

Perspective



Creative HomePlans PO Box 394, Forestville NSW 2087

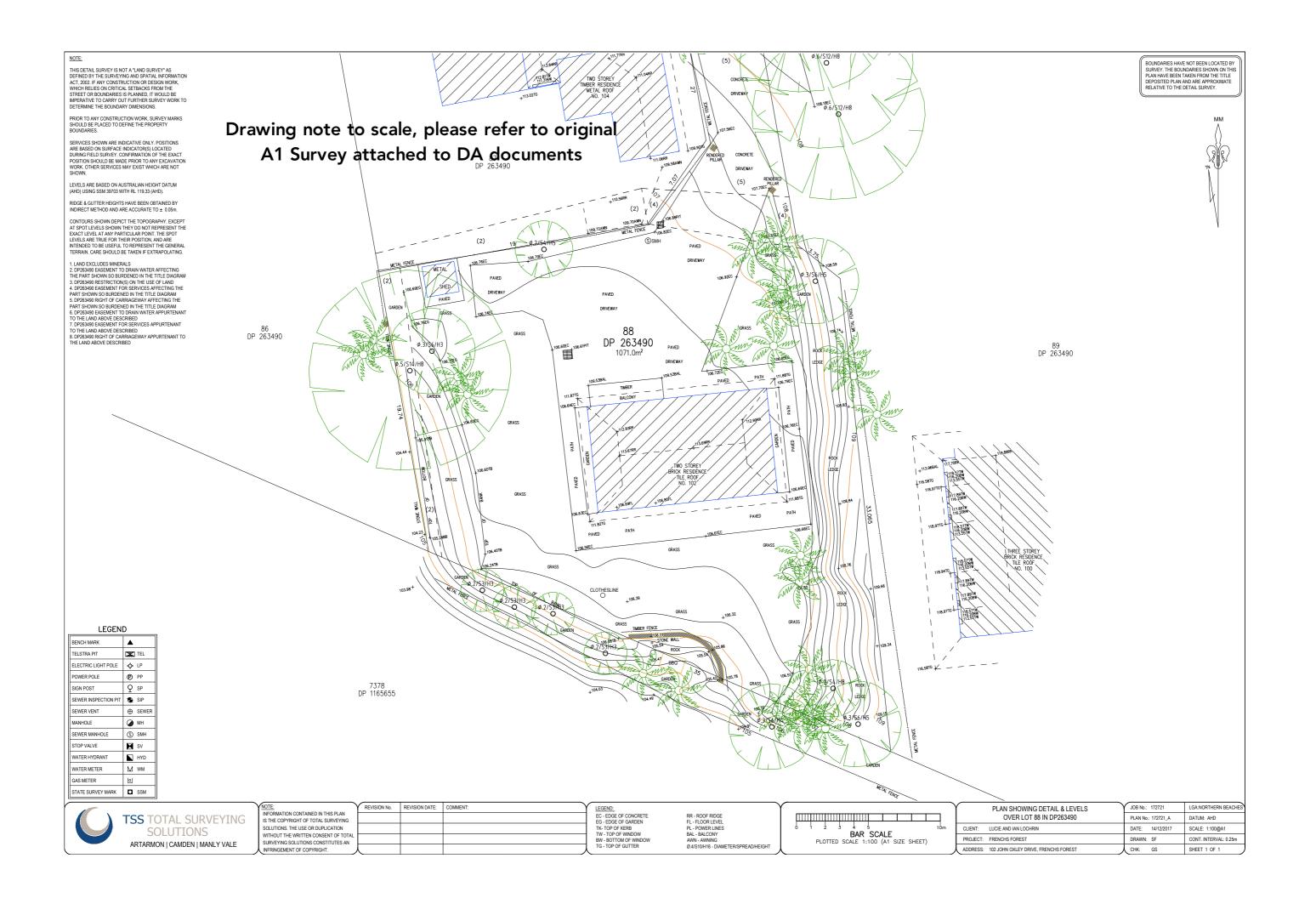
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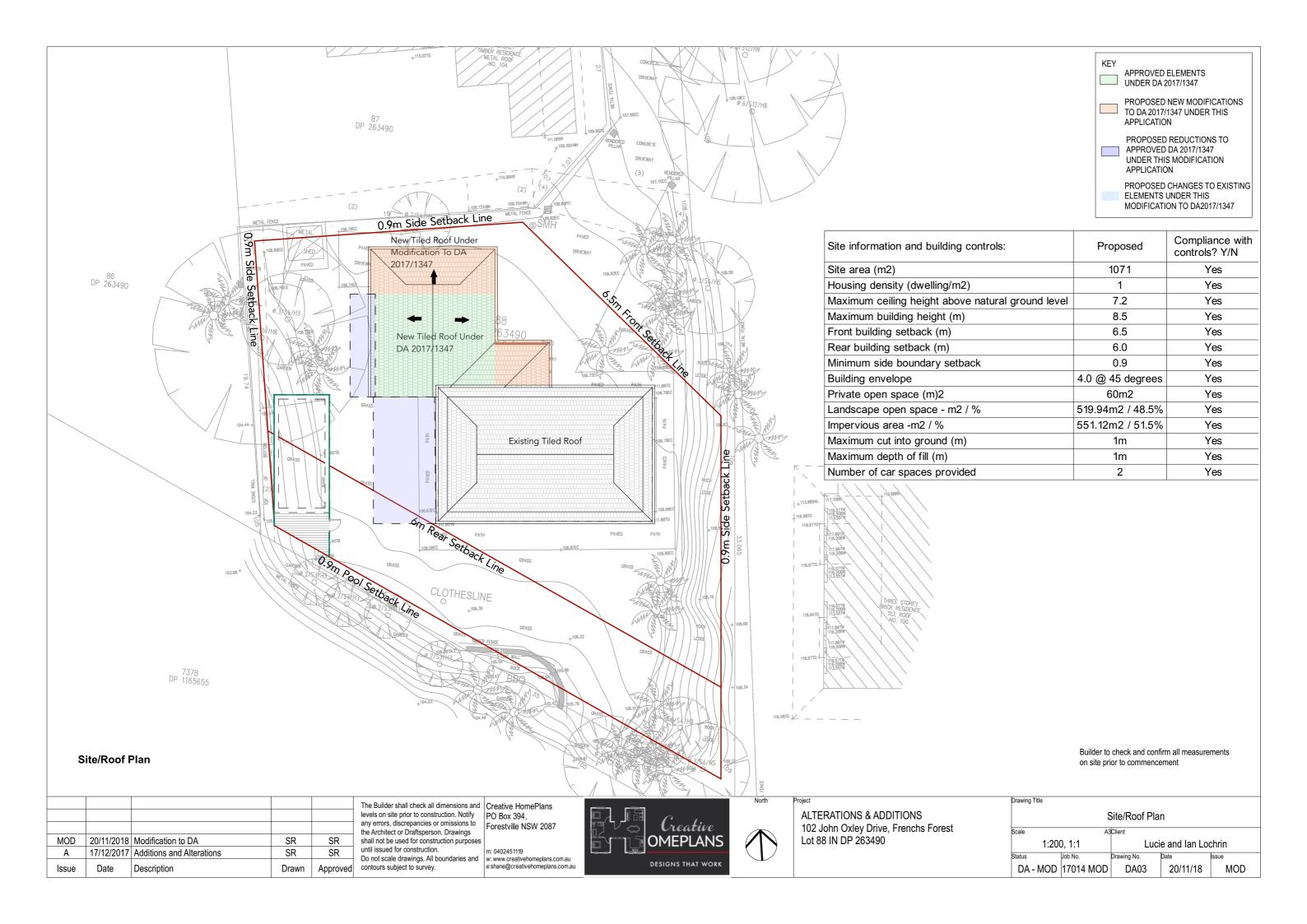
w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au

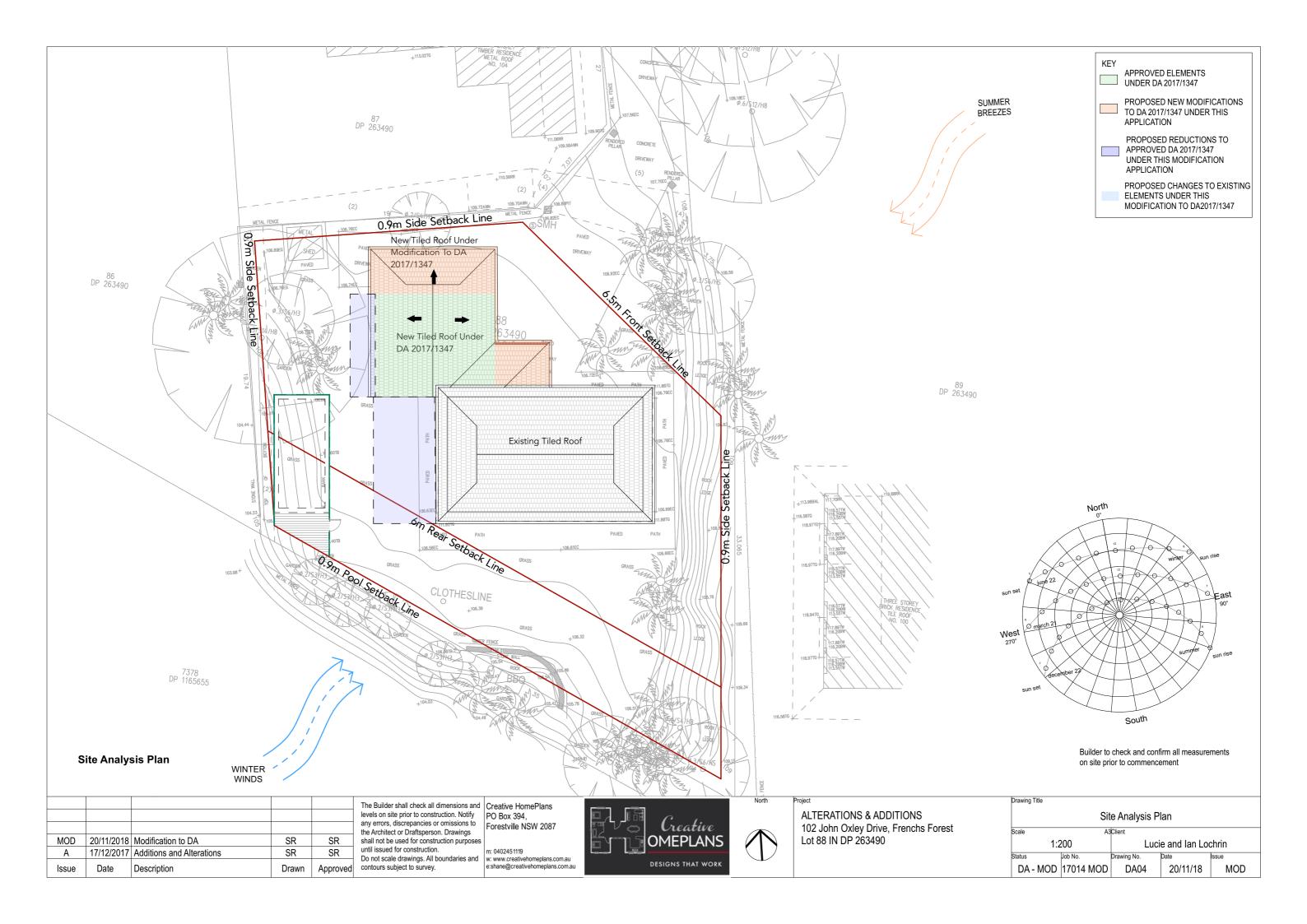
ALTERATIONS & ADDITIONS
ALTERATIONS & ADDITIONS for Lucie and Ian Lochrin

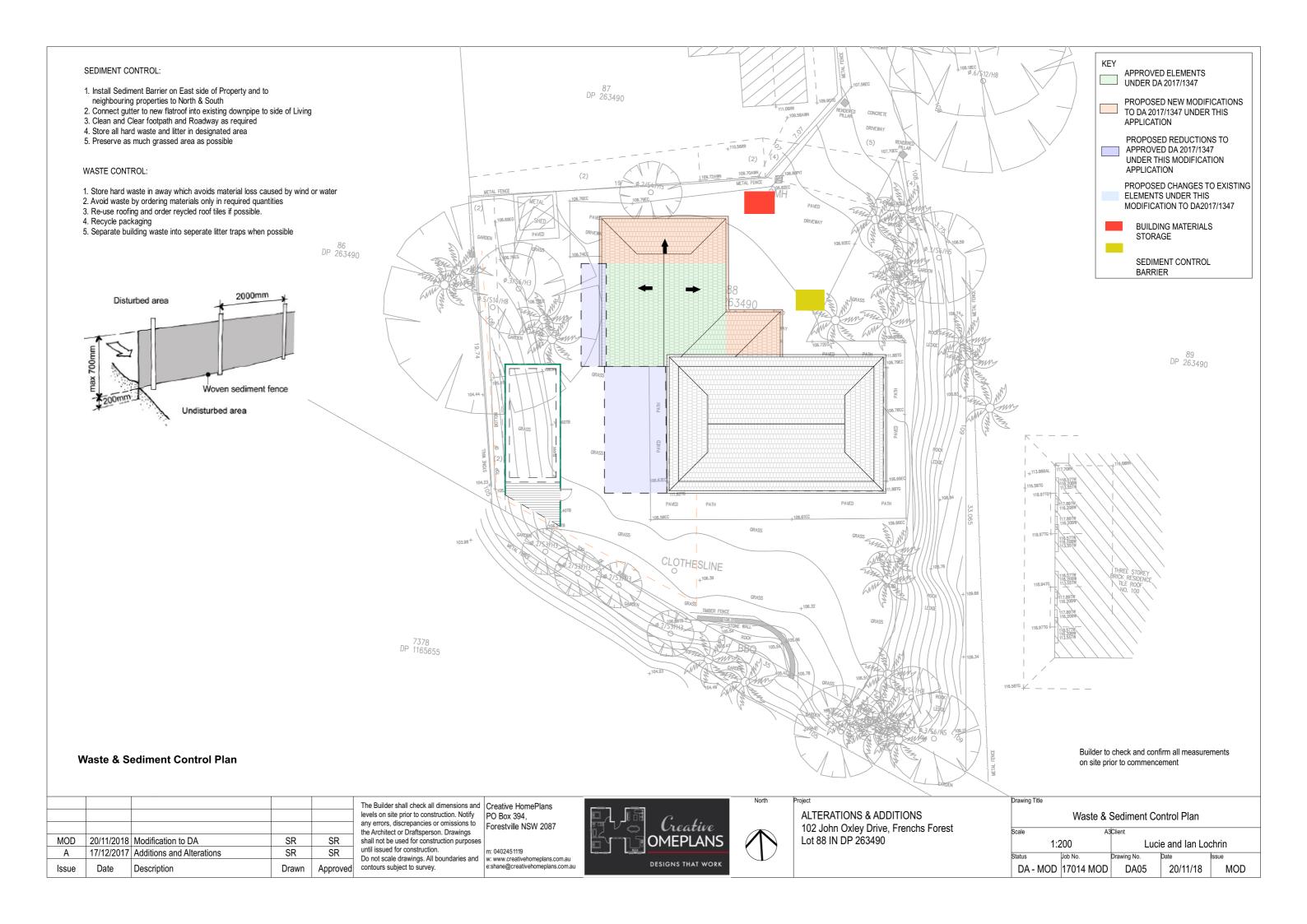
102 John Oxley Drive, Frenchs Forest

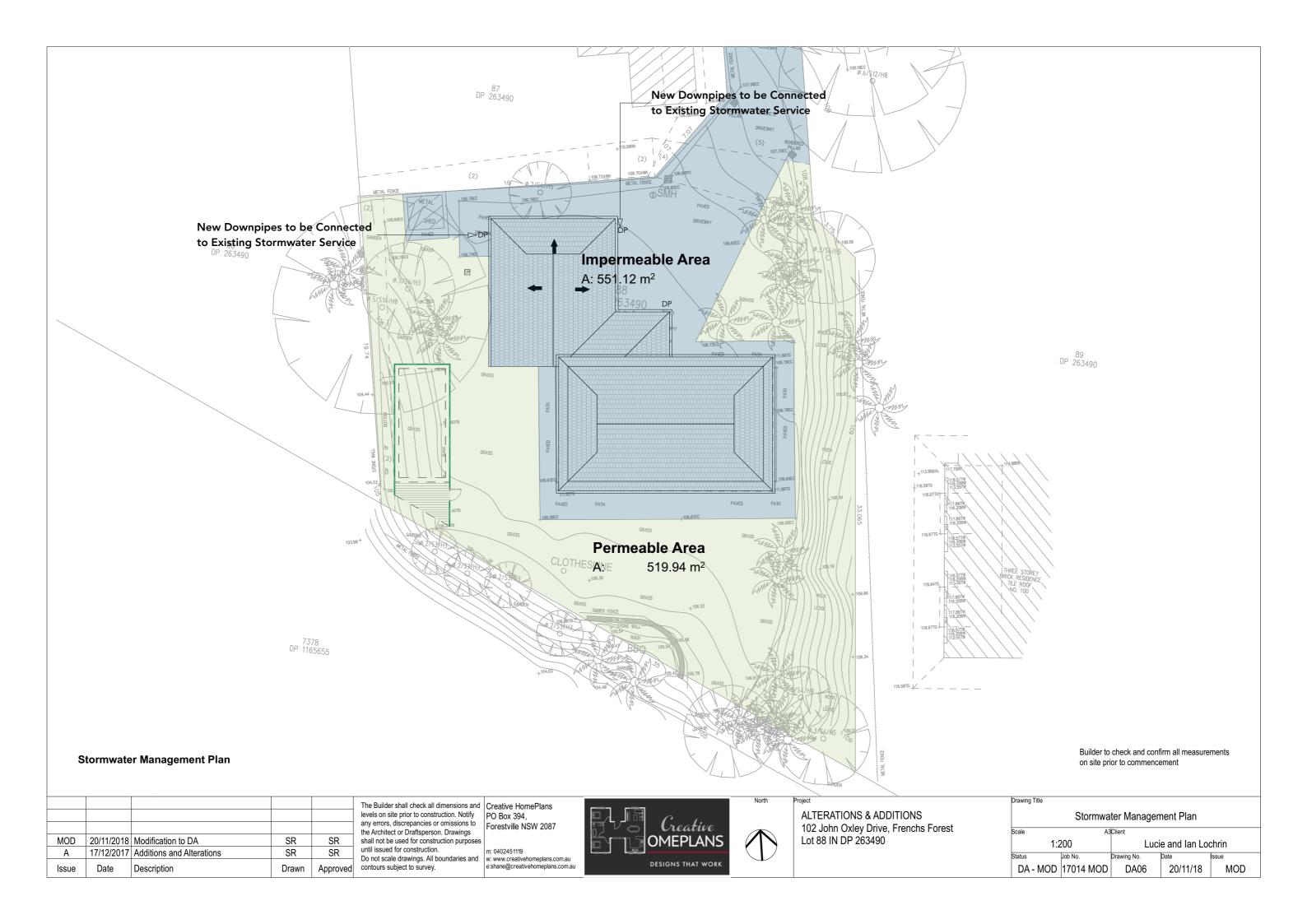
Drawing List Dwg No. Description DA01 Cover Page DA02 Survey Plan DA03 Site/Roof Plan DA04 Site Analysis Plan
DA01 Cover Page DA02 Survey Plan DA03 Site/Roof Plan
DA02 Survey Plan DA03 Site/Roof Plan
DA03 Site/Roof Plan
DAM Site Analysis Plan
One Analysis i laii
DA05 Waste & Sediment Control Plan
DA06 Stormwater Management Plan
DA07 Landscape Open Space Plan
DA08 Existing Ground Floor Plan
DA09 Existing First Floor Plan
DA10 Demolition Plan Ground Floor
DA11 Demolition Plan First Floor
DA12 New Ground Floor
DA13 New First Floor
DA14 Elevations 1
DA15 Elevations 2
DA16 Sections 1
DA17 Sections 2
DA18 Shadow Diagrams June 21st 9am
DA19 Shadow Diagrams June 21st 12pm
DA20 Shadow Diagrams June 21st 3pm
DA21 Colours & Finishes Schedule
DA22 Basix Certificate
DA23 Door And Window Schedule
DA24 Perspective 1

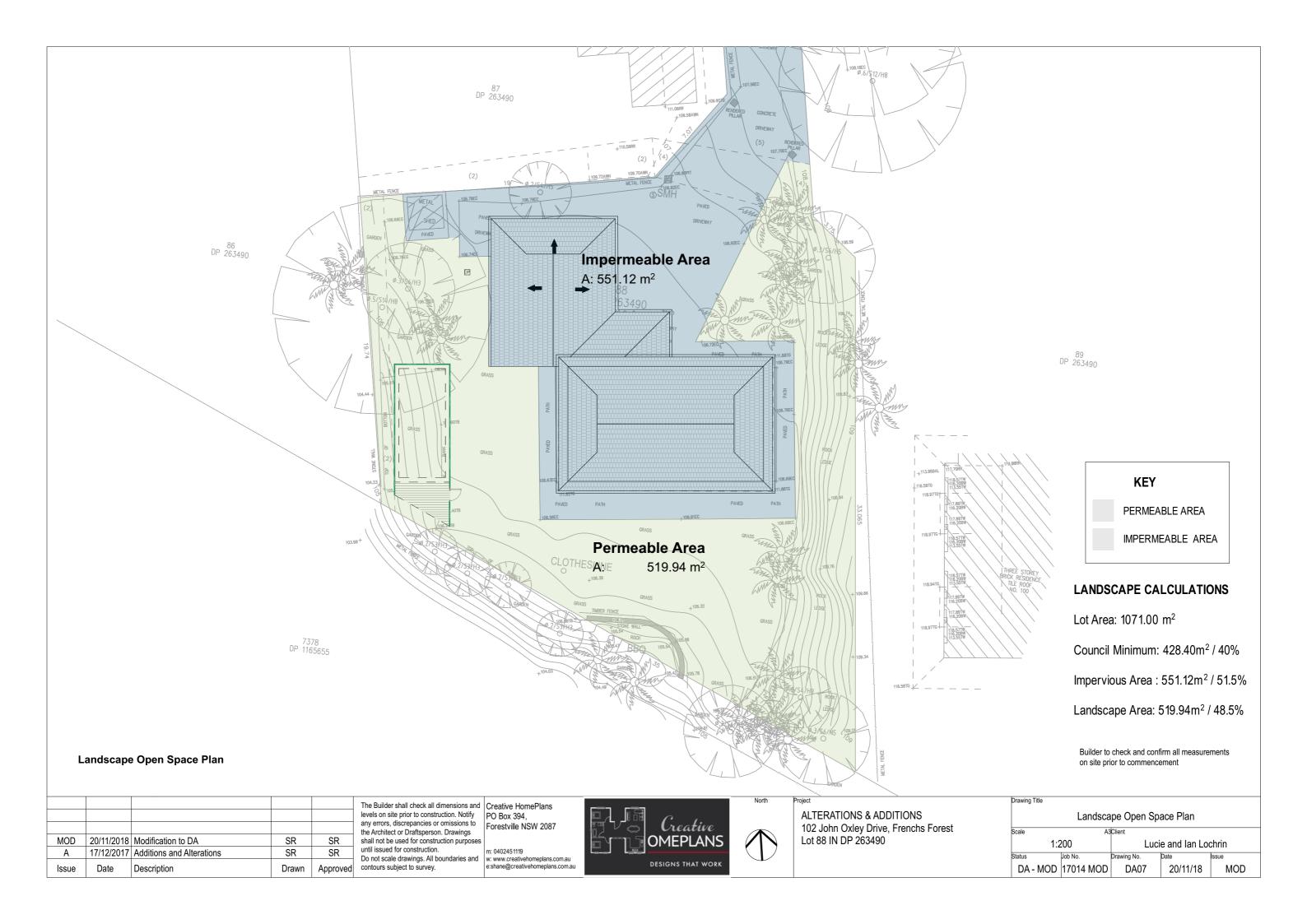


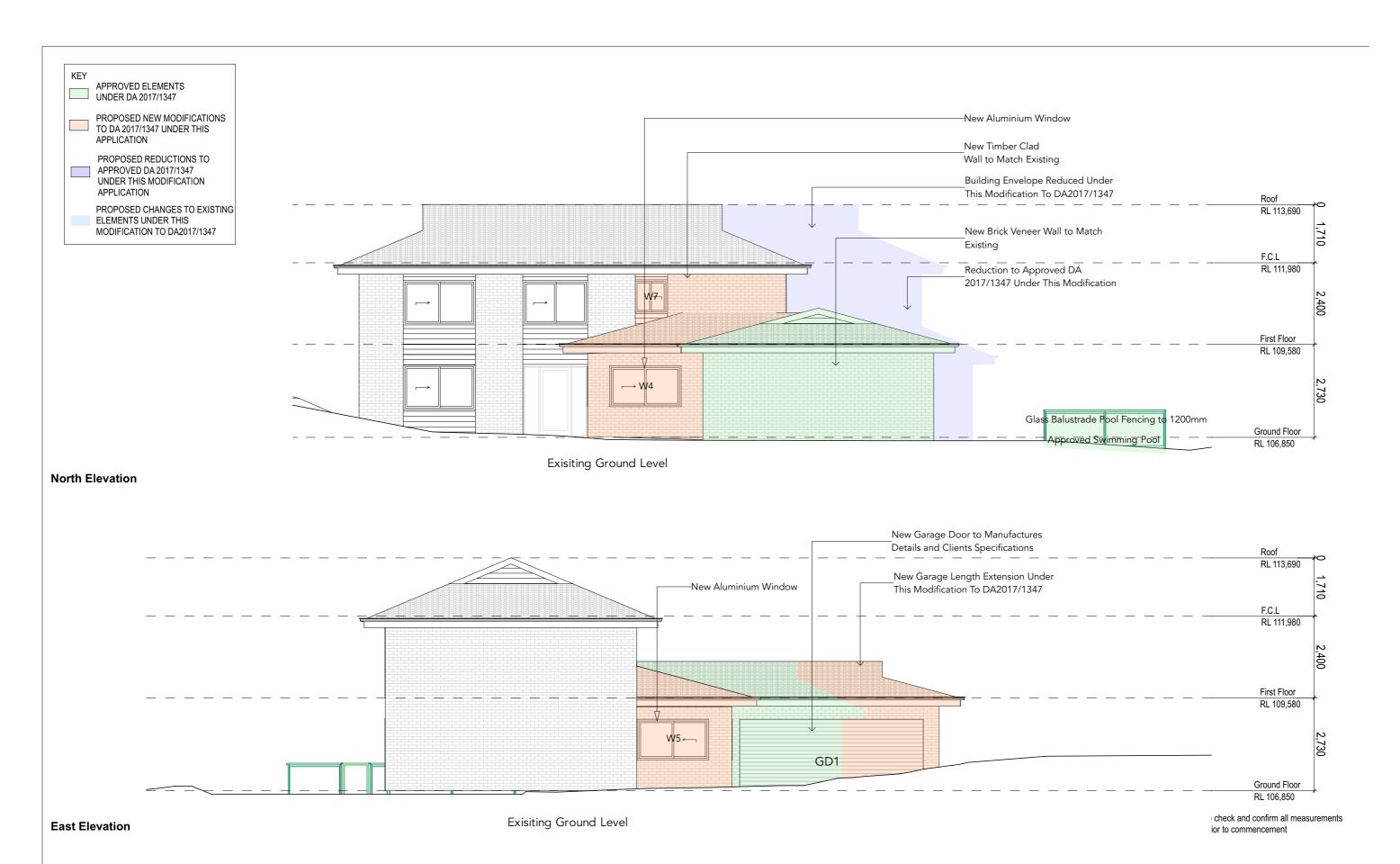












MOD	17/12/21	Additions and Alterations	SR	SR
Α	17/12/2017	Additions and Alterations	SR	SR
Issue	Date	Description	Drawn	Approved

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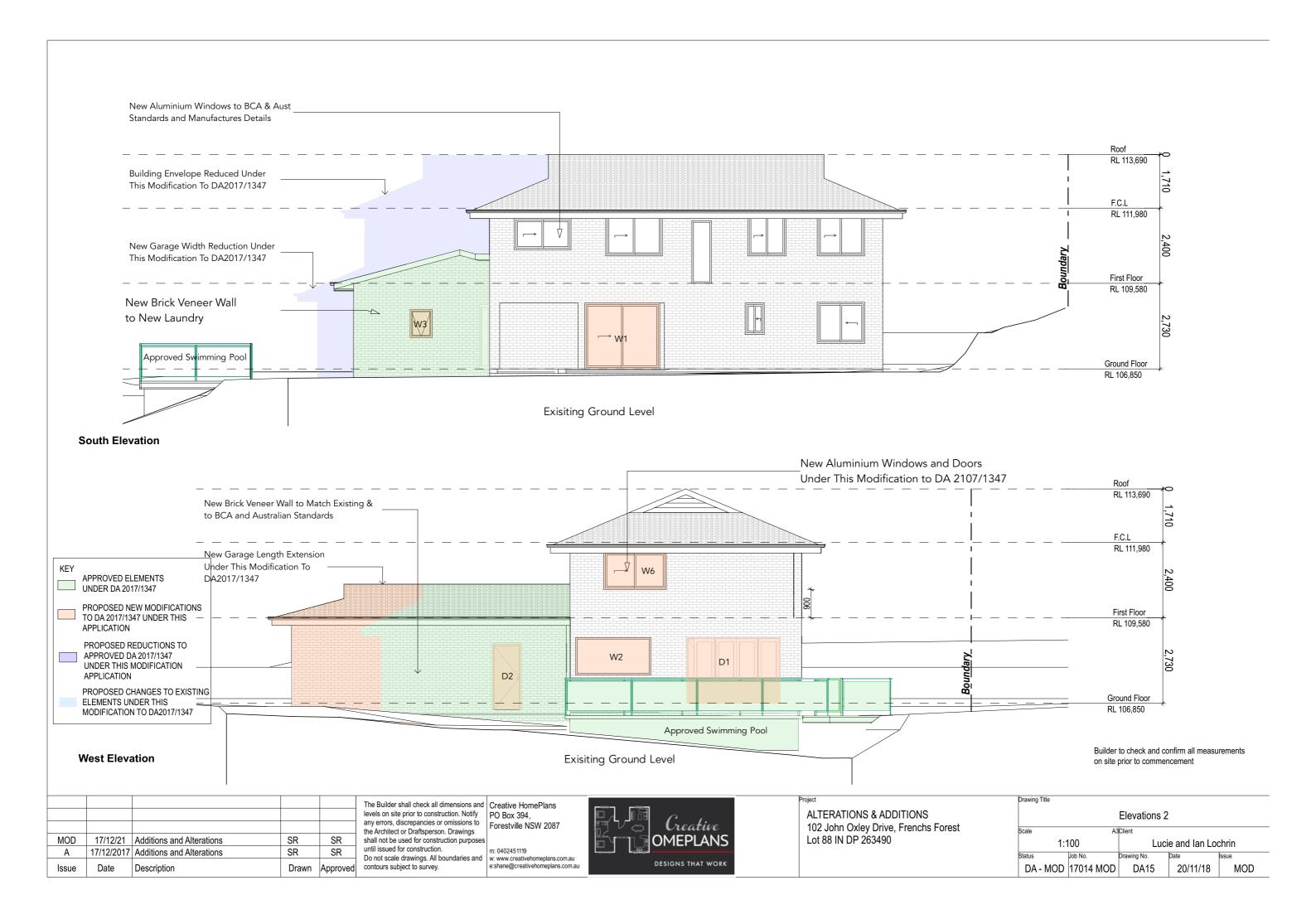
Forestville NSW 2087

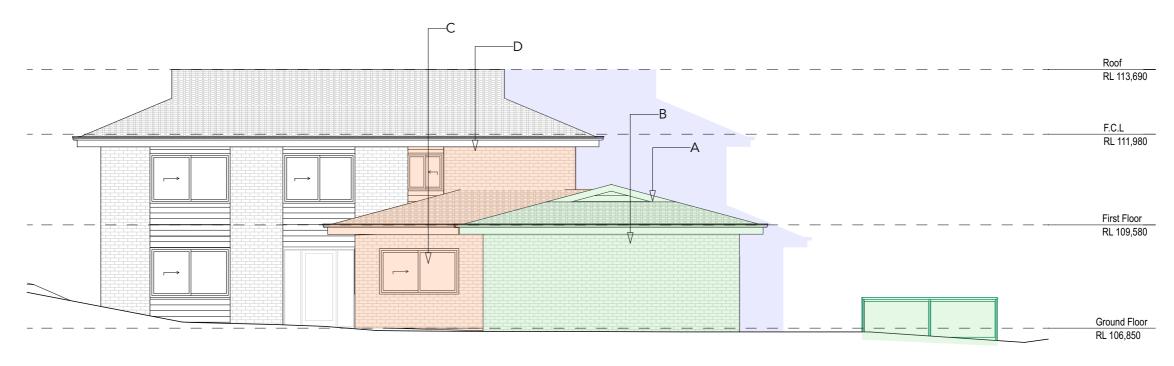
m: 0402451119 w: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au



ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490

Elevations 1 1:100 Lucie and Ian Lochrin DA - MOD | 17014 MOD | DA14 20/11/18



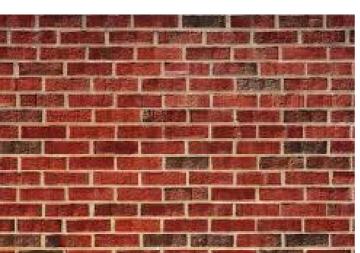


North Elevation



NEW TILED ROOF TO MATCH **EXISTING**

Colours & Finishes Schedule



NEW BRICK VENEER WALL TO MATCH EXISTING



NEW ALUMINIUM WINDOWS AND DOORS TO MATCH **EXISTING**



NEW TIMBER CLADDING TO MATCH EXISTING AND TO BAL29 REQUIREMENT
Builder to check and confirm all measurements

on site prior to commencement

MOD	17/12/21	Additions and Alterations	SR	SR
Α	17/12/2017	Additions and Alterations	SR	SR
Issue	Date	Description	Drawn	Approved

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W: www.creativehomeplans.com.au e:shane@creativehomeplans.com.au contours subject to survey.

Forestville NSW 2087

m: 0402451119



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ALTERATIONS & ADDITIONS
102 John Oxley Drive, Frenchs Forest
Lot 88 IN DP 263490

Drawing T	itle								
[
Colours & Finishes Schedule									
			le						
Scale		A.	Client						
	1:0.92	, 1:100	Luci	e and Ian Loo	chrin				
Status		Job No.	Drawing No.	Date	Issue				
DA-	MOD	17014 MOD	DA21	20/11/18	MOD				

BASIX*Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A336836

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 14, December 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX Certificate number: A336836

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 35 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

BASIX Certificate number: A336836

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	~
Fixtures	•	•	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		V	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		~	

Certificate Prepared by (please complete before submitting to Council or PCA) Name / Company Name: Creative Homeplans ABN (if applicable): 69145888446

Separate dwelling house Type of alteration and addition My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Project type

Dwelling type

102 John Oxley Drive Frenchs Forest 2086

BASIX Certificate number: A336836

	Glazing requirements									Certifier Check
	Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshad Height (m)	Distance (m)	Shading device	Frame and glass type			
	W4	N	2.52	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
	W5	E	2.52	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
	W6	W	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
	W7	N	1	0	0		improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered the table below, except that a) additional insulat is not required for parts of altered construction v	~	~	✓		
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
internal wall shared with garage: plasterboard (R0.36)	nil				
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

BASIX Certificate number: A336836

								No. of Street, or other Desires	
Windows an	d glazed do	ors						•	
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.								✓	~
Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm							✓	✓	
rave a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs nust be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information								~	✓
					f each eave, pergola, verandah, bal than 2400 mm above the sill.	cony or awning must be no more than 500 mm	✓	✓	✓
Pergolas with	polycarbonate	roof or s	imilar tran	slucent mate	erial must have a shading coefficien	nt of less than 0.35.		✓	✓
					e window or glazed door above whi ens must not be more than 50 mm.	ch they are situated, unless the pergola also		✓	~
Windows a	nd glazed	doors g	lazing r	equireme	nts				
Windows and glazed of Window / door Orientation no.		Orientation Area of Overshadowing		dowing	Shading device	Frame and glass type			
no.		glass inc. frame (m2)	Height (m)	Distance (m)					
D1	W	6.3	0	0	awning (fixed) >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
D2	W	1.89	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W1	s	5.04	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W2	W	2.88	0	0	awning (fixed) >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W3	S	0.63	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			

these commitments, "applicant" means the person carrying out the development. mitments identified with a "\" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a elopment application is to be lodged for the proposed development).

mmitments identified with a "\" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction tificate / complying development certificate for the proposed development.

unmitments identified with a "v" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the velopment may be issued.

on site prior to commencement

MOD 20/11/2018 Modification to DA SR 17/12/2017 Additions and Alterations SR SR Issue Date Description Drawn | Approved

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Forestville NSW 2087

m: 0402451119



ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490

Drawing Title								
Basix Certificate								
Scale A3Client								
1:2.29,	1:2.28	Luci	e and Ian Loc	chrin				
Status	Job No.	Drawing No.	Date	Issue				
DA - MOD	17014 MOD	DA22	20/11/18	MOD				

Door And Window Schedule										
ID	D1	D2	GD1	W1	W2	W3	W4	W5	W6	W7
Quantity	1	1	1	1	1	1	1	1	1	1
Window Type										
Window WxH Size	3,000×2,100	900×2,100	5,400×2,300	2,400×2,100	2,400×1,200	700×900	2,100×1,200	2,100×1,200	2,000×1,200	1,000×1,00
Head Height	2,100	2,100	2,300	2,100	2,100	2,100	2,100	2,100	2,100	2,200
Front Elevation										
Nominal W/D Opening Surface Area on the Reveal Side	6.30	1.89	12.42	5.04	2.88	0.63	2.52	2.52	2.40	1.00

Door And Window Schedule

Builder to check and confirm all measurements on site prior to commencement

MOD	20/11/2018	Modification to DA	SR	SR
Α	17/12/2017	Additions and Alterations	SR	SR
Issue	Date	Description	Drawn	Approved

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Forestville NSW 2087



INO	run

ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490

	Drawing Title				
	Door And Window Schedule				
	Scale A3 Client				
1:1			Lucie and Ian Lochrin		
	Status	Job No.	Drawing No.	Date	Issue
	DA - MOD	17014 MOD	DA23	20/11/18	MOD



Builder to check and confirm all measurements on site prior to commencement

MOD	20/11/2018	Modification to DA	SR	SR
Α	17/12/2017	Additions and Alterations	SR	SR
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Forestville NSW 2087





ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490

1	Drawing Title				
	Perspective 1				
	Scale A3Client				
	1:2	200	Lucie and Ian Lochrin		
	Status	Job No.	Drawing No.	Date	Issue
	DA - MOD	17014 MOD	DA24	20/11/18	MOD