

existing dwelling

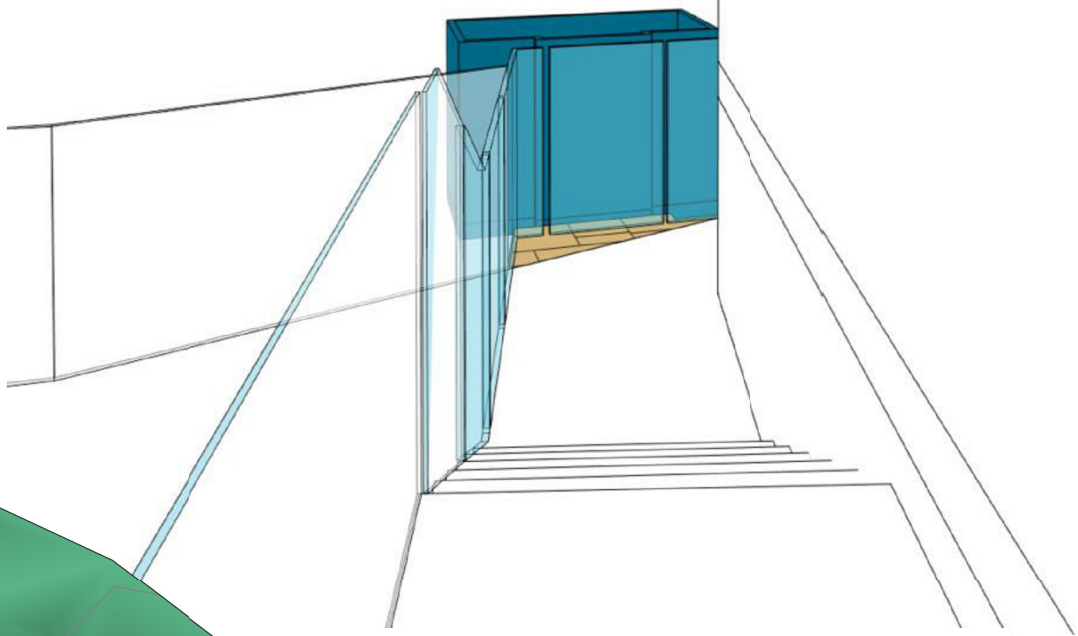


all work to Geotech,
Bushfire and Heritage report req's

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2023/1725



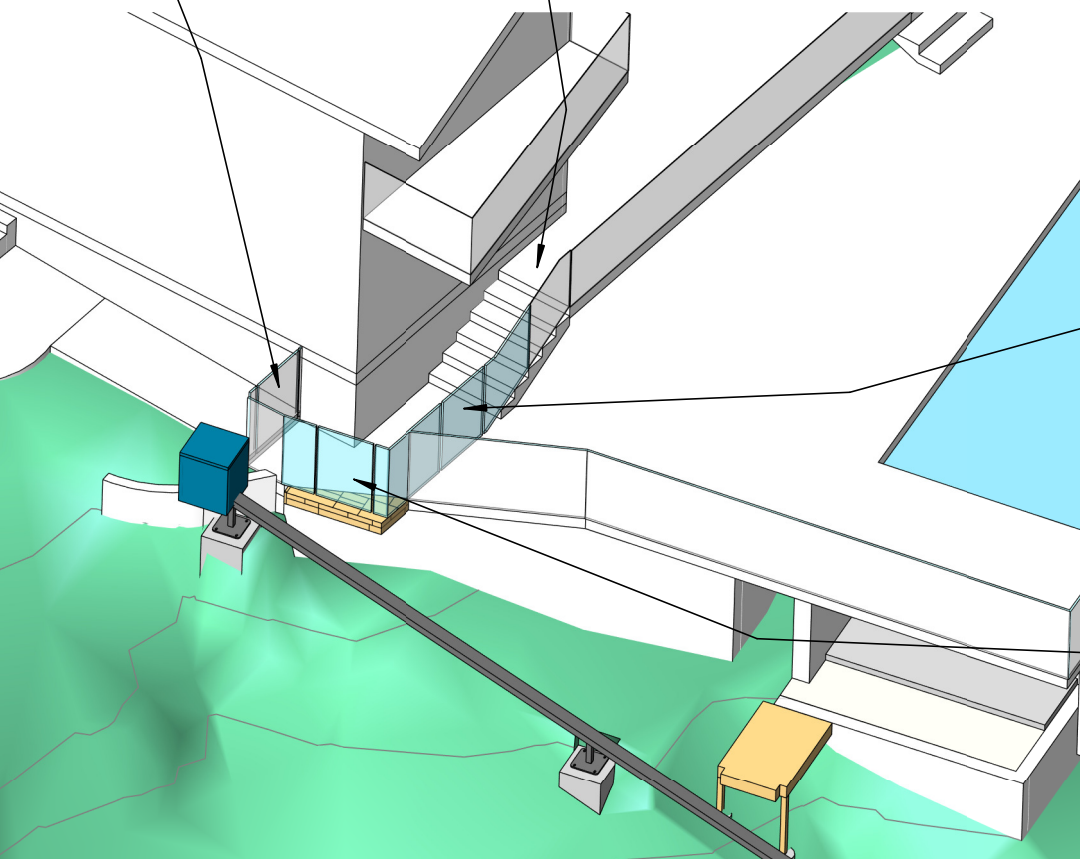
DA ISSUE



gate arrangement
perspective view

retain
existing
gate

delete
existing
gate



new pool gate

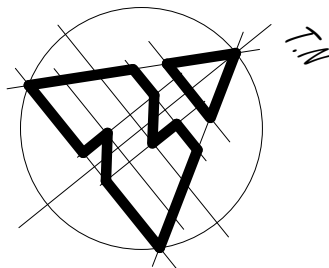
new lift gate

proposed Inclined Lift
to Railius details

3D

Landings 1 & 2

REVISION	REV A 27.10.23	- DETAILS OF ADJOINING CREEK AND TREE ADDED.	multi-award winner 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownes.com.au	PROJECT Proposed Inclined Passenger Lift at 2A Beatty Street Balgowlah Heights	DRAWING Cover Sheet	DRAWN SD	CHECKED SD
	REV B 29.4.24	- LANDING 4 AND ALL WORKS BELOW FBL DELETED.				SCALE	DATE 25.7.23
		- OTHER ELEMENTS ADJUSTED AS REQUIRED.				DRG.	
						A2 2267	O0B



all work to Geotech,
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DA ISSUE

L1

L2

L3

Heritage Item I34
(stone façade)

Foreshore Building Line

Forty
Baskets
Track

no excavations
are poposed
within 5m of
adjoining tree

adjoining creek

BUILDING NOTES

All work to be carried out by suitably licensed and qualified tradesmen, and to comply with all relevant standards and Council requirements.

Main contractor to be responsible for obtaining all necessary inspection certificates.

An approved sedimentation control system is to be installed and maintained for the duration of the contract.

Adjoining properties to be adequately protected at all times.

Asbestos (if encountered) is to be removed and disposed of by a suitably qualified contractor.

Builder / Railius to confirm all dimensions onsite.

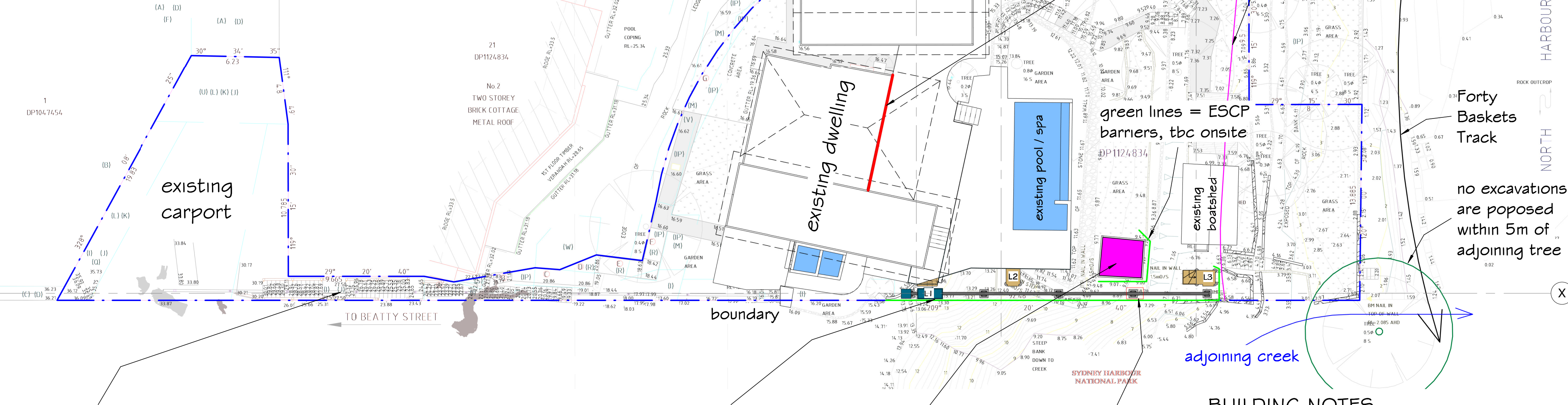
Lift noise level shall not exceed 60dB(A) when measured 1 meter from any adjoining premises.

Railcars and landings to be painted in med to dark colours to blend in with the natural landscape.

Proposed Incline Passenger Lift and associated gates and safety mechanisms to Railius details and designed and constructed to NZS 5270-2005.

All handrails and gates are to be installed in accordance with BCA 2022 Housing Provisions Part 11.3.

All new and modifed pool fences to AS 1926.1 - 2012.



existing Inclined Lift

SITE PLAN @ 1:200

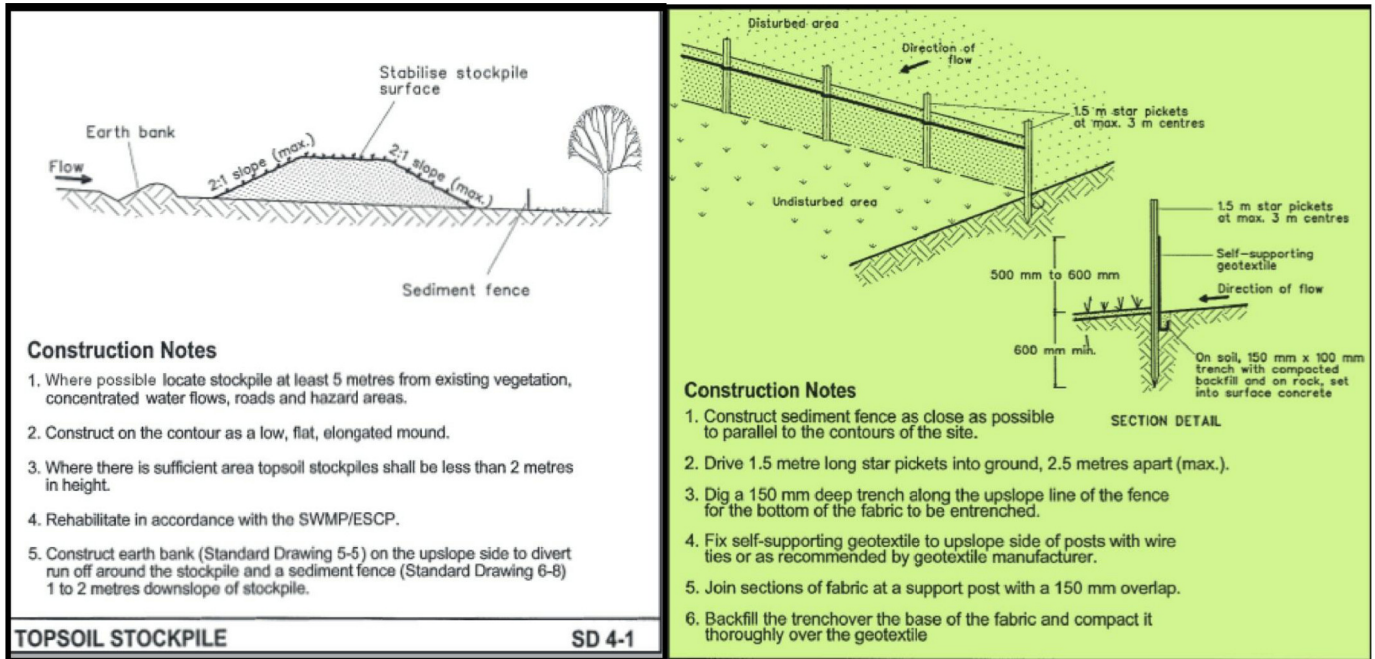
proposed Inclined Lift
to Railius details

waste
management
area

minor clearing
under rail as req'd

EROSION AND SEDIMENT CONTROL PLAN

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
3. Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner.
4. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. Builder to confirm the locations of barrier fences and stockpiles onsite, see suggested main barrier fence location on site plan.
7. Sediment fences and stockpiles to be constructed in accordance with modern standards and the diagrams seen to the right.
8. Due to the steeply sloping site, special care will be taken to prevent soil runoff into existing drains or the waterway.
9. Note that due to the constraints of the site, barriers may need to be relocated during construction.
10. All ESCP measures are to be installed and managed in accordance with Landcom's Managing Urban Stormwater: Soils and Construction 2004.



REVISION	REV A 27.10.23
- DETAILS OF ADJOINING CREEK AND TREE ADDED.	
REV B 29.4.24	
- LANDING 4 AND ALL WORKS BELOW FBL DELETED.	
- OTHER ELEMENTS ADJUSTED AS REQUIRED.	

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1725

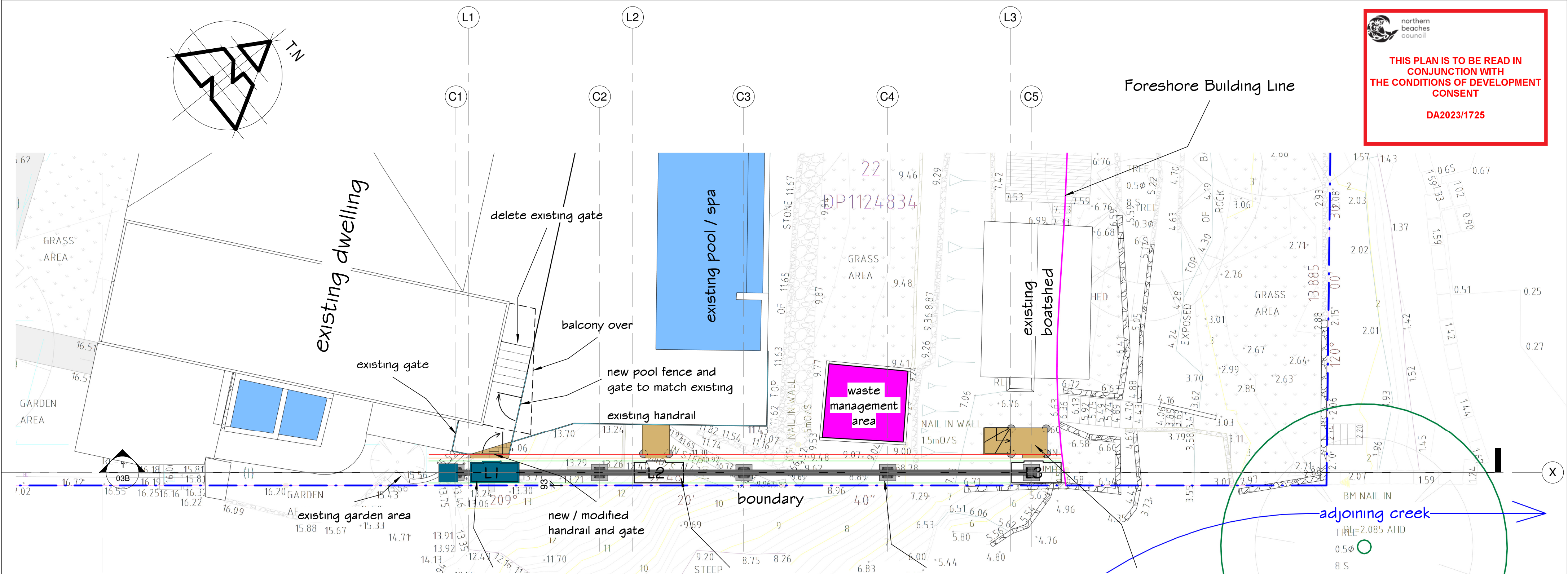
multi-award winner

77 Riviera Ave, Avalon Beach 2107 0488 662 445

www.peterdownnes.com.au

PROJECT	Proposed Inclined Passenger Lift at 2A Beatty Street Balgowlah Heights
DRAWING	Site Plan / Notes / ESCP

DRAWN SD	CHECKED SD
SCALE 1 : 200	DATE 25.7.23
DRG. A2 2267	O1B

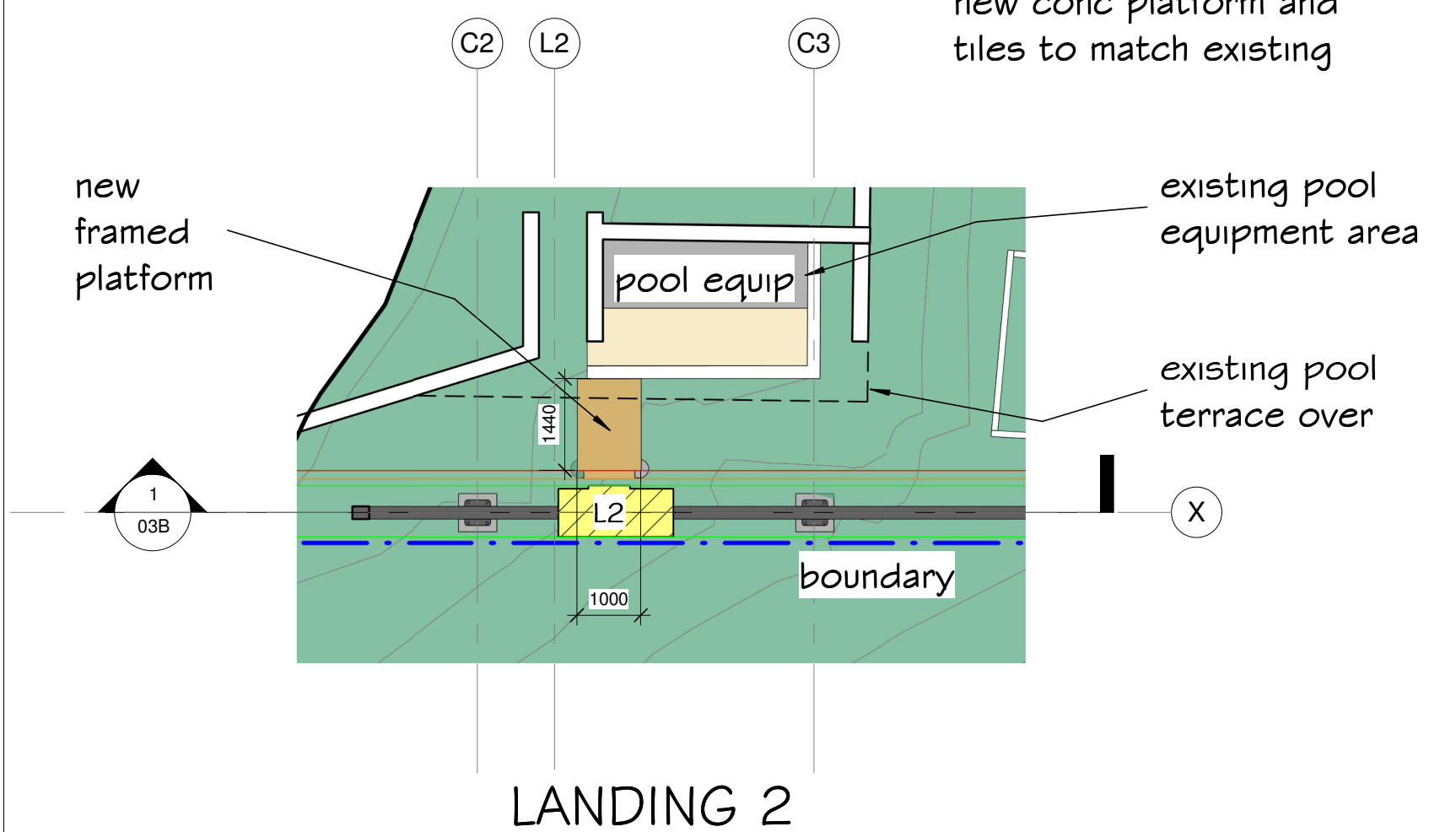


- L1 - Pool Terrace -
new conc platform and
tiles to match existing

L2 - Pool Equipment -
new framed landing
under pool terrace

new conc footing
to eng's details

L3 - boatshed -
new framed platform
and stairs
4 risers @ 142.5
3 treads @ 30 degs
tbc onsite



RAIL PLAN

- KEY

Railcar carriage outside faces ———

Landing tread line ———

Clearance / handrail line ———
- NOTES

 - All dimensions are CLEAR.
 - No structures may encroach past the red clearance line apart from the landing tread.
 - Lift and all associated works are to be installed to NZS 5270-2005.

SETOUT OF LANDINGS AND LIFT GATES NOTE:

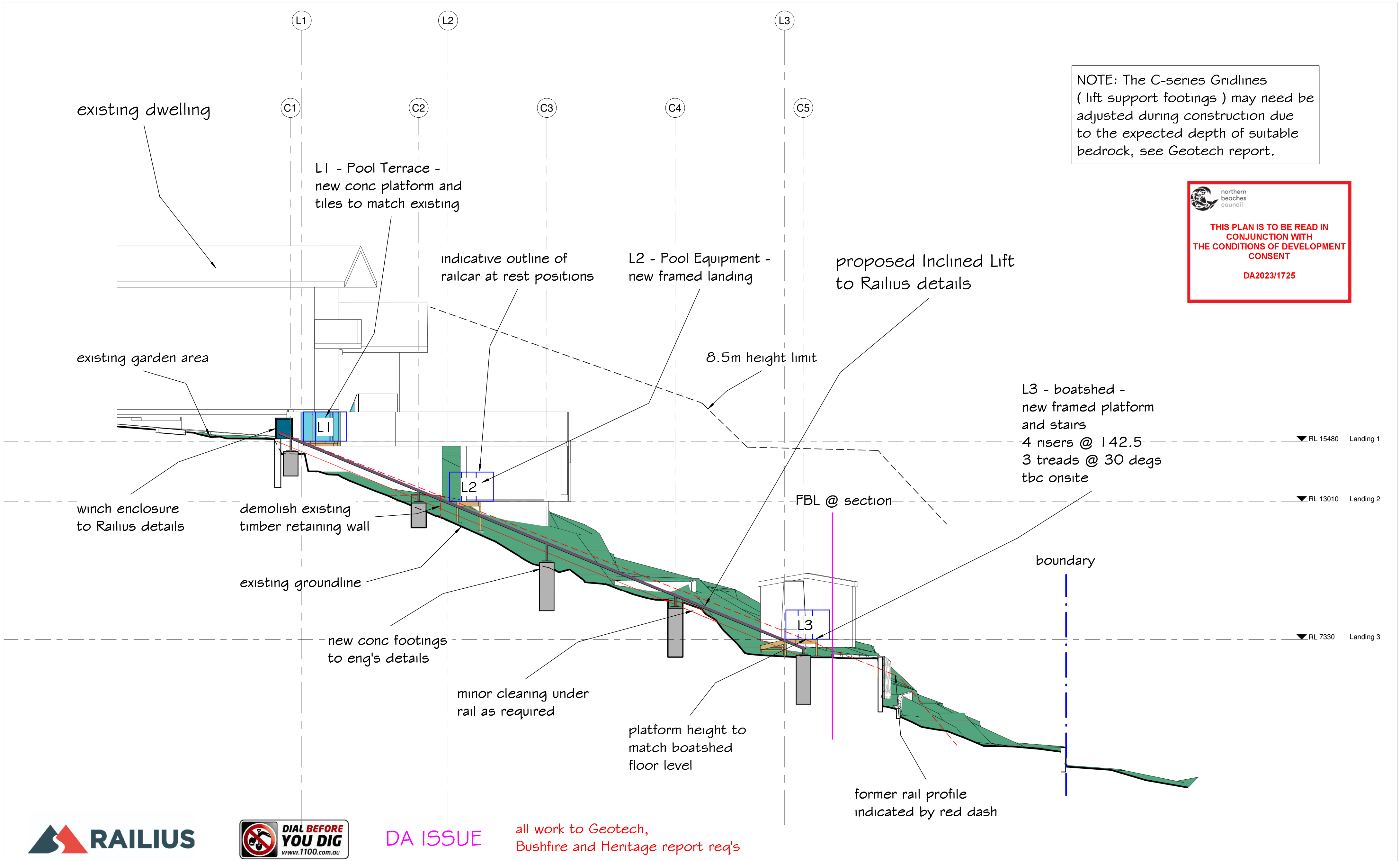
- ALL WORKS ARE TO BE SETOUT BY REGISTERED SURVEYOR
- LANDING GATES AND LANDING TREADS ARE TO BE INSTALLED IN CONSULTATION WITH RAILIUS



DA ISSUE

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report req's

REVISION REV A 27.10.23 - DETAILS OF ADJOINING CREEK AND TREE ADDED. REV B 29.4.24 - LANDING 4 AND ALL WORKS BELOW FBL DELETED. - OTHER ELEMENTS ADJUSTED AS REQUIRED.	 peterdownnes multi-award winner designs 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownnes.com.au	PROJECT Proposed Inclined Passenger Lift at 2A Beatty Street Balgowlah Heights DRAWING Rail Plan	DRAWN SD CHECKED SD SCALE 1 : 100 DATE 25.7.23 DRG. A2 2267 02B



REVISION	REV A 27.10.23	- DETAILS OF ADJOINING CREEK AND TREE ADDED.	peterdownes multi-award winner designs 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownes.com.au	PROJECT Proposed Inclined Passenger Lift at 2A Beatty Street Balgowlah Heights	DRAWING Section I	DRAWN SD	CHECKED SD
	REV B 29.4.24	- LANDING 4 AND ALL WORKS BELOW FBL DELETED.				SCALE 1 : 100	DATE 25.7.23
	REV C 29.4.24	- OTHER ELEMENTS ADJUSTED AS REQUIRED.				DRG.	
						A2 2267	03B