

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

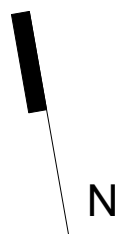
- LEGEND
- existing
 - excavation
 - outline of proposed new works



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Existing Lower Ground Plan
Lower Excavation Plan
Lower Demolition Plan

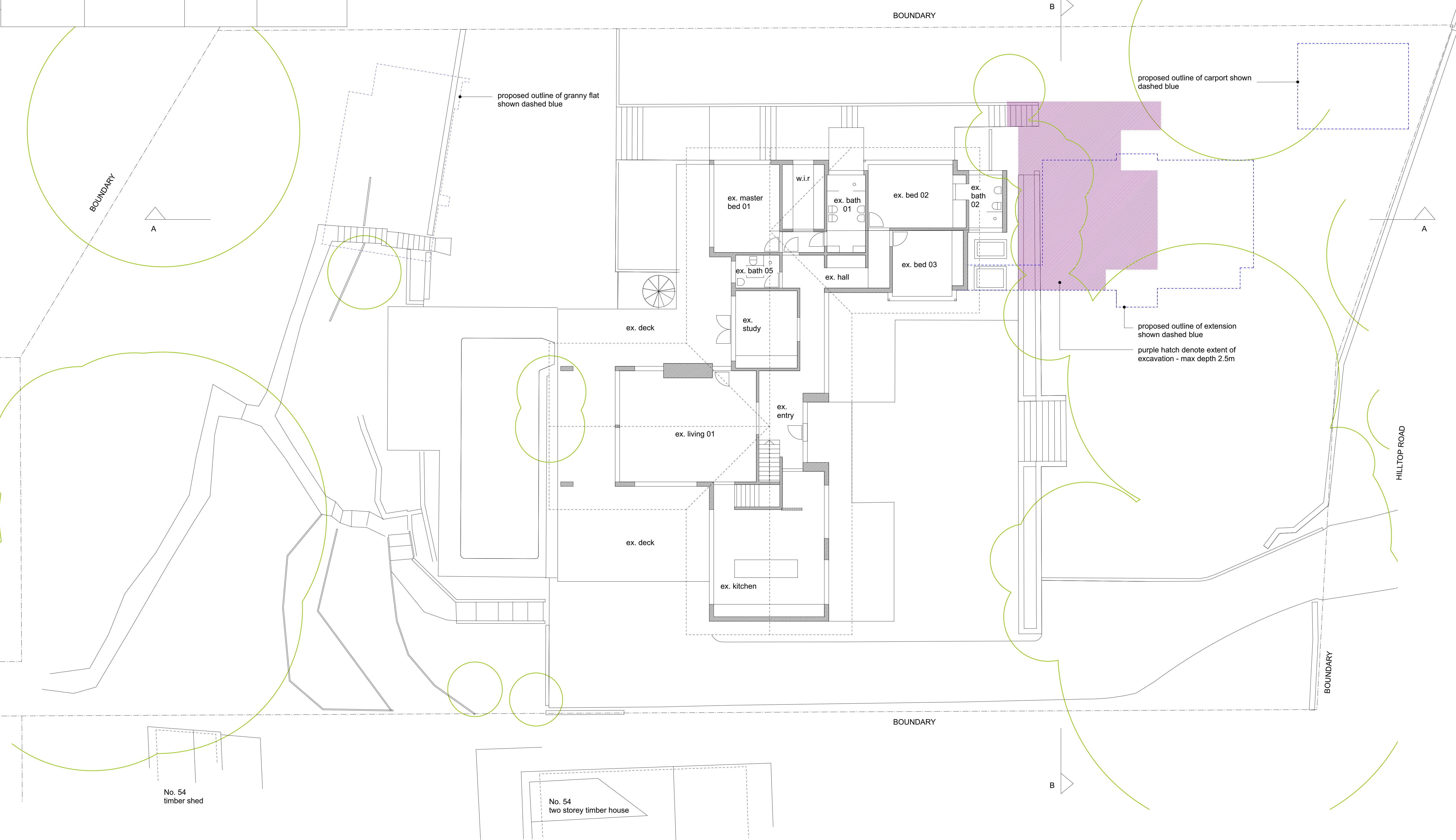
drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA
050.01
ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

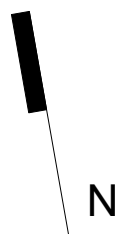
- LEGEND
- existing
 - excavation
 - outline of proposed new works



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

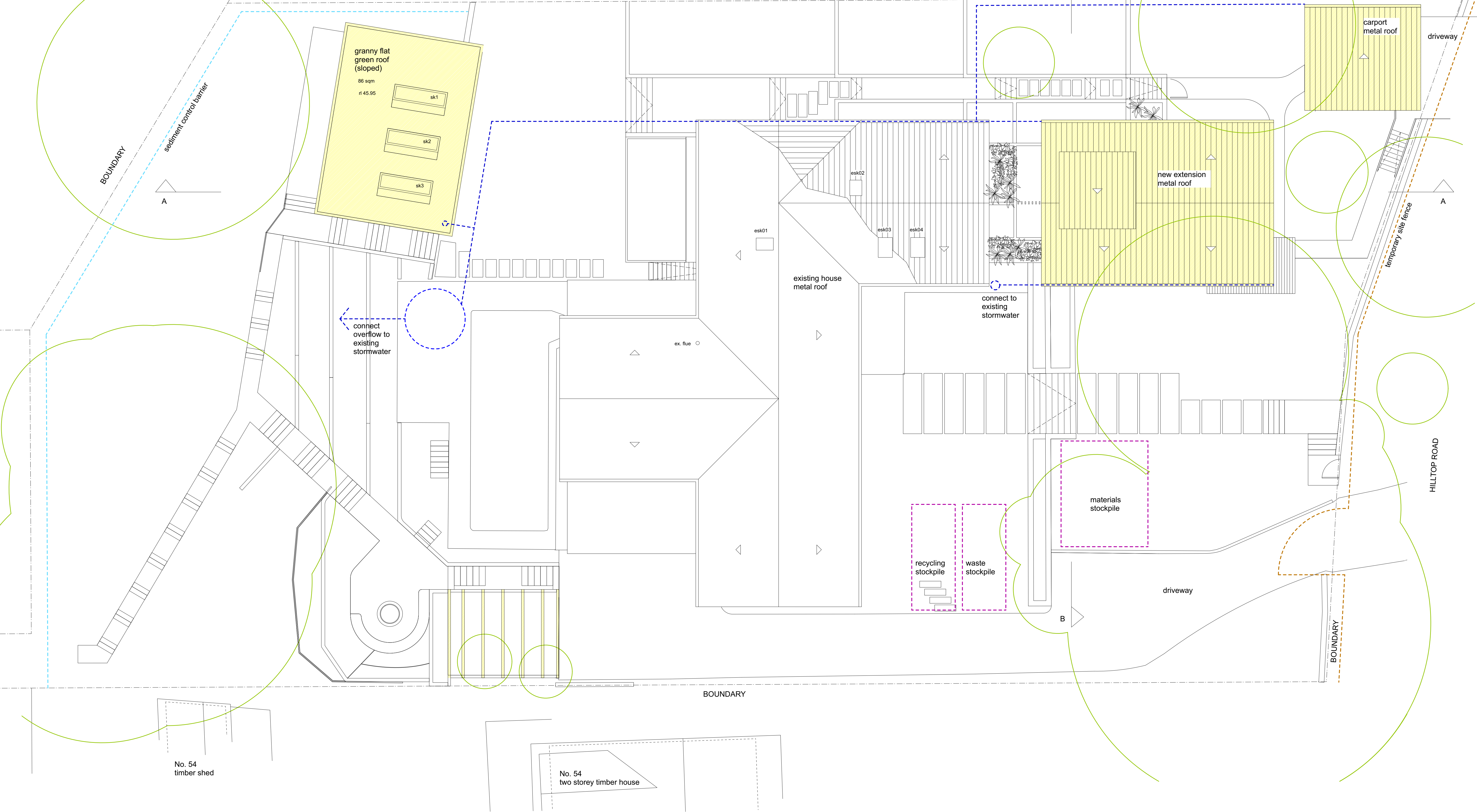
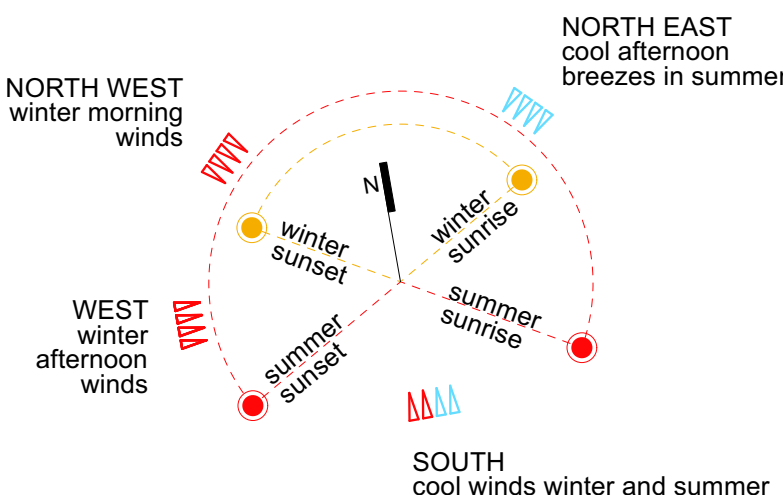
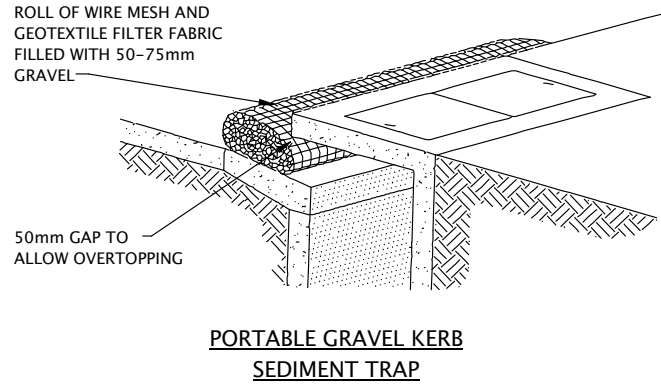
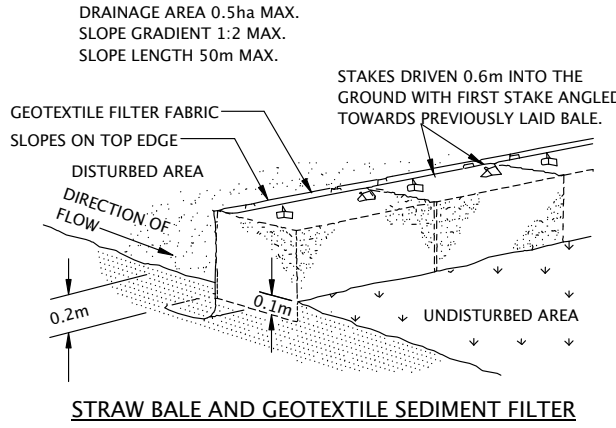
drawing:
Existing Upper Ground Plan
Upper Excavation Plan
Upper Demolition Plan

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA
051.01
ISSUE 01: 03.06.2023

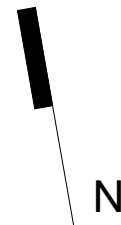
DEVELOPMENT STATISTICS				
	proposed development	existing building	DCP and LEP, SEPP	LEGEND
site area	2958 sq m	2958 sq m		new work
gross floor area	467.8 sqm	303 sqm		sediment control barrier
height	6.3m	5.5m	N/A	site fence
private open space	>353 sqm	>353 sqm	max 8.5m	stockpile
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm	stormwater
			min. 60%	slope of roof



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawings
Site Plan & Site Analysis
Waste Management Plan
Construction Plan
Erosion and Sediment Control Plan
Stormwater Management Plan

drawn by: lw checked by: md

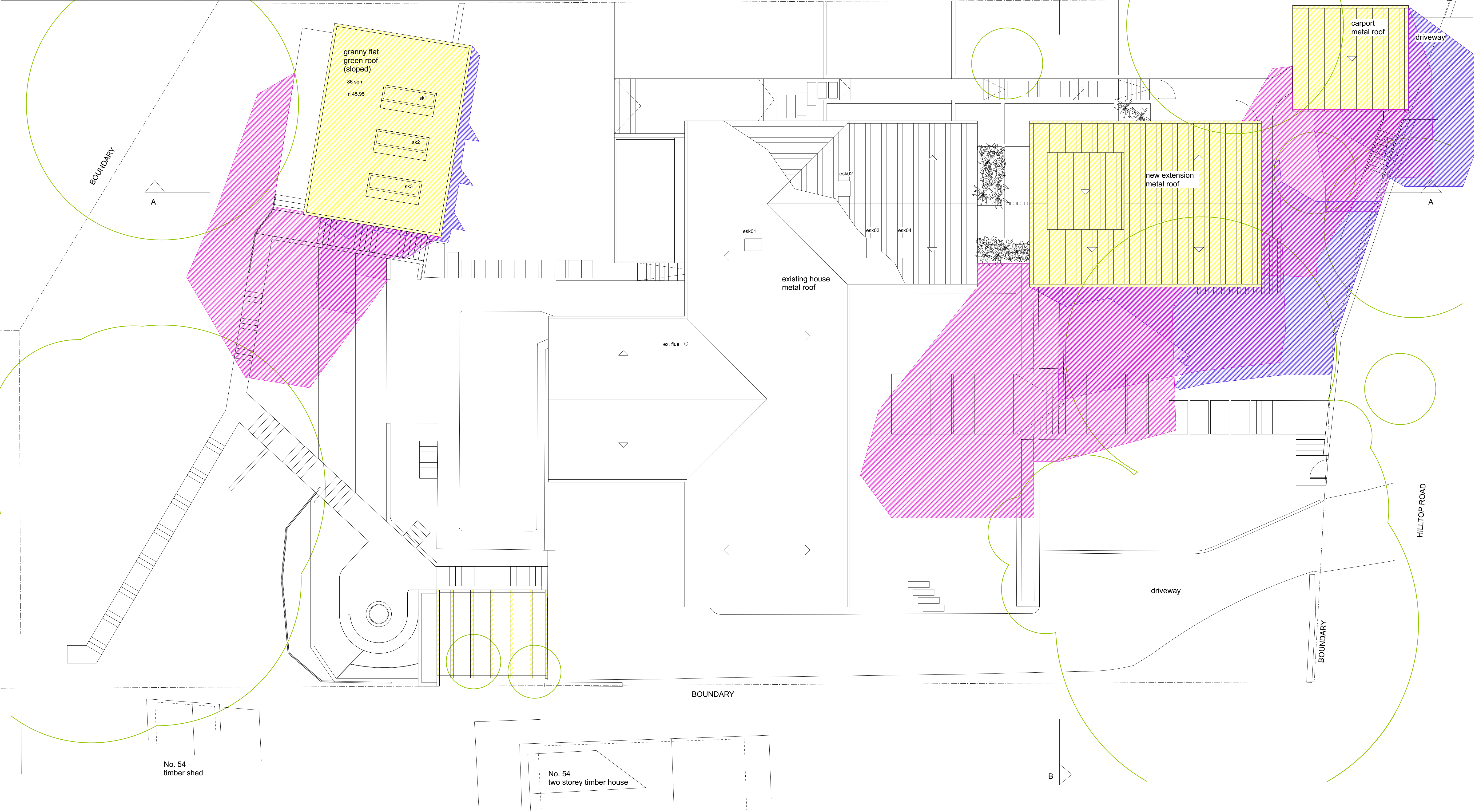
scale: 1 : 100 @ A1
1 : 200 @ A3

DA

100.01

ISSUE 01: 03.06.2023

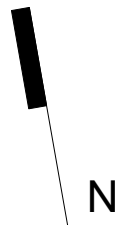
DEVELOPMENT STATISTICS				
	proposed development	existing building	DCP and LEP, SEPP	LEGEND
site area	2958 sq m	2958 sq m		new work
gross floor area	467.8 sqm	303 sqm		9am shadow 21 June
height	6.3m	5.5m	N/A	12pm shadow 21 June
private open space	>353 sqm	>353 sqm	max 8.5m	3pm shadow 21 June
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm	
			min. 60%	<u>note: no additional shadow to any neighbouring properties</u>



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:

52 Hilltop Road, Avalon Beach

Client

Adoncello

Job no.:

1903

drawing:

Shadow Diagrams

drawn by: lw

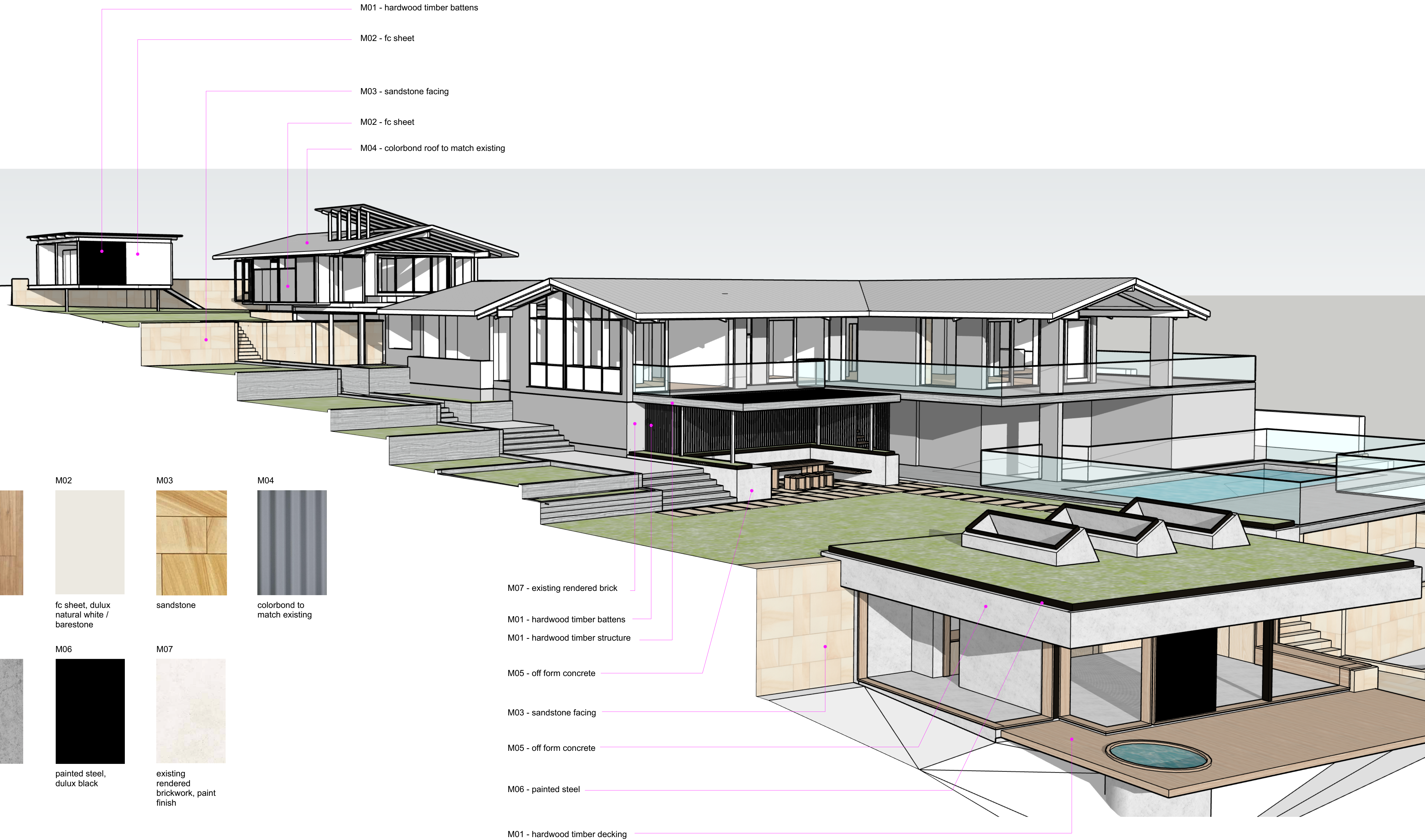
checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

150.01

ISSUE 01: 03.06.2023

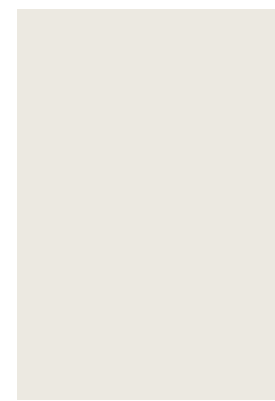


M01



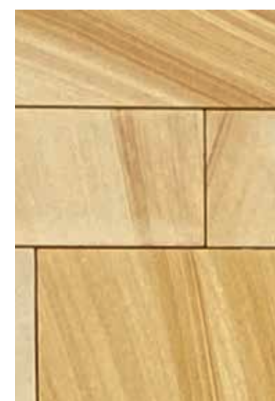
hardwood,
blackbutt /
tallowwood

M02



fc sheet, dulux
natural white /
barestone

M03



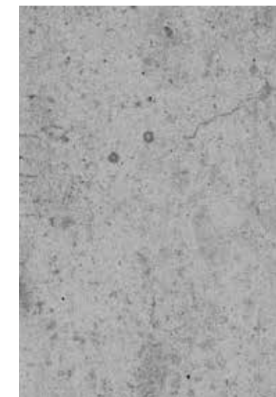
sandstone

M04



colorbond to
match existing

M05



concrete

M06



painted steel,
dulux black

M07



existing
rendered
brickwork, paint
finish

M07 - existing rendered brick

M01 - hardwood timber battens

M01 - hardwood timber structure

M05 - off form concrete

M03 - sandstone facing

M05 - off form concrete

M06 - painted steel

M01 - hardwood timber decking

MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:

52 Hilltop Road, Avalon Beach

Client

Adoncello

Job no.:

1903

drawing:

Schedule of Materials

drawn by: lw

checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

151.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISITCS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

- LEGEND
- new work
 - masonry (new work)
 - lightweight wall (new work)
 - green roof / garden (new work)
 - existing

- conc

cpd

d1

emr

erb

ew1

fc

fll

gaw
- off form concrete

cupboard / robe

new door

existing metal roof

existing rendered brickwork

existing window

fibre cement cladding, painted

finished floor level

glazed al. framed window
- gad

gtd

gtw

ldy

mr

sk

stn

w1
- glazed al. framed door

glazed timber framed door

glazed timber framed window

laundry

metal roof

skylight

stone cladding

new window

No. 50
two storey timber house

BOUNDARY

B

BOUNDARY

A

new masonry retaining wall to replace existing

building outline above shown dashed

new terracing to replace existing, refer landscape arch. plan

new firepit area, refer landscape arch. plan

BOUNDARY

A

BOUNDARY

B

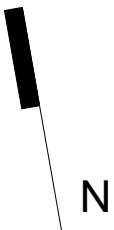
No. 54
timber shed

No. 54
two storey timber house

MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all relevant Australian Standards and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed Granny Flat Floor Plan

drawn by: lw checked by: md

DA

200.01

scale: 1 : 100 @ A1
1 : 200 @ A3

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

- LEGEND
- new work
 - masonry (new work)
 - lightweight wall (new work)
 - green roof / garden (new work)
 - existing

- | | | | |
|------|--------------------------------|-----|-----------------------------|
| conc | off form concrete | gad | glazed al. framed door |
| cpd | cupboard / robe | gtd | glazed timber framed door |
| d1 | new door | gtw | glazed timber framed window |
| emr | existing metal roof | ldy | laundry |
| erb | existing rendered brickwork | mr | metal roof |
| ew1 | existing window | sk | skylight |
| fc | fibre cement cladding, painted | stn | stone cladding |
| fll | finished floor level | w1 | new window |
| gaw | glazed al. framed window | | |

No. 50
two storey timber house

BOUNDARY

B

existing retaining wall and stair to be refurbished

building outline above shown dashed

A

BOUNDARY

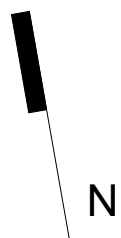
B

No. 54
two storey timber house

MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all relevant Australian Standards and the Building Code of Australia.



Project:

52 Hilltop Road, Avalon Beach

Client

Adoncello

Job no.:

1903

drawing:

Proposed Lower Ground
Floor Plan

drawn by: lw

checked by: md

DA

scale: 1 : 100 @ A1
1 : 200 @ A3

201.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

- LEGEND
- new work
 - masonry (new work)
 - lightweight wall (new work)
 - green roof / garden (new work)
 - existing

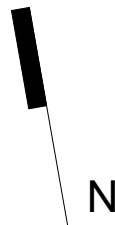
- | | | | |
|------|--------------------------------|-----|-----------------------------|
| conc | off form concrete | gad | glazed al. framed door |
| cpd | cupboard / robe | gtd | glazed timber framed door |
| d1 | new door | gtw | glazed timber framed window |
| emr | existing metal roof | ldy | laundry |
| erb | existing rendered brickwork | mr | metal roof |
| ew1 | existing window | sk | skylight |
| fc | fibre cement cladding, painted | stn | stone cladding |
| fll | finished floor level | w1 | new window |
| gaw | glazed al. framed window | | |



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
**Proposed Mid Ground
Floor Plan**

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

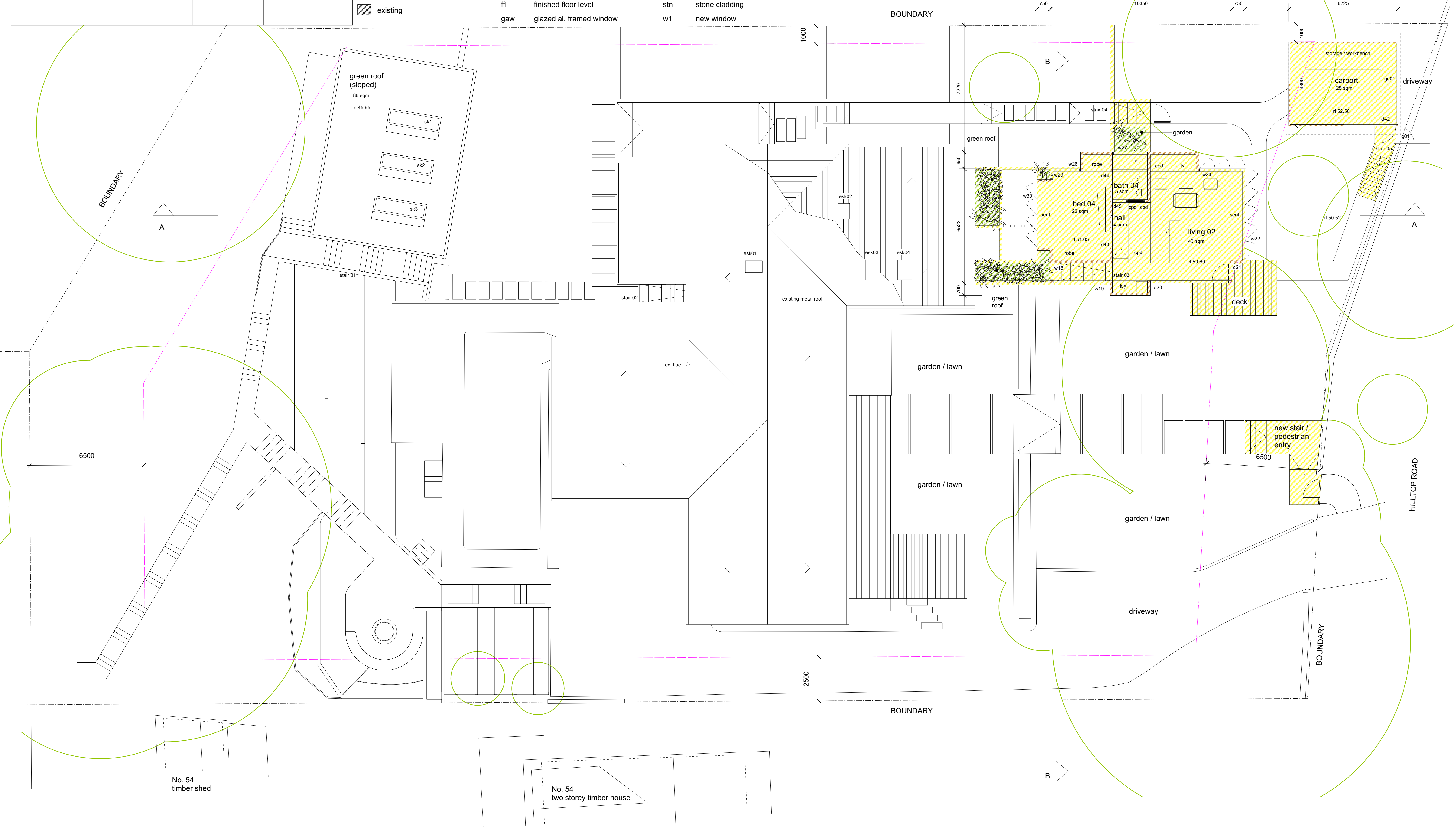
202.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	
height	6.3m	5.5m	N/A
private open space	>353 sqm	>353 sqm	max 8.5m
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 80sqm
			min. 60%

- LEGEND
- new work
 - masonry (new work)
 - lightweight wall (new work)
 - green roof / garden (new work)
 - existing

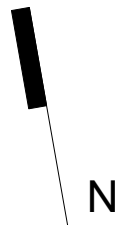
- | | | | |
|------|--------------------------------|-----|-----------------------------|
| conc | off form concrete | gad | glazed al. framed door |
| cpd | cupboard / robe | gtd | glazed timber framed door |
| d1 | new door | gtw | glazed timber framed window |
| emr | existing metal roof | ldy | laundry |
| erb | existing rendered brickwork | mr | metal roof |
| ew1 | existing window | sk | skylight |
| fc | fibre cement cladding, painted | stn | stone cladding |
| ffl | finished floor level | w1 | new window |
| gaw | glazed al. framed window | | |



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.



Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
**Proposed Upper Ground
Floor Plan**

drawn by: lw checked by: md

DA

203.01

scale: 1 : 100 @ A1
1 : 200 @ A3

ISSUE 01: 03.06.2023

DEVELOPMENT STATISITCS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

LEGEND

- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- conc

off form concrete
- cpd

cupboard / robe
- d1

new door
- emr

existing metal roof
- erb

existing rendered brickwork
- ew1

existing window
- fc

fibre cement cladding, painted
- ffl

finished floor level
- gaw

glazed al. framed window
- gad

glazed al. framed door
- gtd

glazed timber framed door
- gtw

glazed timber framed window
- ldy

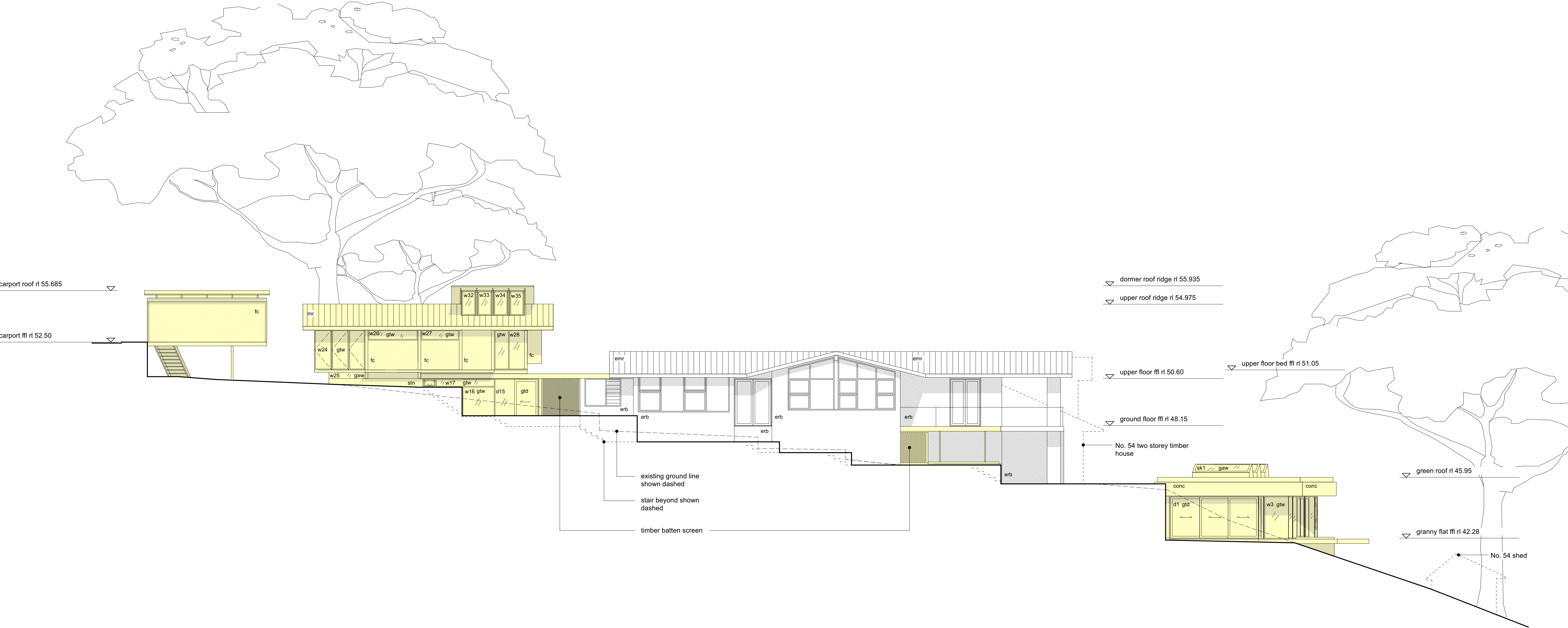
laundry
- mr

metal roof
- sk

skylight
- stn

stone cladding
- w1

new window



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed North Elevation
drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

300.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

LEGEND

- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- conc

cpd

d1

emr

erb

ew1

fc

ffi

gaw
- off form concrete

cupboard / robe

new door

existing metal roof

existing rendered brickwork

existing window

fibre cement cladding, painted

finished floor level

glazed al. framed window
- gad

gtd

gtw

ldy

mr

sk

stn

w1
- glazed al. framed door

glazed timber framed door

glazed timber framed window

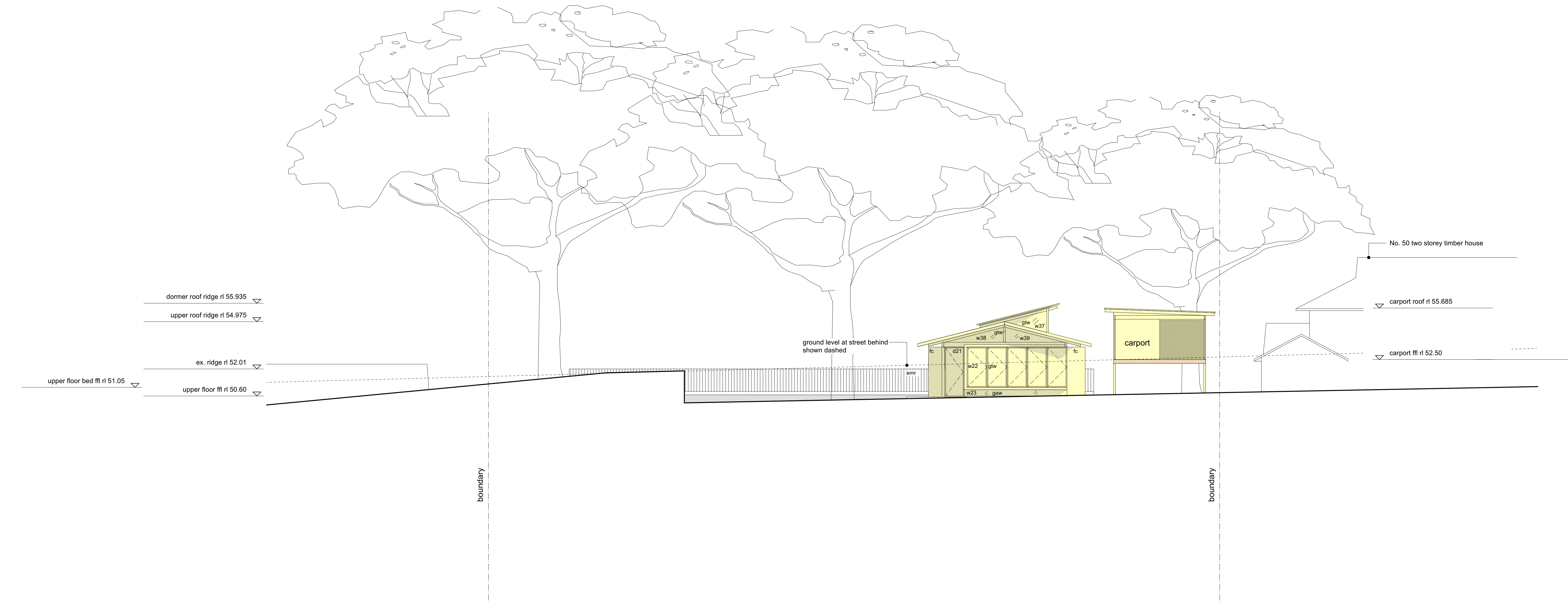
laundry

metal roof

skylight

stone cladding

new window



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed East Elevation

drawn by: lw checked by: md

DA

301.01

scale: 1 : 100 @ A1
1 : 200 @ A3

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

- LEGEND
- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- conc

off form concrete
- cpd

cupboard / robe
- d1

new door
- emr

existing metal roof
- erb

existing rendered brickwork
- ew1

existing window
- fc

fibre cement cladding, painted
- ffi

finished floor level
- gaw

glazed al. framed window
- gad

glazed al. framed door
- gtd

glazed timber framed door
- gtw

glazed timber framed window
- ldy

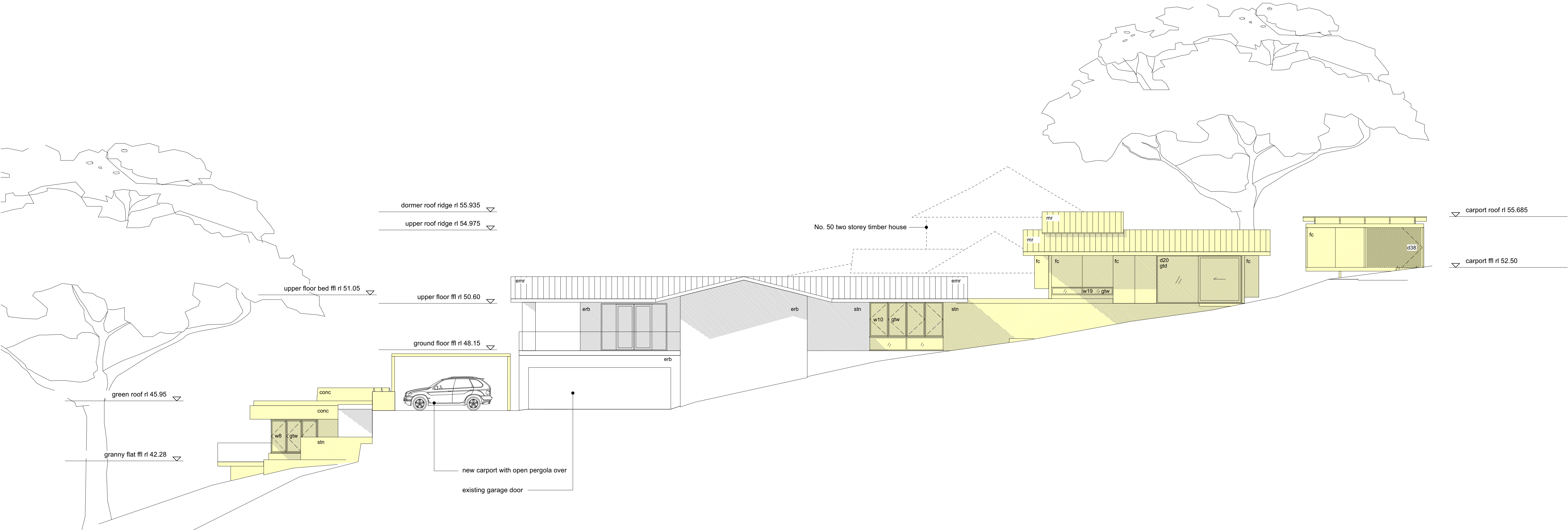
laundry
- mr

metal roof
- sk

skylight
- stn

stone cladding
- w1

new window



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed South
Elevation

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

302.01

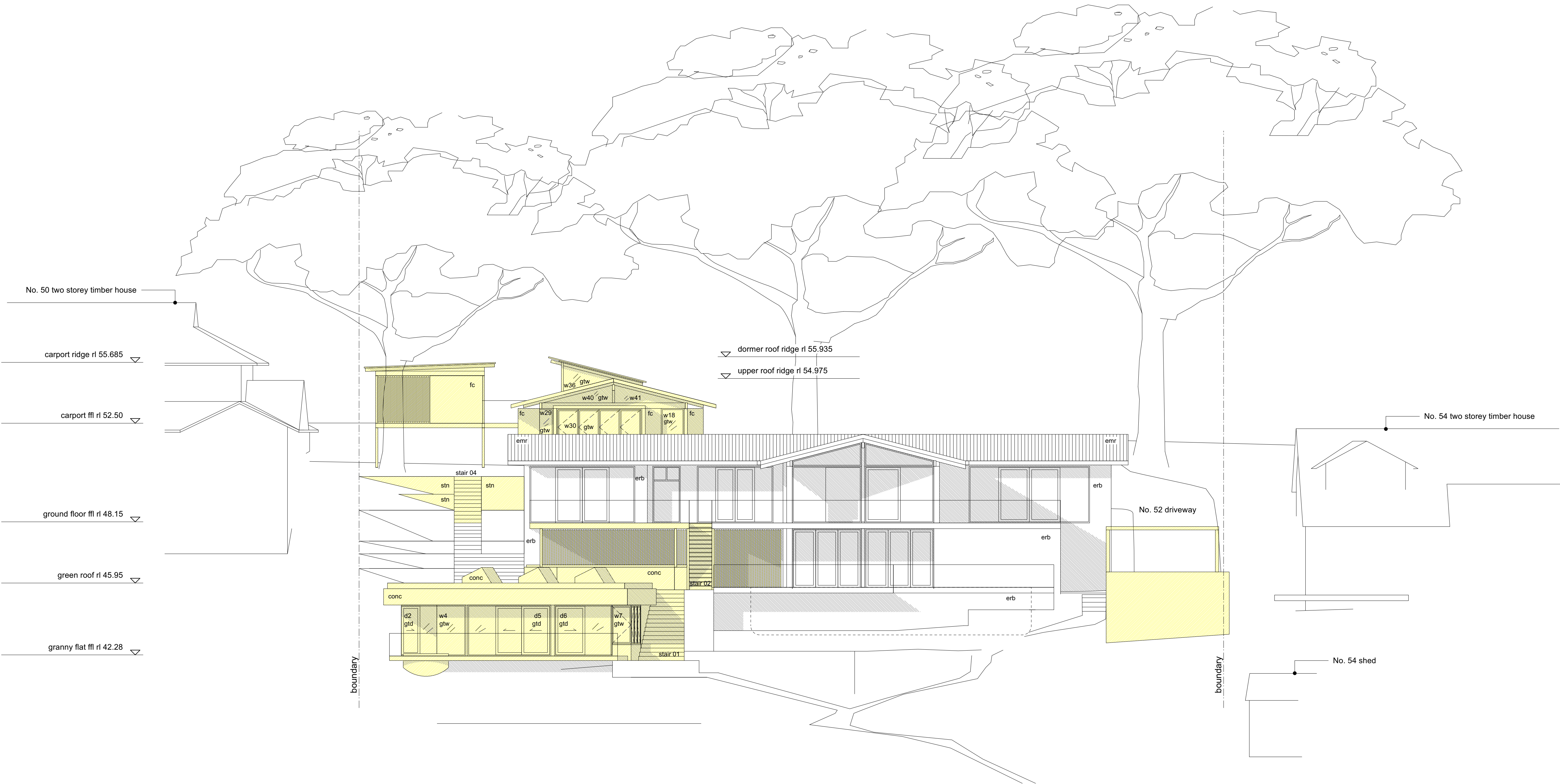
ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

LEGEND

- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- | | | | |
|------|--------------------------------|-----|-----------------------------|
| conc | off form concrete | gad | glazed al. framed door |
| cpd | cupboard / robe | gtd | glazed timber framed door |
| d1 | new door | gtw | glazed timber framed window |
| emr | existing metal roof | ldy | laundry |
| erb | existing rendered brickwork | mr | metal roof |
| ew1 | existing window | sk | skylight |
| fc | fibre cement cladding, painted | stn | stone cladding |
| ffi | finished floor level | w1 | new window |
| gaw | glazed al. framed window | | |



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all relevant Australian Standards and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed West Elevation

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

303.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

LEGEND

- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- conc

off form concrete
- cpd

cupboard / robe
- d1

new door
- emr

existing metal roof
- erb

existing rendered brickwork
- ew1

existing window
- fc

fibre cement cladding, painted
- ffl

finished floor level
- gaw

glazed al. framed window
- gad

glazed al. framed door
- gtd

glazed timber framed door
- gtw

glazed timber framed window
- ldy

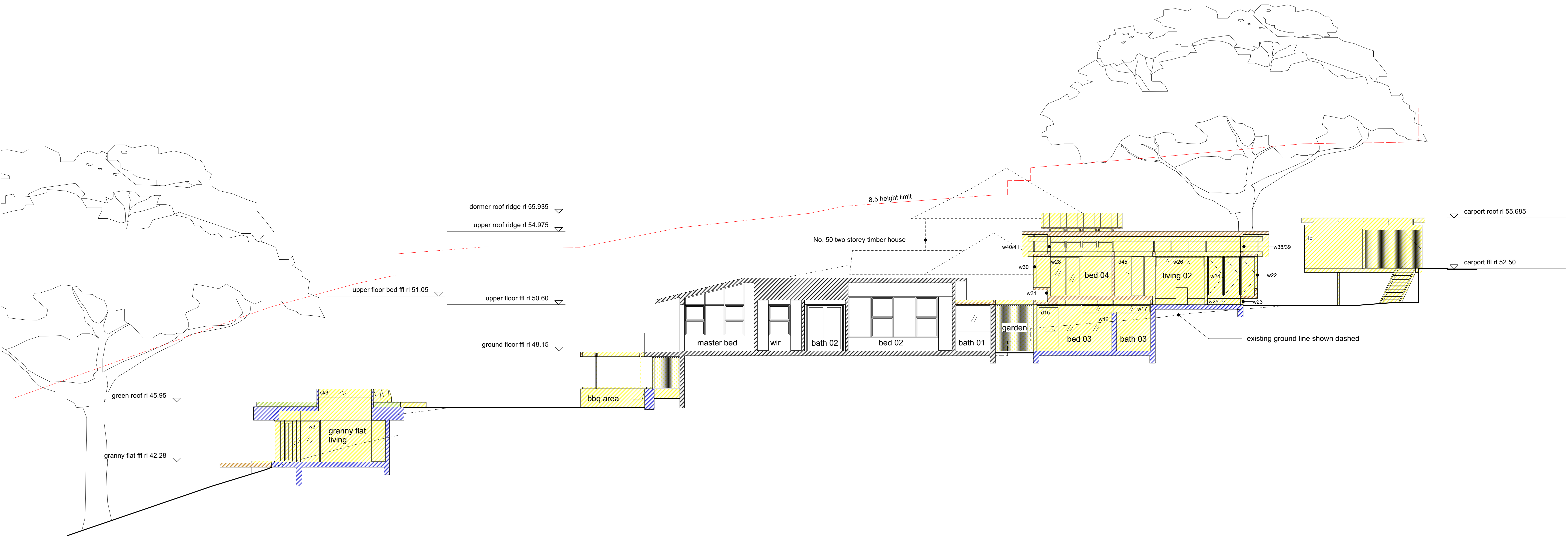
laundry
- mr

metal roof
- sk

skylight
- stn

stone cladding
- w1

new window



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed Section A-A

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

400.01

ISSUE 01: 03.06.2023

DEVELOPMENT STATISTICS			
	proposed development	existing building	DCP and LEP, SEPP
site area	2958 sq m	2958 sq m	
gross floor area	467.8 sqm	303 sqm	N/A
height	6.3m	5.5m	max 8.5m
private open space	>353 sqm	>353 sqm	min. 80sqm
landscaped area	1931 sqm / 65%	2176 sqm / 74%	min. 60%

LEGEND

- new work
- masonry (new work)
- lightweight wall (new work)
- green roof / garden (new work)
- existing

- conc

cpd

d1

emr

erb

ew1

fc

ffl

gaw
- off form concrete

cupboard / robe

new door

existing metal roof

existing rendered brickwork

existing window

fibre cement cladding, painted

finished floor level

glazed al. framed window
- gad

gtd

gtw

ldy

mr

sk

stn

w1
- glazed al. framed door

glazed timber framed door

glazed timber framed window

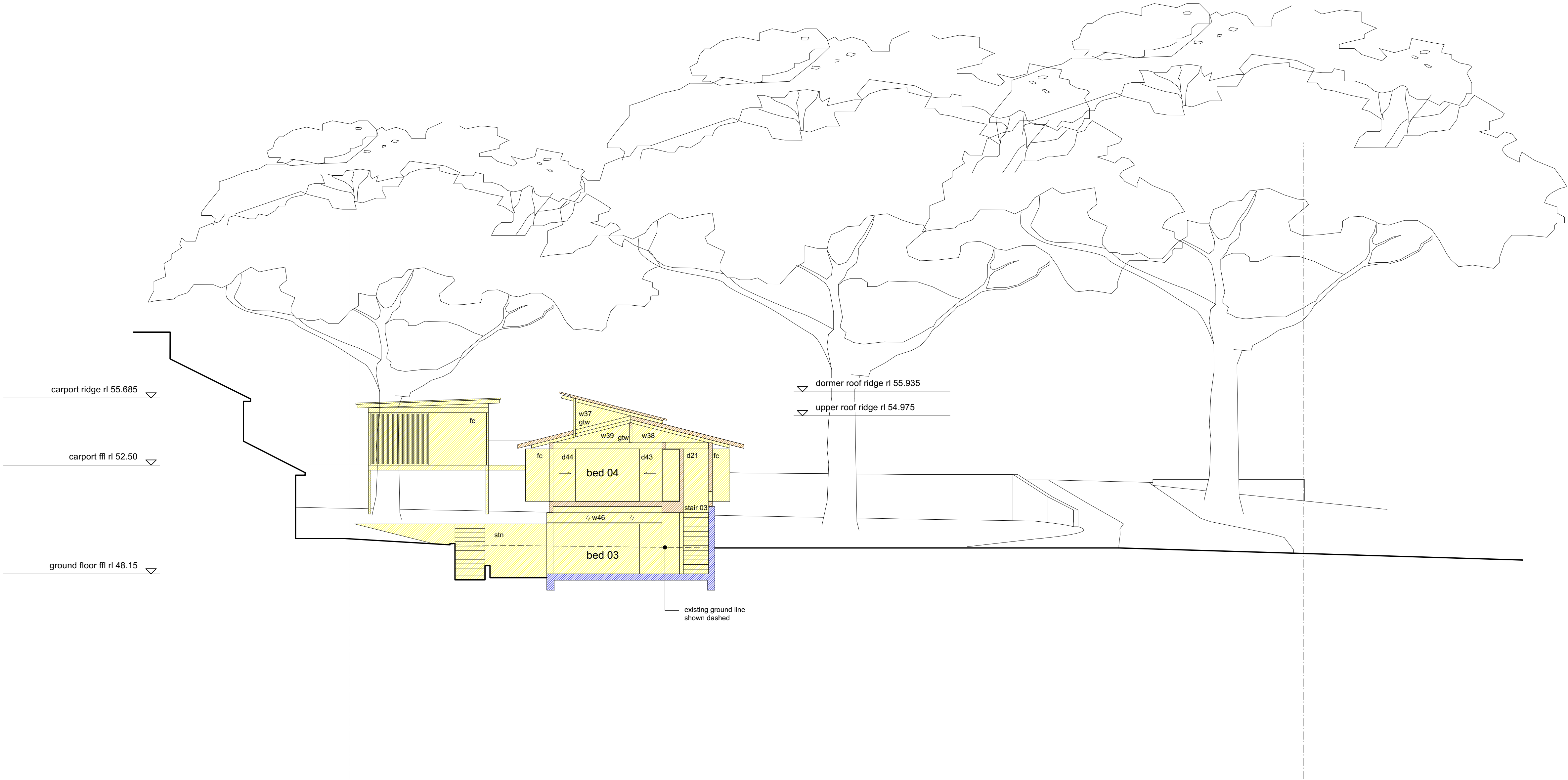
laundry

metal roof

skylight

stone cladding

new window



MATT DAY ARCHITECT

Suite 1 & 2
6 Waratah Street, Mona Vale NSW 2103
email : matt@mattdayarchitect.com.au
mob. 0400 661 788
registered architect : matt day no. 7748

SPECIFICATION :
The proposed building works must comply with all
relevant Australian Standards
and the Building Code of Australia.

Project:	52 Hilltop Road, Avalon Beach
Client	Adoncello
Job no.:	1903

drawing:
Proposed Section B-B

drawn by: lw checked by: md

scale: 1 : 100 @ A1
1 : 200 @ A3

DA

401.01

ISSUE 01: 03.06.2023