent street plantings and remnant stone kerbs. The flat topography is accentuated by the escarpment to the west which provides an important visual, vertical and vegetated backdrop.

Planning History

Previous development applications include:

- 2007 - Development consent 308/2006 permitted some alterations to the dwelling, including at the front of the property where two off street parking spaces were approved. In addition, the consent sought, by condition of consent, to retain various elements of the existing building by not permitting some of the proposed alterations including the proposed rendering of the brickwork, the replacing of the existing tiled roof with a metal roof and the

proposed demolition and replacement of the front fence.

- 2008 – Development consent 264/2008 permitted conversion of the former flat building into a single residence and alterations and additions including cabana, swimming pool, deck, rear additions and landscaping.
- 2009 – Development consent 121/2009 permitted alterations and additions to the building including a second floor addition, carport and modifications to approved front fence.

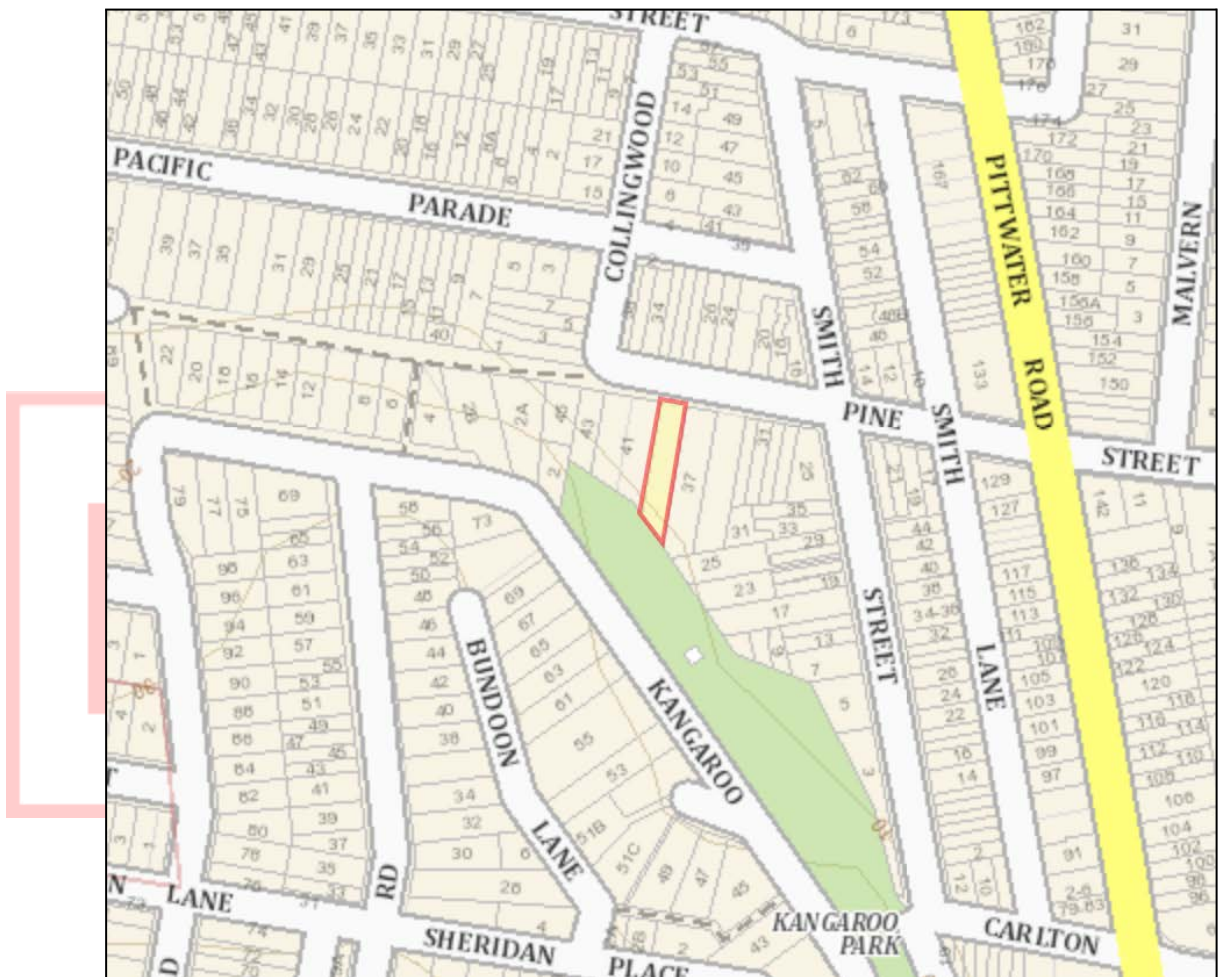


Figure 1: Site location map (source: LPI SIX Maps)



Figure 2: Aerial of the subject dwelling (source: LPI SIX Maps).



Figure 3: Heritage map identifying the subject site (outlined in blue) within the Pittwater Road HCA (source: Northern Beaches Council DCP Interactive Map).

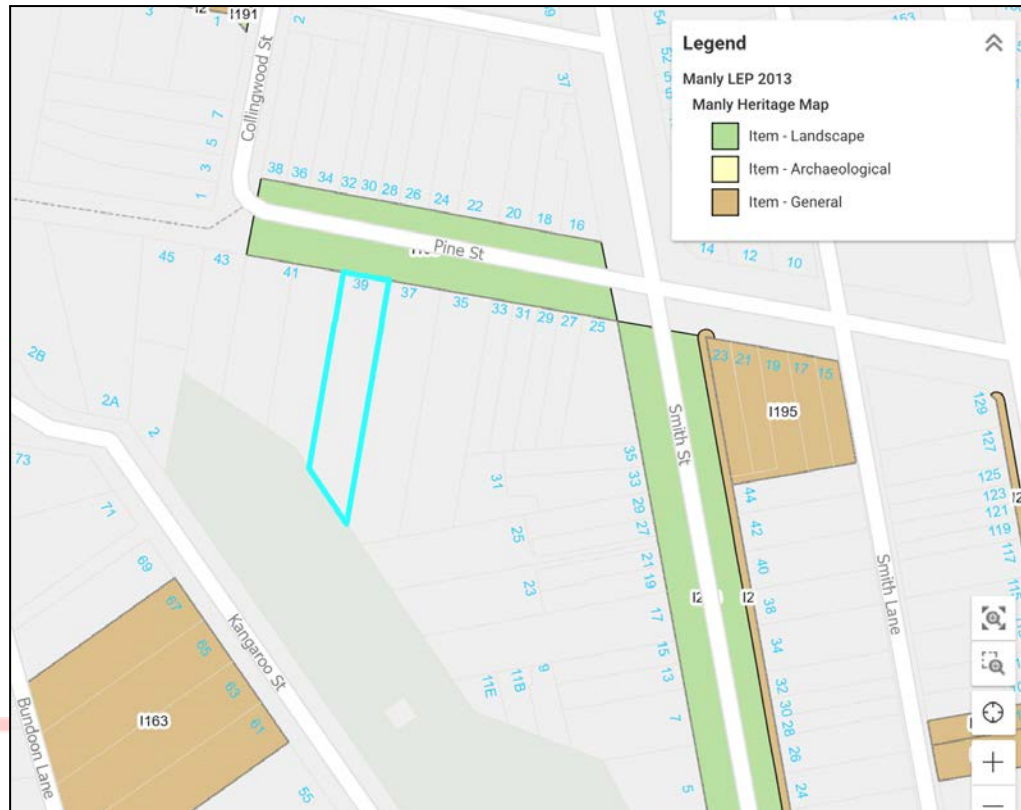


Figure 4: Heritage map showing the subject site (outlined in blue) in the vicinity of a landscape heritage item (source: Northern Beaches Council DCP Interactive Map).



Figure 5: Rear elevation.



Figure 6: Overview of pool and rear elevation.



Figure 7: Deck area to be transformed into a dining room..



Figure 8: View from interior showing the deck area to be transformed into a dining room.

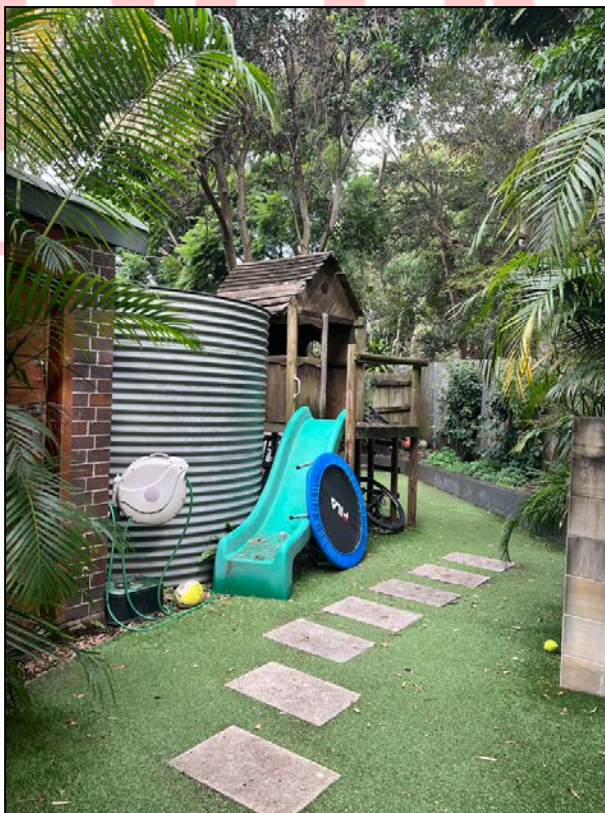


Figure 9: Rear yard where “teenage retreat” will be located.

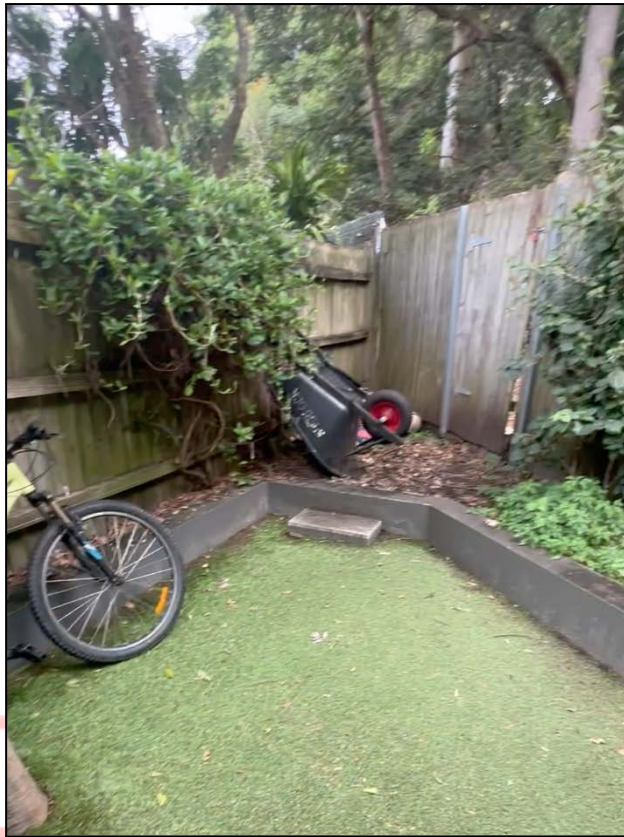


Figure 10: Rear yard where “teenage retreat” will be located.

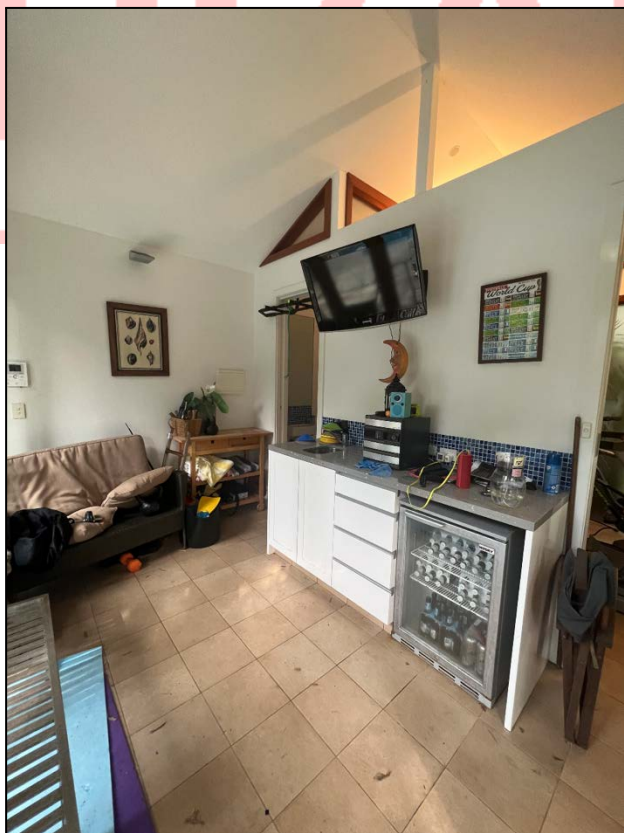


Figure 11: Kitchenette to be relocated within the proposed gym.

3. Historical Summary

3.1. Pittwater Road HCA

The following history is sourced directly from the NSW State Heritage Inventory for the Pittwater Road HCA:

"The First Road"

The creation of suburban streets and allotments in the Conservation Area begins with the alignment of Pittwater Road, which appears to predate European settlement. It corresponds with an early, probably Aboriginal track leading from Manly Cove to the Head of Curl Curl Lagoon and shown on an 1842 parish map of Manly Cove. The distinctive bend in the road after Collingwood Street is explained topographically as a sweep around the embankment of the lagoon which once existed directly to the north.

The Victorian Design of Streets

The other main streets originate from the design by the developer Henry Gilbert Smith for his development called Brighton, later known as Manly. This established East Steyne, Carlton Street, Belgrave Street and the alignment of Francis Street and Pine Street.

Two large subdivisions of the Brighton Estate occurred in the mid-Victorian period and contain all of the area in the Conservation Area. These two subdivisions bear the character of Victorian urban design. Rectilinear, wide streets are arranged in a grid with allotments which are rectilinear and large, of approximately 1000sq.m each. There are back lanes to serve the allotments and the layout is arranged so as to make regular the allotment areas.

The streets created run parallel variously to the coast and to Pittwater Road, thereby creating a series of out-of-square corners and junctions and small connecting streets. This street pattern is distinctive and underpins the urban character of the area. The streets remain unaltered in their alignment, although the names of Malvern, Pine and North Steyne are now names for what were Whistler, Middle Harbour and East Steyne respectively.

The Second Design of Subdivision

The majority of the allotments underwent a re-subdivision in the Edwardian period and later. These closer grained re-subdivisions created smaller allotments for smaller houses. In some cases the end allotments are turned to address the short street. In the Sunlight Estate and an estate near Carlton Street, large subdivisions of original allotments were made.

The major interference with this street pattern is the radical re-alignment of the corner of Pittwater Road and Raglan Street which was made after 1965. Also,

although large villas were built on several amalgamated allotments, none of these have survived.

It is possible to see in the place today the result of the close scaled Edwardian re-subdivision of the larger scale Victorian street pattern with lanes and long blocks. Small houses and narrow shops address larger scale streets, broad enough for tree, and good footpaths, with prominent intersections where the streets meet out of square. Blocks are deep with rear lanes. All streets have a common flat topography giving a clear perceivable character.

The Village in 1893

By 1893 the northern part of Manly had been subdivided and built up as a substantial Victorian village, with some 100 houses arranged on both sides of Pittwater Road, from Raglan to Carlton Streets, and on the east side of Pittwater Road, from Carlton Street to the lagoon. With two exceptions, the development is of houses on single allotments from Victorian subdivisions. Larger estate-type houses existed in the vicinity: The Lawn and Undercliffe. The completeness of the village can be seen in early photographs from this time which illustrate not only houses, but developed gardens, fences, kerb and guttering and street trees in the gutter.

It has been possible to locate those buildings which survive from 1893 or before. About 32 buildings survive of the hundred or so which existed in the Victorian period. The greatest density and those most intact are on Pittwater Road, between Denison and Steinton Streets. This includes the substantial terraces development on the corner of Pittwater Road and Denison Street.

Early 20th Century Development

Almost all buildings in the conservation area were extant at 1933. These buildings include small terraces of houses, single detached houses, small apartment buildings and shops.

In historic terms therefore the urban fabric around Pittwater Road is, in the main, a result of an historical development over a relatively short time: about 40 years leading up to 1933. Considering that it includes domestic and commercial development it is a place of relatively unusual historic cohesion.

Later 20th Century Development

This pattern of development came into being without any particular control over the relative placement of different types of land uses. This has led to the current diversity of residential and non-residential land uses found along Pittwater Road. In part, Pittwater Road took on some service area functions for the main part of Manly and many of these activities still exist in residential zones. Reflecting this, town planning controls introduced in the 1950's established a light industrial zone on the western side of Pittwater Road south of Carlton Street. This was later changed to a general business zoning, with residential zonings elsewhere. Importantly, a road widening

proposal for the east side of Pittwater Road was not removed until the 1980s.

3.2. Site History

Pine Street was established in 1855 as part of H.G Smith's subdivision in Manly. At the time the street was called Prince's Street. It was later renamed Middle Harbour Road. The area east of Pittwater Road was developed first, in the 1860s, followed by the western side of Pittwater Road where the subject property is located.

The subject site was constructed in an Interwar era flat building style. It is visible on the 1943 aerial and, based on the style of building, was likely constructed in the late 1930s or early 1940s. The building was converted from flats into a single residence after 2008 (Development Consent 264/2008) and has undergone alterations and additions including a rear extension, addition of a pool and outhouse, replacement of the front fence, and hard landscaping to the front setback.



Figure 21: Excerpt from H.G. Smith's 1855 subdivision plan showing Princes Street, now Pine Street (source: State Library of NSW, Z/SP/M5/316).

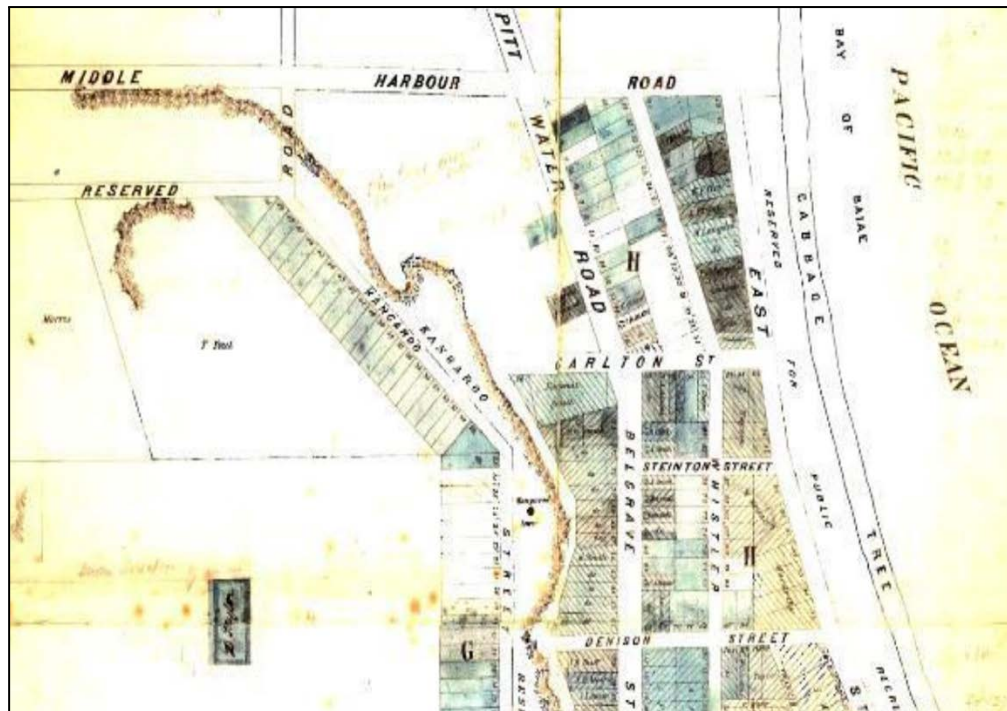


Figure 21: Excerpt from H.G. Smith's 1860 subdivision plan of Brighton showing Middle Harbour Road, now Pine Street (source: State Library of NSW, M/series 4/810.3/A 5319/map 3).



Figure 21: 1943 aerial showing the subject site outlined in red (Source: LPI SIX Maps).

4. Statements of Significance

4.1. The Conservation Area

The Statement of Significance for the HCA is described in the Northern Beaches Development Control Plan (DCP) 2013, Section 5.2.1:

The Pittwater Road Conservation Area street pattern is distinctive and underpins the urban character of the area. This street pattern comprises the alignment, detailing and silhouette of the street facades and the overall scale of building in Pittwater Road is important. The streets remain unaltered in their alignment, although the names of Malvern, Pine and North Steyne are now names for what were Whistler, Middle Harbour and East Steyne respectively. In particular, the streetscape along Pittwater Road from Dennison Road to Collingwood Street is a fine example of a remaining vista of the early settlement period in the Municipality specifically its scale and architectural interest and mixed use and for its association with the tram route and the major northern transport route.

Further, the NSW State Heritage Inventory outlines the following significance assessment:

Manly Local Environment Plan 1988 (as amended) (i) Conservation Area (ii) various individual items of the Environmental Heritage (buildings, street trees, stone kerbs, stone 'Kangaroo' statue, escarpment) The Conservation Area is associated with the early development of Manly including association with the early developer of Manly, Henry Gilbert Smith who laid out many of the early roads of the area. The historical development is also associated with the tramline of Manly, which traversed through the Conservation Area. The Area is also associated with sub-urbanisation of the area and is historically cohesive in terms of its development from the late 19th century to the 1930s from which the majority of the historic buildings stock dates from. (b) Early development associated with Henry Gilbert Smith and the suburbanisation of Manly in the late 19th century.

The Conservation Area displays an aesthetically distinctive pattern of development. Illustrates cohesive period of building styles from the Victorian and Edwardian eras. Displays a distinctive pattern and scale of development. Landmark qualities include the Kangaroo statues, escarpment, views, historic street planting, and sandstone kerb and guttering.

Local community value is demonstrated through the local precinct committee and public submissions to Council over the years (since at least the late 20th century) regarding the character and quality of the locality.

There is potential for archaeological relics to be found throughout the area. Recent relics have been found in Smith Street during the road improvements in late 2001.

The Pittwater Road Conservation Area has representative significance as a late 19th century and early 20th century urban village developed within a relatively short period displaying a unique historic cohesiveness. Through its physical form, topography, early road layout, Victorian and Edwardian subdivision and even scale of domestic and commercial development demonstrates and typifies the early suburbanisation of Manly.

4.2. The Subject Site

The subject building at 39 Pine Street, Manly has no particular historical and aesthetic significance within the context of the Pittwater Road HCA which is significant for its Victorian and Edwardian era development. The masonry structure dates from the late 1930s or early 1940s and therefore forms part of the Interwar development of the area.

5. Proposed Development

This Heritage Impact Statement (HIS) responds to plans prepared by Studio P Architecture & Interiors (August 2023).

The proposed works include:

- Extension of the ground floor level within the existing deck space at the rear to include a dining room. Addition to include metal roof to matching existing. No change to rear setback of residence.
- Extension of the existing deck slightly to the east within the side setback of the residence.
- Relocation of a kitchenette in the existing outbuilding. Space to be used as a gym.
- Addition of a basketball court, garden beds, soft landscaped outdoor "teenage retreat" area, bike storage at the very rear of the property behind the gym.
- New fencing and gate at the rear of the site.
- New RTW areas along the eastern side of the gym.

There are no proposed works to the façade, primary roof, front setback landscaping or fence.

6. Heritage Impact Assessment

The proposed works will have **no heritage impact** on the significance of Pittwater Road HCA for the following reasons:

- The proposed works will not alter the streetscape setting of the residence, being confined to the rear of the building.
- The proposed works will not impact any significant heritage fabric.
- There will be no impacts to any vegetation or landscaping.
- There will be no archaeological impacts.

- There will be no impacts to heritage in the vicinity, in particular the landscape item along Pine Street.

6.1. Manly Local Environment Plan (LEP) 2013

Relevant provisions of the LEP 2013 and the proposed works compliance are considered below.

5.10 Heritage Conservation		
(1) Objectives The objectives of this clause are as follows: Objectives The objectives of this clause are as follows: (a) to conserve the environmental heritage of Manly, (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views, (c) to conserve archaeological sites, and (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.	The proposed works will conserve the environmental heritage of Manly and the heritage significance of the HCA. The proposed works will not affect any significant heritage fabric, nor the overall presentation and interpretation of the dwelling to the streetscape.	Complies.
(2) Requirement for consent Development consent is required for any of the following: (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance): (i) a heritage item, (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item, exposed, moved, damaged or destroyed.	The subject dwelling is located within the Pittwater Road Heritage Conservation Area (HCA) (C1) as per the Manly Local Environmental Plan (LEP) 2013. Development consent is therefore required for the proposed works.	Complies.

(e) erecting a building on land: (i) on which a heritage item is located or that is within a heritage conservation area.		
(4) Effect of proposed development on heritage significance The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This sub clause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).	This report has found that the proposed works will have no heritage impact on the significance of the HCA.	Complies.
(5) Heritage assessment The consent authority may, before granting consent to any development: (a) on land on which a heritage item is located. Require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.	This report is the heritage management document required by Council to ascertain the heritage impact of the proposed works.	Complies.

6.2. Manly Development Control Plan (DCP) 2013

Relevant provisions of the DCP 2013 and the proposed works compliance are considered below.

3.2.2 Alterations or Additions to Heritage Items or Conservation Areas		
3.2.2.1 Complementary Form and Scale that Distinguishes Heritage Significance a) Alterations or additions to heritage items or buildings within a conservation area will not necessarily seek to replicate, overwhelm, dominate or challenge heritage details or character of the building or structure of heritage significant buildings. However, a contemporary response which complements and respects the form and scale of the original buildings may be considered if the heritage significance is retained. b) Consideration should be given to whether making a house bigger will ruin its appearance. Additions to small houses can easily overwhelm them and use up garden space needed for private open space and impact the setting and pattern of development in the locality. Modest additions work best and can be organised as wings or pavilions to the existing house. All additions must be at the back of the house, not the front.	The proposal will have no impact on the character of the HCA. The proposed additions will have no impact on the appearance of the residence as viewed from Pine Street.	Complies. Complies.
3.2.2.2 Retaining Significant Features and Landscape Setting. <u>Note: as identified in the significance assessment, the building is not considered to be contributory within the HCA. The proposal has been assessed against the below policy in any case to show compliance with the DCP.</u> Alterations or additions to heritage items or buildings within a		

conservation area must: a) retain original and traditional roof form, roof pitch with any alterations to the roofs to be sympathetic to the style of the heritage item or building within a conservation area;	No changes to roof form.	Complies.
b) retain original architectural detailing such as barge board, finial trim, window awnings and front verandas. New detailing must be complementary to the character of the item or place;	No changes to original features.	Complies.
c) retain original wall treatments and original cladding (including slate). Modifications to face brick dwellings must use the original style of bricks, window heads, mortar joints and other building details;	No changes to wall treatment.	Complies.
d) not render or paint original face brickwork. In particular face brickwork where already so treated should be restored, where practical, to its original un-painted state;	The proposal does not include rendering or painting the face brickwork.	Complies.
e) where surfaces are not originally face brickwork: i) any appropriate use of cement render is complementary to and consistent with the heritage architectural style and colour schemes and repainting must be articulated in the same manner as the original colour rendering of the building; ii) external colour schemes are to be in keeping with the original character of the heritage building based where possible on physical or documentary evidence in	N/A	N/A

keeping with the architectural style and period of the building; iii) contemporary colours are not discouraged, but should be combined in a complementary way; and iv) single colour solutions are not permitted;		
f) avoid removal of original fabric in order to retain the integrity of the heritage item or conservation area;	No original fabric removed.	Complies.
g) ensure that any new windows are to be inserted into the existing fabric of a heritage building and be of a size, proportion and type of window that is compatible with the building's architectural style/period as shown in Figure 7; and	N/A	N/A
h) retain and maintain contributory landscape settings for heritage items and ensure new landscaping is sympathetic to the heritage significance of the item or place.	New landscaping located to the rear.	Complies.

7. Conclusions and Recommendations

This report has found that the proposed works will have **no heritage impact** on the significance of the Pittwater Road Heritage Conservation Area.

It is recommended that consent be granted for the proposed development. There are no further recommendations.