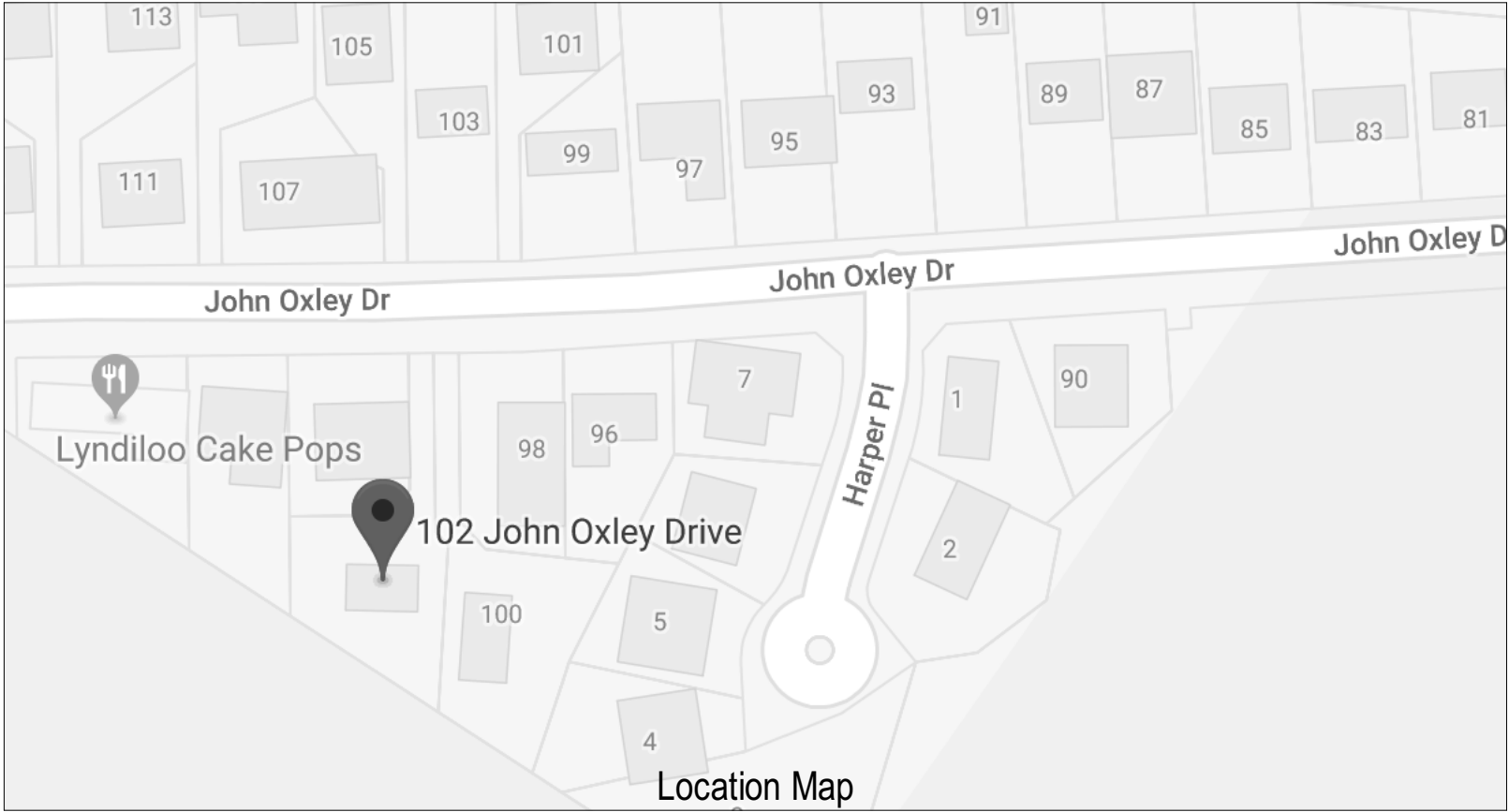
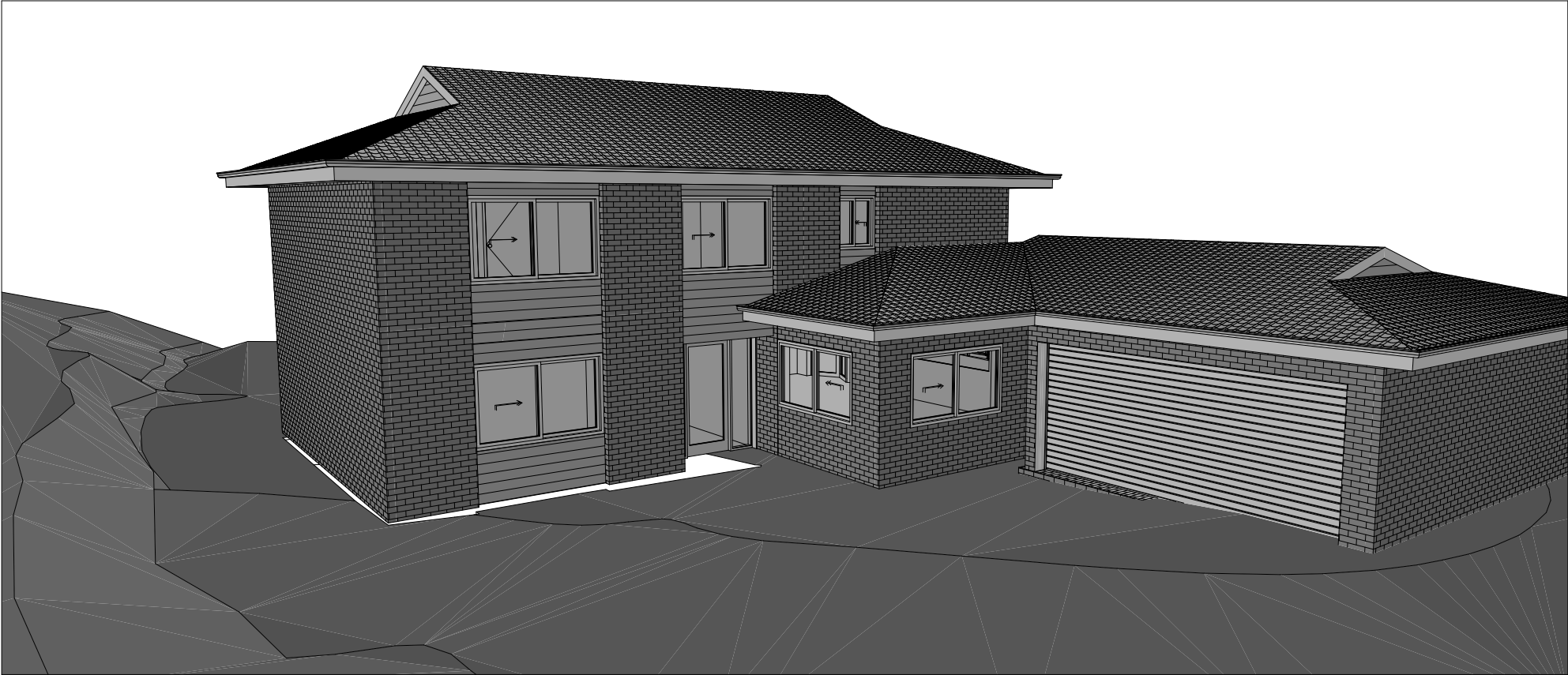




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ALTERATIONS & ADDITIONS
ALTERATIONS & ADDITIONS for Lucie and Ian
Lochrin
102 John Oxley Drive, Frenchs Forest

Drawing List	
Dwg No.	Description
DA01	Cover Page
DA02	Survey Plan
DA03	Site/Roof Plan
DA04	Site Analysis Plan
DA05	Waste & Sediment Control Plan
DA06	Stormwater Management Plan
DA07	Landscape Open Space Plan
DA08	Existing Ground Floor Plan
DA09	Existing First Floor Plan
DA10	Demolition Plan Ground Floor
DA11	Demolition Plan First Floor
DA12	New Ground Floor
DA13	New First Floor
DA14	Elevations 1
DA15	Elevations 2
DA16	Sections 1
DA17	Sections 2
DA18	Shadow Diagrams June 21st 9am
DA19	Shadow Diagrams June 21st 12pm
DA20	Shadow Diagrams June 21st 3pm
DA21	Colours & Finishes Schedule
DA22	Basix Certificate
DA23	Door And Window Schedule
DA24	Perspective 1



Perspective

NOTE:

THIS DETAIL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 39703 WITH RL 119.33 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO $\pm 0.05m$.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

1. LAND EXCLUDES MINERALS
2. DP263490 EASEMENT TO DRAIN WATER AFFECTING THE PART SHOWN SO BURDENED IN THE TITLE DIAGRAM
3. DP263490 RESTRICTION(S) ON THE USE OF LAND
4. DP263490 EASEMENT FOR SERVICES AFFECTING THE PART SHOWN SO BURDENED IN THE TITLE DIAGRAM
5. DP263490 RIGHT OF CARRIAGEWAY AFFECTING THE PART SHOWN SO BURDENED IN THE TITLE DIAGRAM
6. DP263490 EASEMENT TO DRAIN WATER APPURTENANT TO THE LAND ABOVE DESCRIBED
7. DP263490 EASEMENT FOR SERVICES APPURTENANT TO THE LAND ABOVE DESCRIBED
8. DP263490 RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND ABOVE DESCRIBED

Drawing note to scale, please refer to original A1 Survey attached to DA documents

DP 263490

86
DP 263490

88
DP 263490
1071.0m²

89
DP 263490

BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.



LEGEND

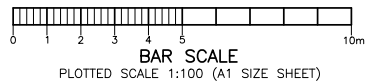
BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM

7378
DP 1165655

NOTE:
INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

REVISION No.	REVISION DATE:	COMMENT:

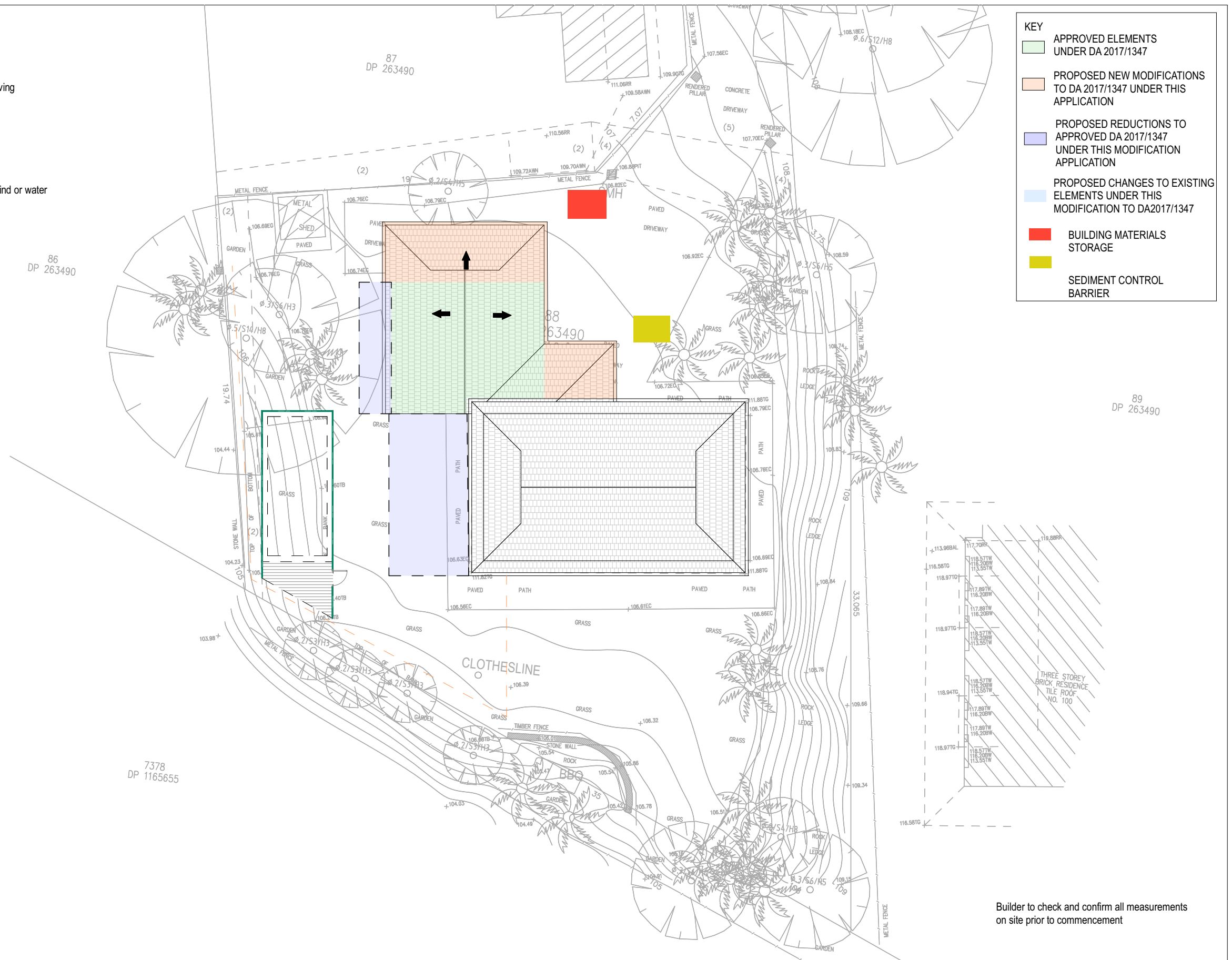
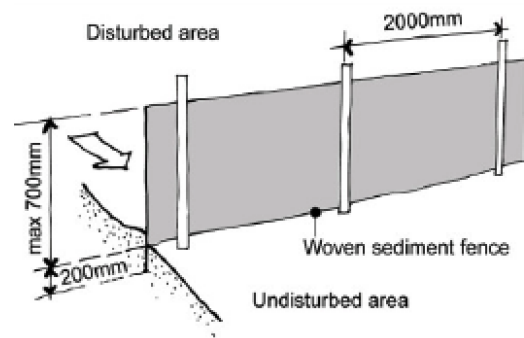
LEGEND:
EC - EDGE OF CONCRETE
EG - EDGE OF GARDEN
TK - TOP OF KERB
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
PL - POWER LINES
BAL - BALCONY
AWN - AWNING
Ø 4/S10/H16 - DIAMETER/SPREAD/HEIGHT



PLAN SHOWING DETAIL & LEVELS OVER LOT 88 IN DP263490			JOB No.: 172721	LGA: NORTHERN BEACHES
CLIENT: LUCIE AND IAN LOCHRIN	DATE: 14/12/2017	SCALE: 1:100@A1	PLAN No.: 172721_A	DATUM: AHD
PROJECT: FRENCHS FOREST	DRAWN: SF	CONT. INTERVAL: 0.25m	CHK: GS	SHEET 1 OF 1
ADDRESS: 102 JOHN OXLEY DRIVE, FRENCHS FOREST				

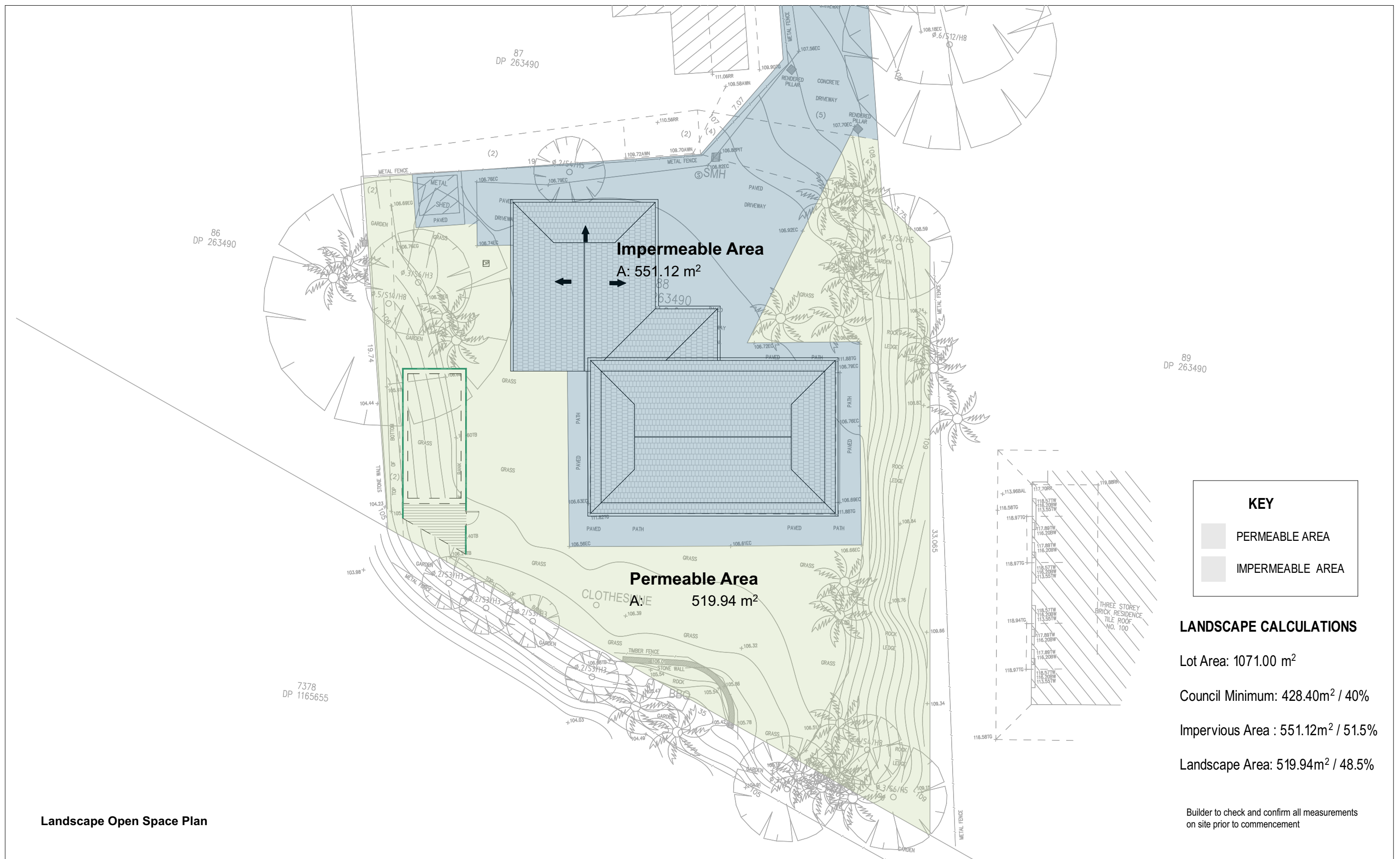
1. Install Sediment Barrier on East side of Property and to neighbouring properties to North & South
2. Connect gutter to new flatroof into existing downpipe to side of Living
3. Clean and Clear footpath and Roadway as required
4. Store all hard waste and litter in designated area
5. Preserve as much grassed area as possible

1. Store hard waste in away which avoids material loss caused by wind or water
2. Avoid waste by ordering materials only in required quantities
3. Re-use roofing and order recycled roof tiles if possible.
4. Recycle packaging
5. Separate building waste into separate litter traps when possible

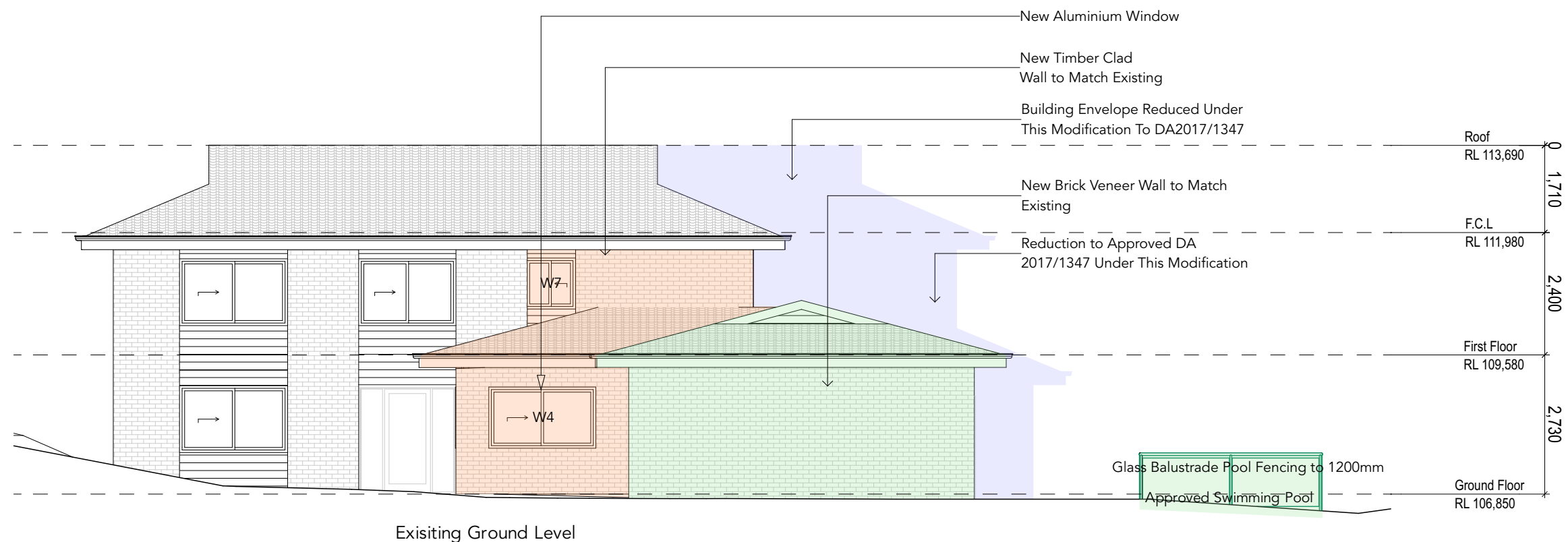


Builder to check and confirm all measurements
on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490	Drawing Title Waste & Sediment Control Plan				
										Scale 1:200	A3Client Lucie and Ian Lochrin			
MOD A	20/11/2018 17/12/2017	Modification to DA Additions and Alterations	SR SR	SR SR						Status DA - MOD	Job No. 17014 MOD	Drawing No. DA05	Date 20/11/18	Issue MOD
Issue	Date	Description	Drawn	Approved										



					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490	Drawing Title Landscape Open Space Plan					
										Scale 1:200	A3Client Lucie and Ian Lochrin				
MOD	20/11/2018	Modification to DA	SR	SR						Status	Job No.	Drawing No.	Date	Issue	
A	17/12/2017	Additions and Alterations	SR	SR						DA - MOD	17014 MOD	DA07	20/11/18	MOD	
Issue	Date	Description	Drawn	Approved											



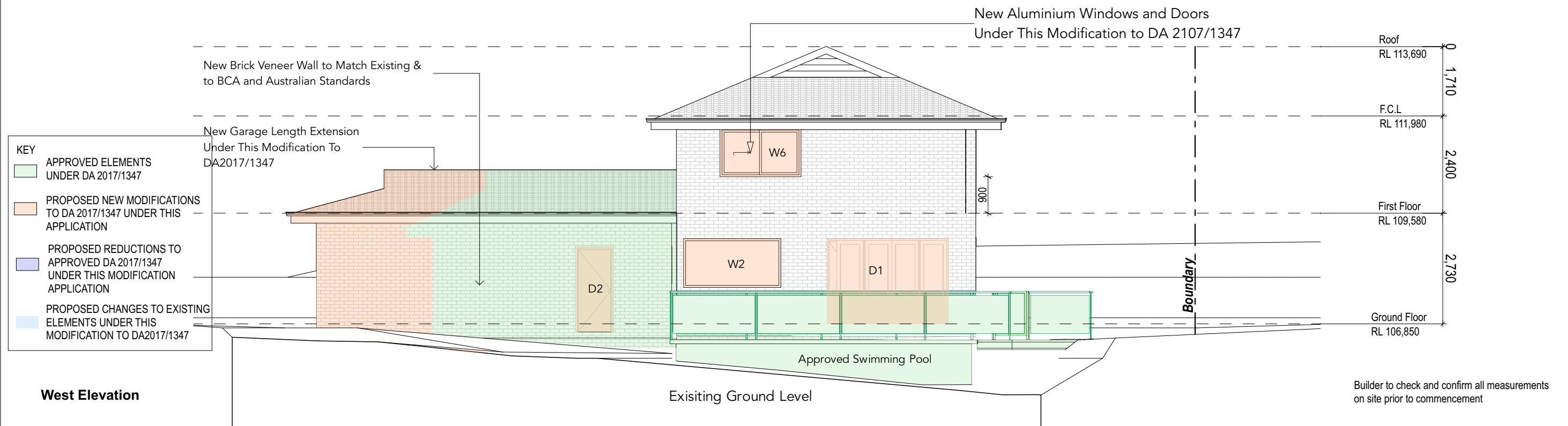
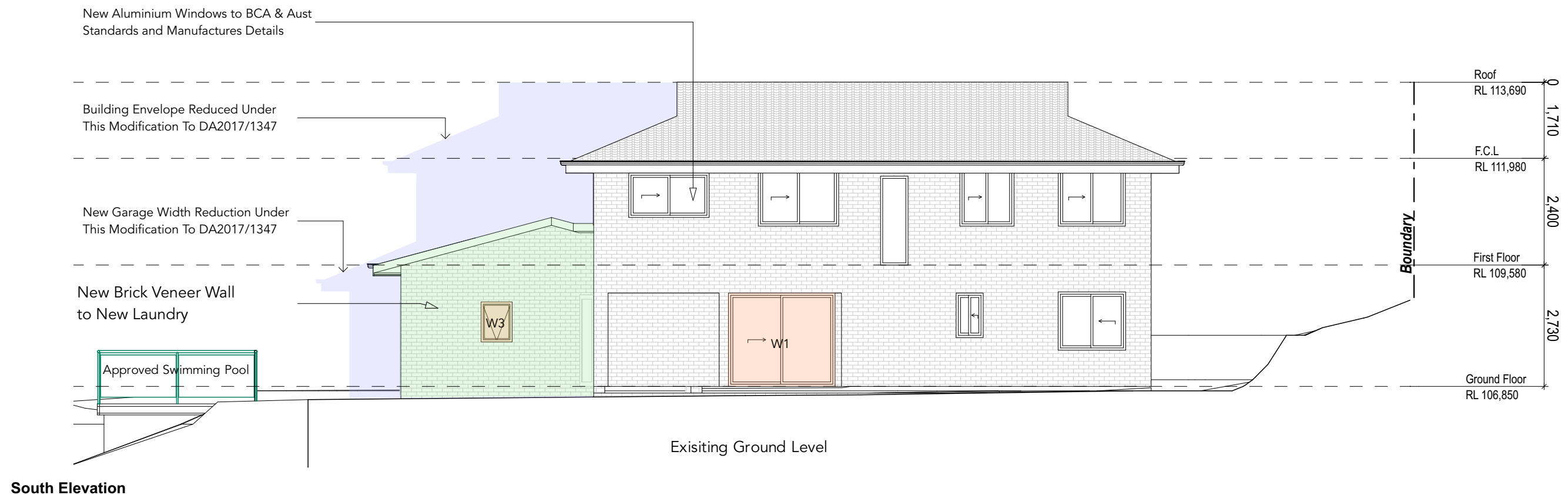
Existing Ground Level



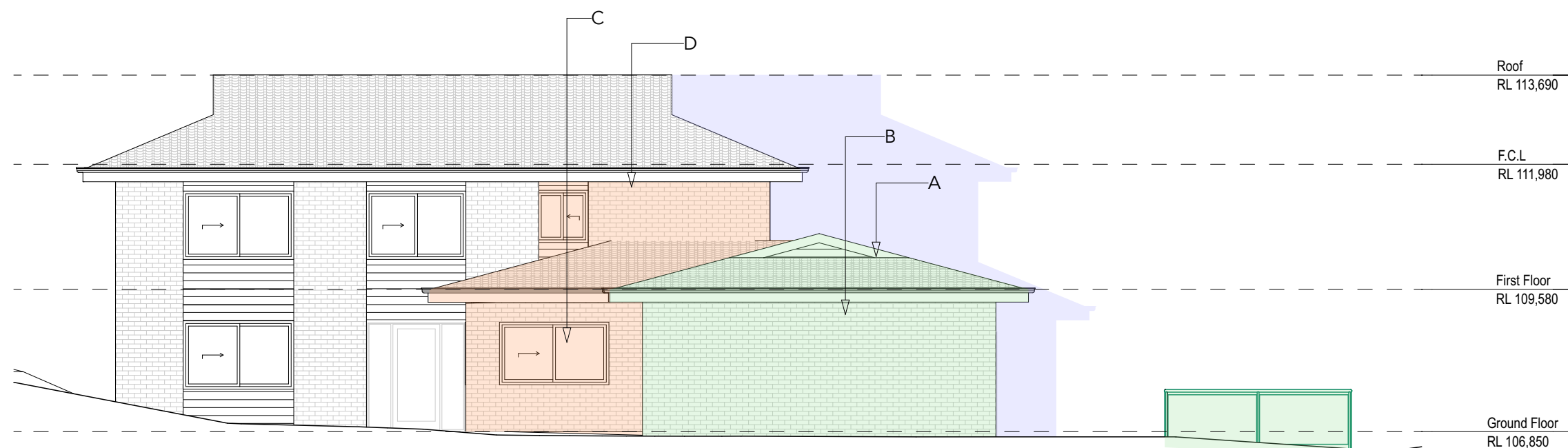
- check and confirm all measurements prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		Project ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490	Drawing Title Elevations 1
MOD	17/12/21	Additions and Alterations	SR	SR					
A	17/12/2017	Additions and Alterations	SR	SR					
Issue	Date	Description	Drawn	Approved					

Scale		A3Client		
1:100		Lucie and Ian Lochrin		
Status	Job No.	Drawing No.	Date	Issue
DA - MOD	17014 MOD	DA14	20/11/18	MOD



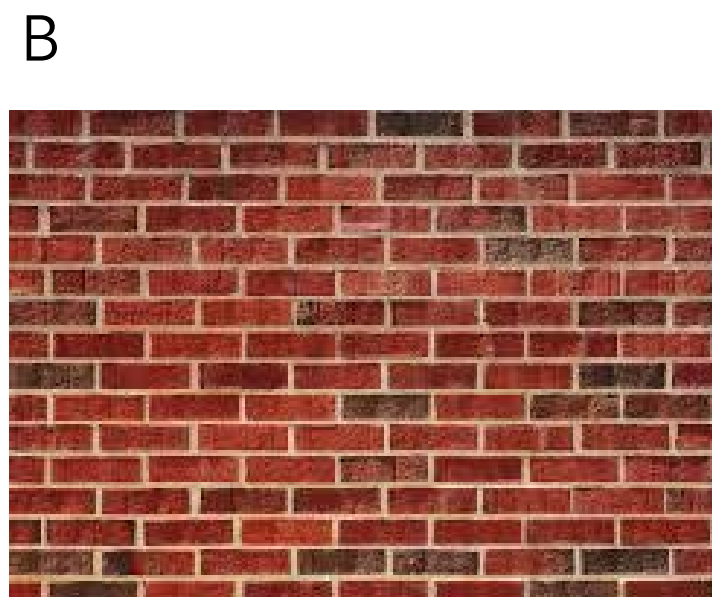
					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		Project	Drawing Title			
										Elevations 2		
MOD	17/12/21	Additions and Alterations	SR	SR						Scale	A3 Client	
A	17/12/2017	Additions and Alterations	SR	SR						1:100	Lucie and Ian Lochrin	
Issue	Date	Description	Drawn	Approved						Status	Job No.	Drawing No.
							DA - MOD	17014 MOD	DA15	20/11/18	MOD	



North Elevation



NEW TILED ROOF TO MATCH EXISTING



NEW BRICK VENEER WALL TO MATCH EXISTING



NEW ALUMINIUM WINDOWS AND DOORS TO MATCH EXISTING



NEW TIMBER CLADDING TO MATCH EXISTING AND TO BAL29 REQUIREMENT

Builder to check and confirm all measurements on site prior to commencement

Colours & Finishes Schedule

Issue	Date	Description	Drawn	Approved
MOD	17/12/21	Additions and Alterations	SR	SR
A	17/12/2017	Additions and Alterations	SR	SR

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Project

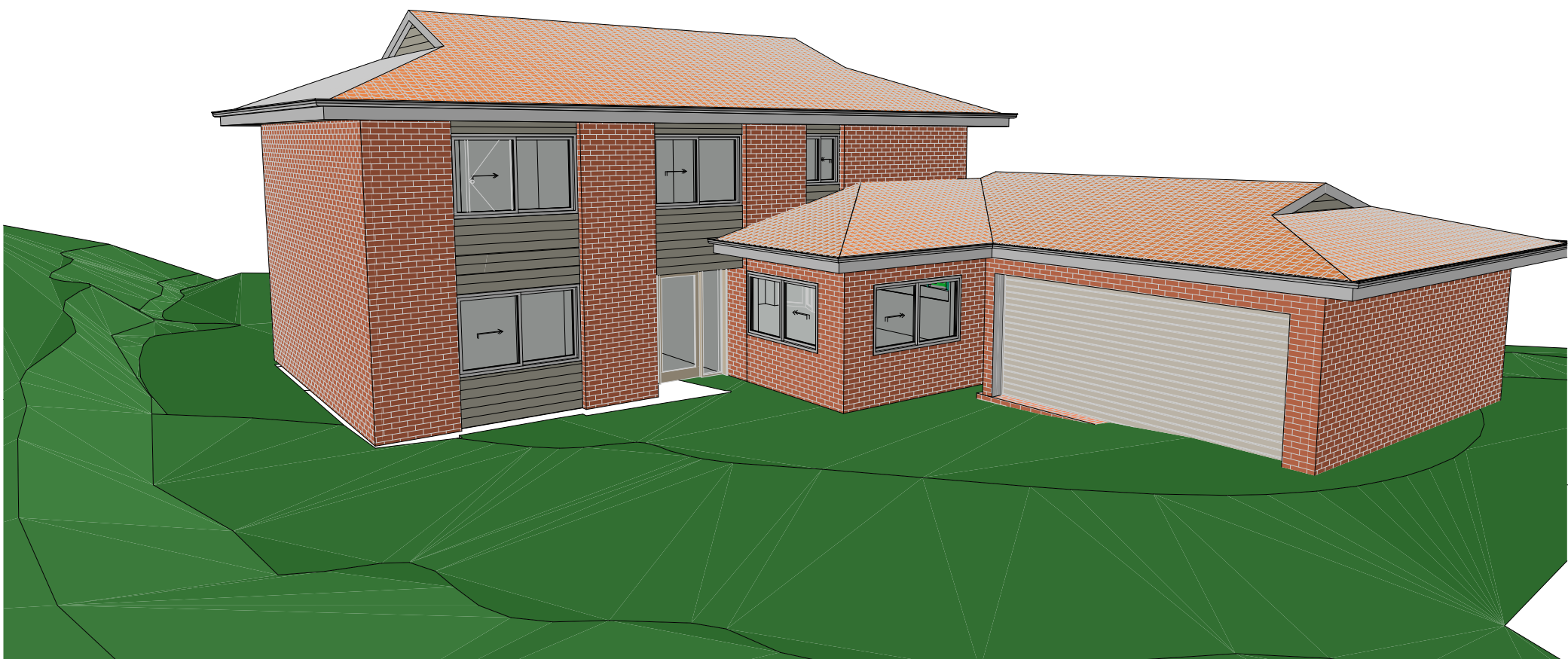
ALTERATIONS & ADDITIONS
102 John Oxley Drive, Frenchs Forest
Lot 88 IN DP 263490

Drawing Title

Colours & Finishes Schedule

Status	Job No.	Drawing No.	Date	Issue
DA - MOD	17014 MOD	DA21	20/11/18	MOD

Scale	A3Client			
1:2.29, 1:2.28	Lucie and Ian Lochrin			
Status	Job No.	Drawing No.	Date	Issue
DA - MOD	17014 MOD	DA22	20/11/18	MOD



Builder to check and confirm all measurements
on site prior to commencement

					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Architect or Draftsperson. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	Creative HomePlans PO Box 394, Forestville NSW 2087 m: 0402451119 w: www.creativehomeplans.com.au e: shane@creativehomeplans.com.au		North 	Project ALTERATIONS & ADDITIONS 102 John Oxley Drive, Frenchs Forest Lot 88 IN DP 263490	Drawing Title Perspective 1				
										Scale 1:200	A3Client Lucie and Ian Lochrin			
MOD A	20/11/2018 17/12/2017	Modification to DA Additions and Alterations	SR SR	SR SR						Status DA - MOD	Job No. 17014 MOD	Drawing No. DA24	Date 20/11/18	Issue MOD
Issue	Date	Description	Drawn	Approved										