

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

MODIFIED

Certificate No. 2006/1060A

Council	Pittwater
Determination date of determination	Approved 4 October 2006
Subject land Address Lot No, DP No.	55 Wandeen Road, Clareville Lot 25 DP 219977
Applicant Name Address Contact No. (phone)	Carole Buckeridge c/- DK Architecture Pty Ltd 102 Holden Street, North Fitzroy Vic 3068 (03) 9482 2095 0418 539 694
Owner Name Address Contact No. (phone)	Carole Buckeridge 9 Duxford Street, Paddington NSW 2021
Description of Development Type of Work	Alterations & Additions to Existing Dwelling only
Builder or Owner/Builder Name Contractor Licence No/Permit	Michael John Woods 182569C
Value of Work Building	\$350,000.00

Attachments



1. Copy of completed Construction Certificate Application Form.

2#202689
mw
\$30

65.10.06

Plans & Specification**approved**

List plans no(s) & specifications
Reference

1. Architectural Plans, reference SK-00-09,
prepared by dk architecture Pty Ltd, dated May
2006

Certificate

I certify that the work if completed in accordance with these plans
and specifications will comply with the requirements of S81A(5) of
the Environmental Planning and Assessment Act 1979.

Signed



- 4 OCT 2005

Date of endorsement
Certificate No.

2006/1060A

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority

Stephen Pinn
POO40
Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Contact No.
Address

Development Consent

Development Application No.
Date of Determination

NO946/04
26 April 2005 (modified 24 August 2005 & 27 June 2006)

BCA Classification

1a

(Add 8 add5)
7 AUG 2023

APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☐ Mrs ☒ Ms ☐ Dr ☐ Other ☐

Given Names (or ACN)

Family Name (or Company)

CAROLE PAMELA

BUCKERIDGE

Postal Address (we will post all mail to this address)

9 DUXFORD ST

PADDINGTON

NSW

Post Code 2021

Daytime telephone

Alternate no.

Mobile no.

02 9368 7711

0419 884 746

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

CAROLE P BUCKERIDGE

Address

9 DUXFORD ST

PADDINGTON

NSW

2021

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Carole P Buckeridge

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

Street name

55

WANDEEN ROAD

Suburb

CLAREVILLE

NSW

Post code

2107

Legal Property Description (these details are shown on your rate notices, property deeds etc)

Lot no.

DP no.

COUNCIL COPY

4. Description of Work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Minor mod. only

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work

\$

6. Development Consent

Council Consent no.

NO 946/04

Date of Determination

24/4/2005 (Mod: 24/8/2005
827/6/2006)

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

1a.

8. Builder's details

If known, to be completed in the case of residential building work

Name

License no.

Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature

Jo. Burdinskiy

Date

21/8/2006

SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☐ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☐ No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes No Not
Applicable

In the case of an application for a Construction Certificate for building work:

☐ ☐ ☐

Three (3) copies of detailed architectural plans and specifications

☐ ☐ ☐

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

☐ ☐ ☐

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

☐ ☐ ☐

3 copies of a specification

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

☐ ☐ ☐

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

☐ ☐ ☐

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

☐ ☐ ☐

Except in the case of an application for, or in respect of domestic building work:

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

☐ ☐ ☐

Copy of BASIX Certificate & Report.

☐ ☐ ☐

All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed:
What are the current uses of all or parts of the building(s)/land?	Location: Use:
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land?	Number of pre-existing dwellings:
Number of dwellings to be demolished:	How many dwellings proposed?
How many storeys will the building consist of?	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	☐	Concrete	☐	Aluminium	☐	Timber	☐
Full brick	☐	Timber	☐	Concrete		Steel	☐
Single brick	☐	Other	☐	Concrete tile	☐	Other	☐
Concrete block	☐	Unknown	☐	Fibrous cement	☐	Unknown	☐
Concrete/masonry	☐			Fibreglass	☐		
Concrete	☐			Masonry/terracotta shingle	☐		
Steel	☐			Tiles	☐		
Fibrous cement	☐			Slate	☐		
Hardiplank	☐			Steel	☐		
Timber/weatherboard	☐			Terracotta tile	☐		
Cladding-aluminium	☐			Other	☐		
Curtain glass	☐			Unknown	☐		
Other	☐						
Unknown	☐						

WANDEEN ROAD

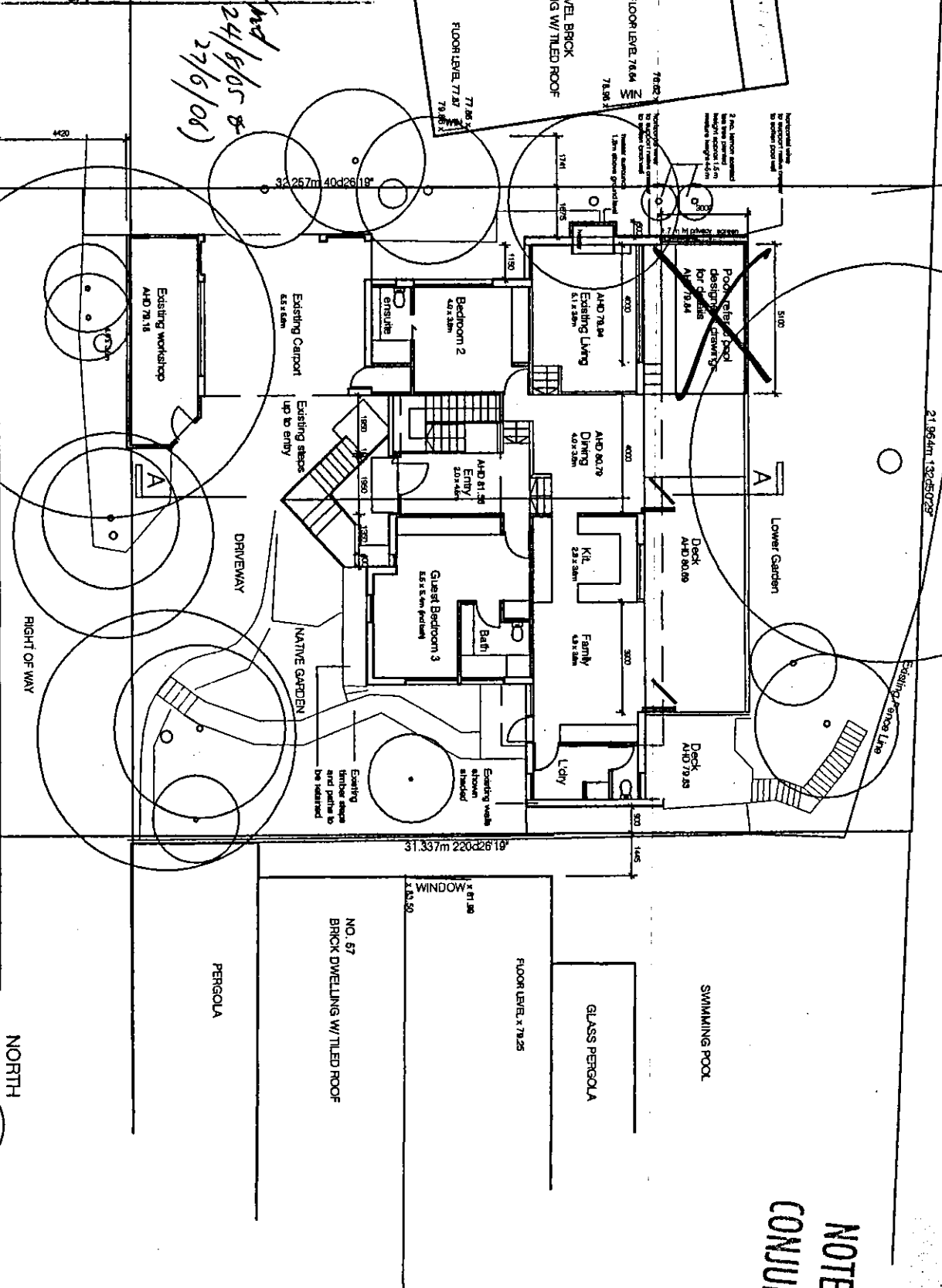
GUTTER LINE

ROCKY EMBANKMENT

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:
• The applicant's responsibility to obtain approval from Sydney Water or other utilities.
• The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
• The Applicant, Structural Engineer or other Professional of their responsibility to ensure those stamped details are consistent with the Issued Construction Certificate Architectural Details.

Insight building certifiers pty ltd
CONSENT NO. *10 446/04* DATE *26/1/05* (and *24/6/05* & *27/6/05*)
CONSTRUCTION CERT. NO. *2206/1000 A*
CONSTRUCTION (mod)
CERTIFICATE PLANS
Sh. - 4 OCT 2006
S. Pinn Accreditation No. P0040



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Site Area - 697.8 m2
Existing Areas
Ground floor level - 150 sqm
Car port/workshop - 49.5 sqm
Decks - 68 sqm
Site Coverage - approx 58% (including paving to right of way and decks)
Proposed Areas
Ground floor level - NO CHANGE TO EXISTING
Upper level - 74 sqm
Upper level Decks - 59.7 sqm
Site Coverage - approx 58% NO CHANGE TO EXISTING

EXISTING TREES TO BE RETAINED
NB: NO TREES TO BE REMOVED
EXISTING WALLS SHOWN SHADED
NO CHANGE TO EXISTING FOOTPRINT

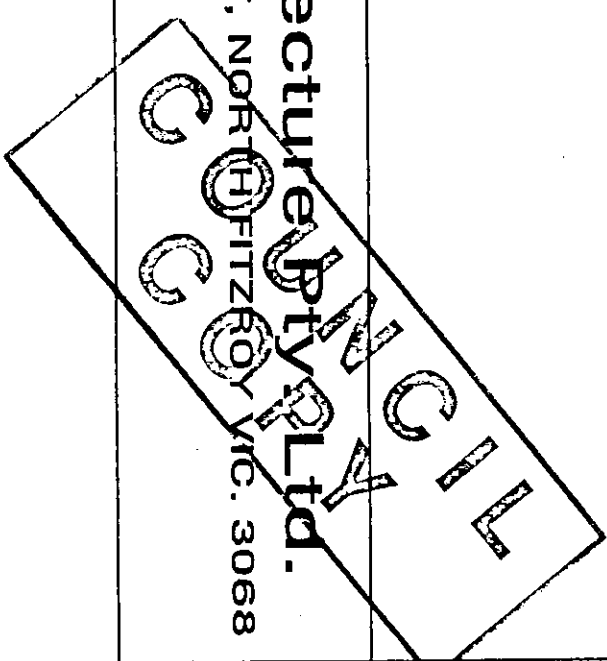
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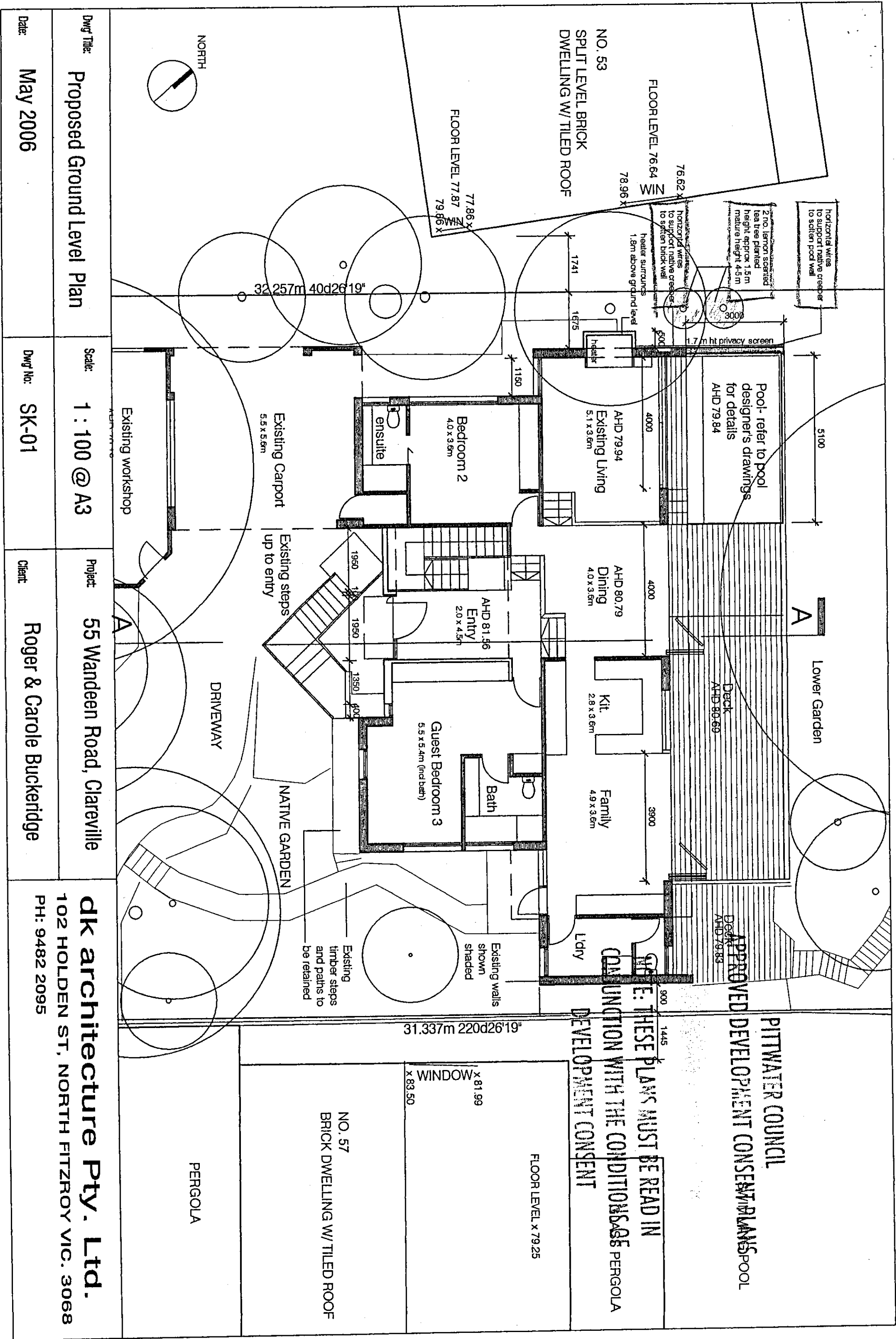
Summary
per subject to separate application
(C.C.)

Dwg Title:	Proposed Site Plan	Scale:	1 : 200 @ A3	Project:	55 Wandeen Road, Clareville
Date:	May 2006	Dwg No:	SK-00	Client:	Roger & Carole Buckeridge

dk architecture Pty Ltd.

102 HOLDEN ST, NORTH FITZROY VIC. 3068
PH: 9482 2095

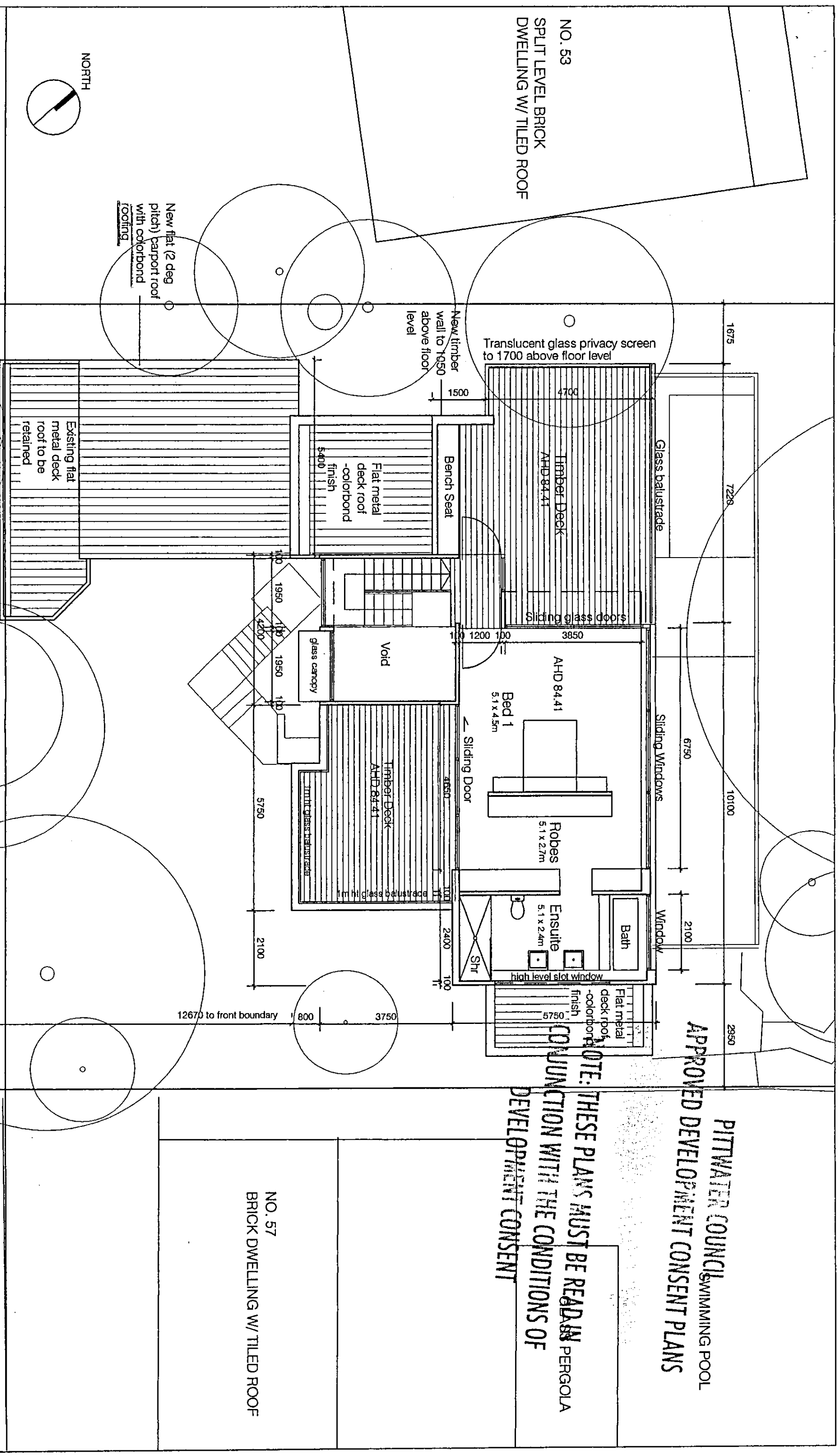




PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

NO. 57
BRICK DWELLING W/ TILED ROOF



Dwg Title:	Proposed Level 2 Plan	Scale:	1 : 100 @ A3	Project:	55 Wandean Road, Clareville	dk architecture Pty. Ltd. 102 HOLDEN ST, NORTH FITZROY VIC. 3068 PH: 9482 2095
Date:	May 2006	Dwg No:	SK-02	Client:	Roger & Carole Buckeridge	

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

Side setback and maximum height line

Glazed bay window to stair well

New colorbond sheeting
to existing car port roof

New carport roof with
colorbond roofing

Adjoining ridge AHD 83.25

AHD 79.86 x

Existing Workshop level 1 AHD 79.18

Adjoining floor level 1 AHD 77.87

53 WANDEEN ROAD

SUBJECT SITE- 55 WANDEEN ROAD

57 WANDEEN ROAD

77.46 x

77.44 x

78.24 x

78.07 x

78.85 x

78.29 x

78.78 x

79.98 x

79.38 x

78.72 x

Existing diagonal timber cladding to workshop

Existing timber steps to entry

Sliding timber windows to bedroom

Existing masonry wall w/ render finish

Timber cladding w/ Stain Finish

**NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT**

Parapet Level AHD 87.56

Ceiling Level

Level 2 AHD 84.41

Ceiling Level

Adjoining ridge
AHD 83.99

Concrete carport/ pergola AHD 82.23

Level 1 AHD 81.56

Lower Level 1

Adjoining floor level AHD 79.25

Dwg Title:
South West Elevation

Scale:
1 : 100 @ A3

Project:
55 Wandeen Road, Clareville

Date:
May 2006

Dwg No:
SK-03

Client:
Roger & Carole Buckenidge

dk architecture Pty. Ltd.

102 HOLDEN ST, NORTH FITZROY VIC. 3068

PH: 9482 2095

Existing Anaphora to be retained

Ess

NOTE: THESE PLAYS MUST BE READ IN

WITH THE CONDITIONS OF

DEVELOPMENT CONSENT

Parapet Level AHD 87.56

Ceiling Level

glass privacy screen

Existing Ridge Level
AHD 84.70

Level 2

Ceiling Level

Adjoining ridge AHD 83.25

Level 1	AHD 81.56
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7.	Lower Level 1
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to side of pool

—existing overlooking to window

Adjoining upper floor level 1 AHD 77.87

Adjoining lower floor level 1 AHD 76.64

Natural ground line under existing house

New plunge pool behind existing vegetation (in former deck location)
NB: refer to pool designer's drawings for details

57 WANDEEN ROAD

SUBJECT SITE- 55 WANDEEN ROAD

53 WANDEEN ROAD

Dwg Title:

North East Elevation

Scale: 1 : 100 @ A3

Project
55 Wandeem Road, Clareville

dk architecture Pty. Ltd.

102 HOLDEN ST, NORTH FITZROY VIC. 3068

Date: _____

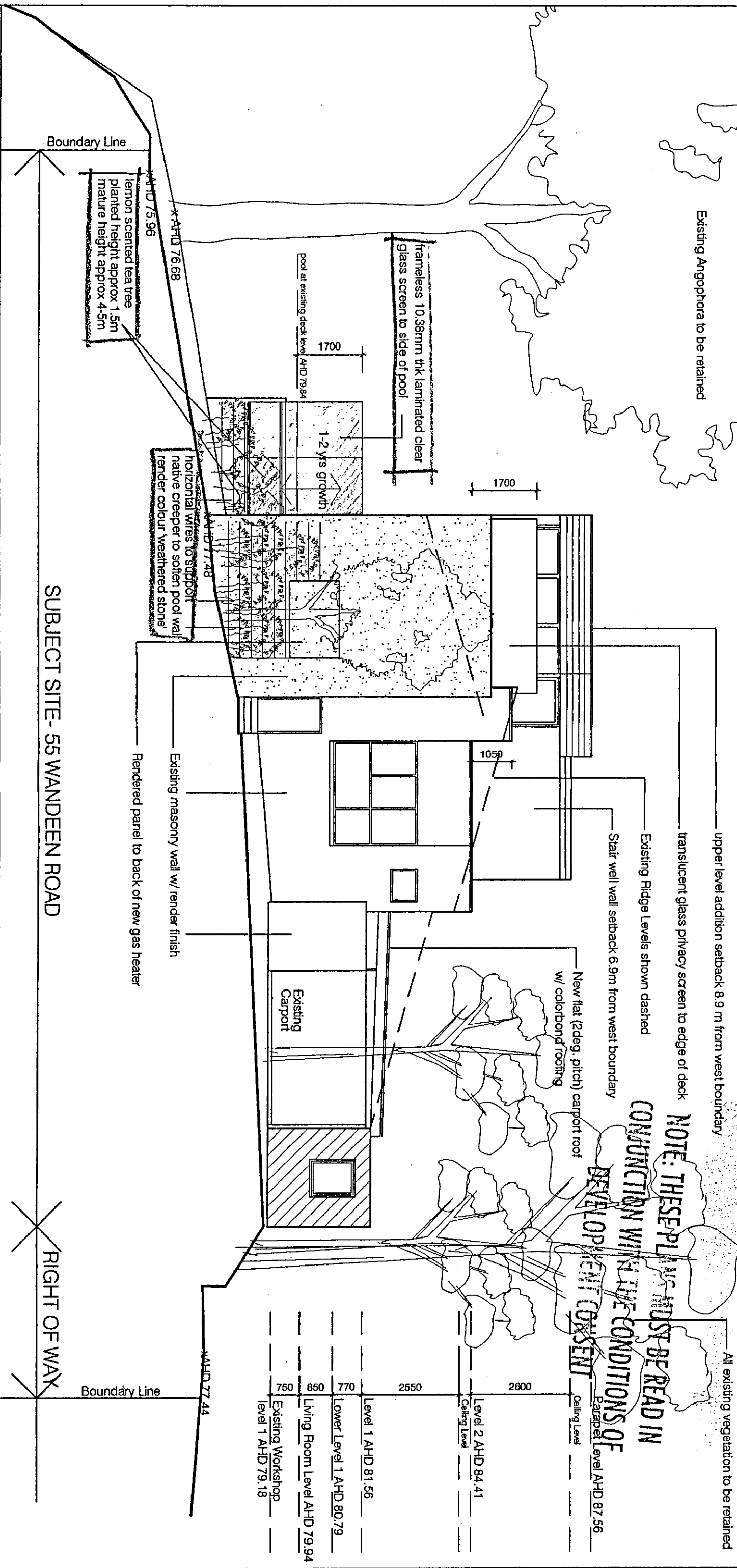
May 2006

Dwg. No: SK-04

Client:
Roger & Carole Buckeridge

PH: 9482 2095

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS



Dwg Title:	North West Elevation	Scale:	1 : 100 @ A3	Project:	55 Wandeen Road, Clareville	dk architecture Pty. Ltd. 102 HOLDEN ST, NORTH FITZROY VIC. 3068 PH: 9482 2095
Date:	May 2006	Dwg No:	SK-05	Client:	Roger & Carole Buckeridge	

PITWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

Existing Angophora to be retained

Upper level wall setback with — timber cladding and stain finish

Existing Ridge Levels shown dashed

- High level window to ensute

Existing masonry walls

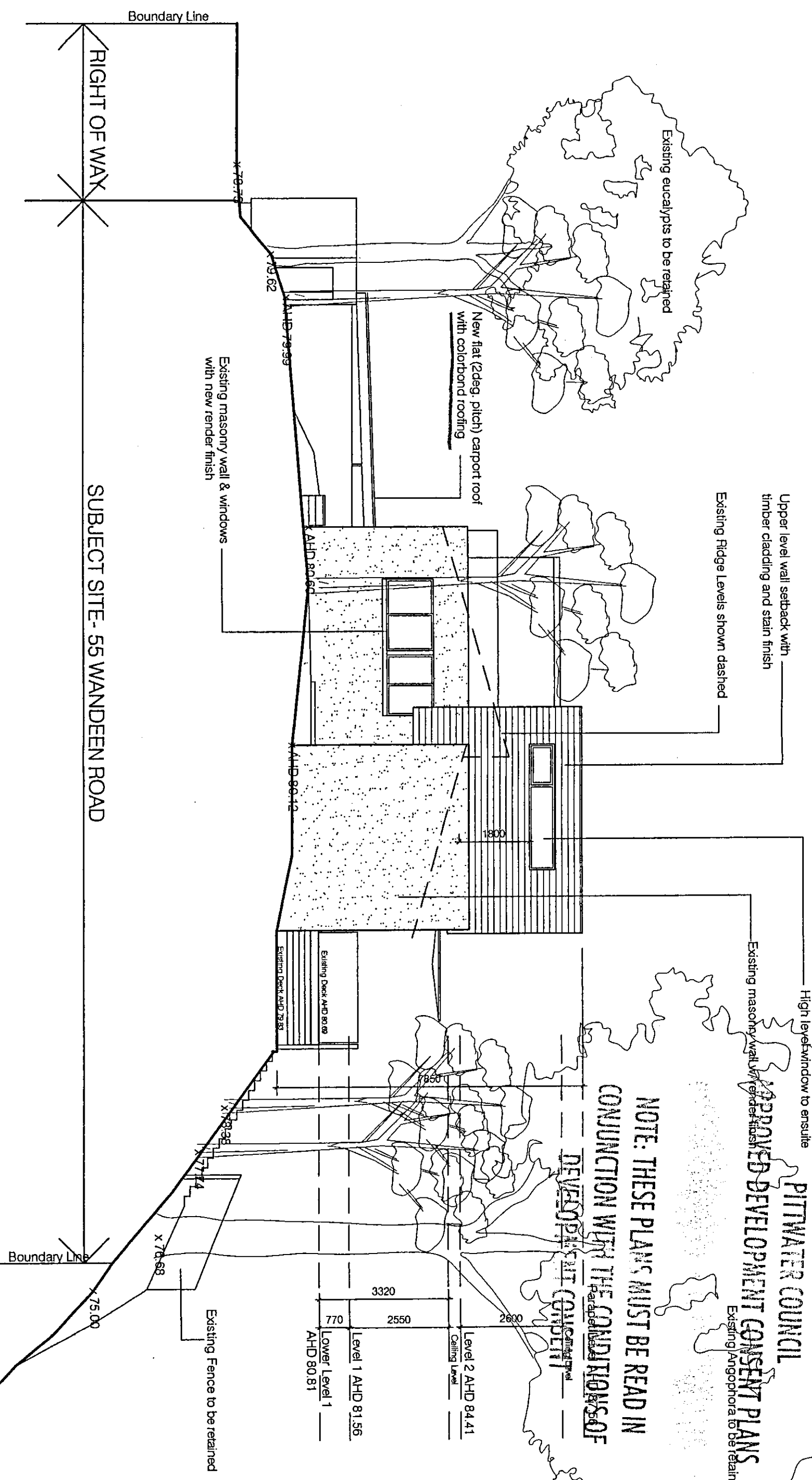
Existing eucalypts to be retained

New flat (2deg. pitch) carport roof with colorbond roofing

Level 2 AHD 84.41	2550	770
Ceiling Level		
Level 1 AHD 81.56		
Lower Level 1		
AHD 80.81		

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONTRACT.

~~REVENUE~~ ~~AT~~ ~~COMPTROLLER~~



Dwg Title:

South East Elevation

Scale:

1:100@A3

Project:

55 Wandeen Road, Clareville

Date: _____

May 2006

Dwg No:

SK-06

Client

Roger & Carole Buckenridge

dk architecture Pty. Ltd.

102 HOLDEN ST, NORTH FITZROY VIC. 3068

PH: 9482 2095

Mild grey Colorbond steel deck roofing at 2 Ø
pitch on graded timber battens on rafters to
engineer's design, with plasterboard ceiling

Bituminous roofing membrane on _____
marine plywood on timber rafters to
engineer's design, with plasterboard

Parapet Level AHD 87.01

KDHW windows, paint finished

Translucent glass canopy
on alumin. frame

New solid timber entry
door

Entry

Dining

Deck

Bed 1

KDHW Bi fold doors out to deck, paint finished

KDHW cladding boards on timber stud
framing

PITWATER COUNCIL

Level AHD 87.56

APPROVED DEVELOPMENT CONSENT PLANS

Ceiling Level

KDHW windows, paint finished

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
NEW KDHW strip flooring for detail

Retractable sliding awning

Level 2 AHD 84.41

Ceiling Level

8200+/-

2550

3320

2440

Level 1 AHD 81.56

770

Lower Level 1
AHD 80.81

New plunge pool beyond
to replace lower deck

x 78.00

Existing timber floor
structure and footings to
be retained

Existing ground line to be
maintained

Existing timber stairs and
decking to entry to be
retained

Dwg Title:

Section A-A

Scale:

1 : 50 @ A3

Project

55 Wandean Road, Clareville

Date:

July 2005

Dwg No:

SK-07

Client

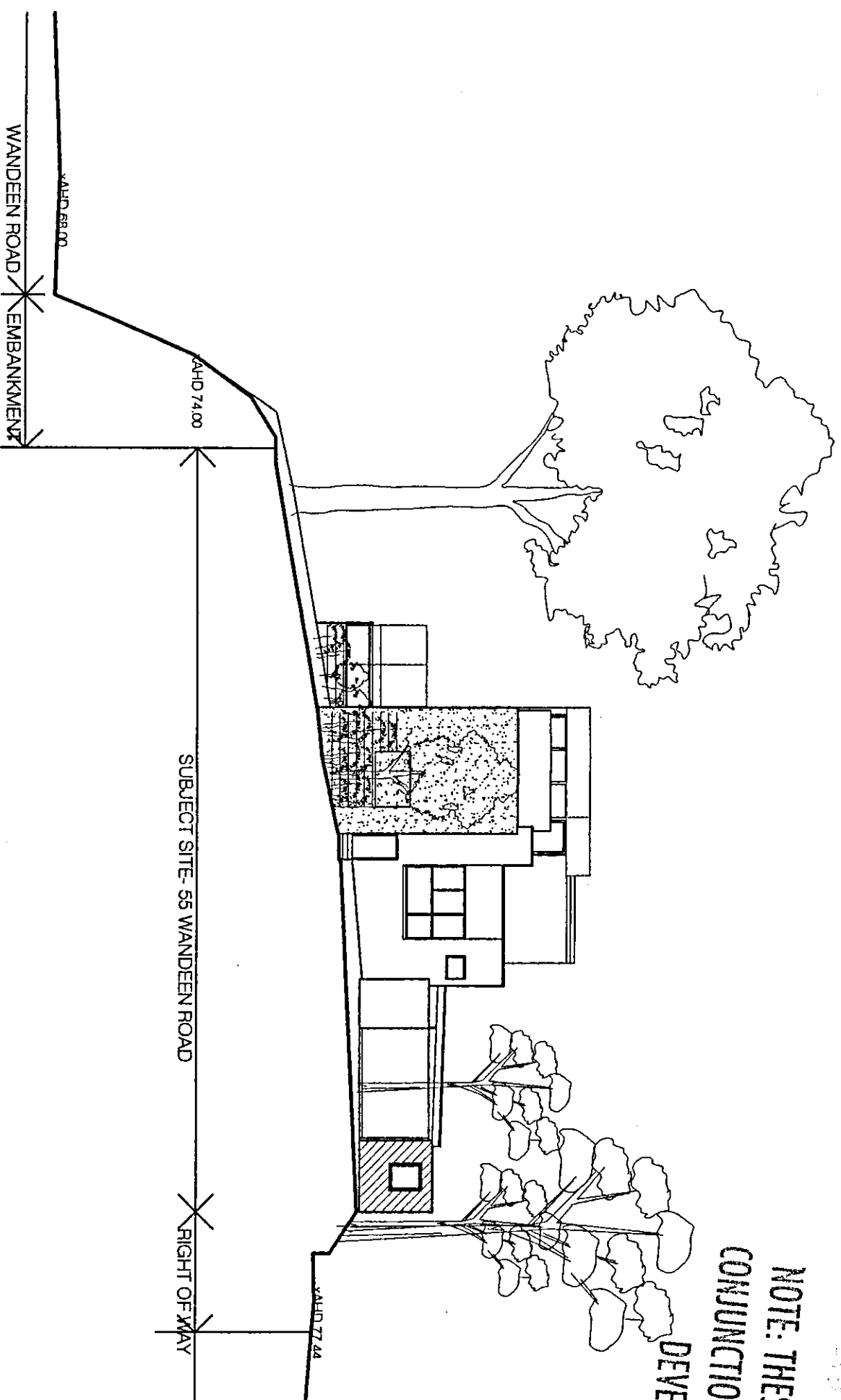
Roger & Carole Buckeridge

dk architecture Pty. Ltd.

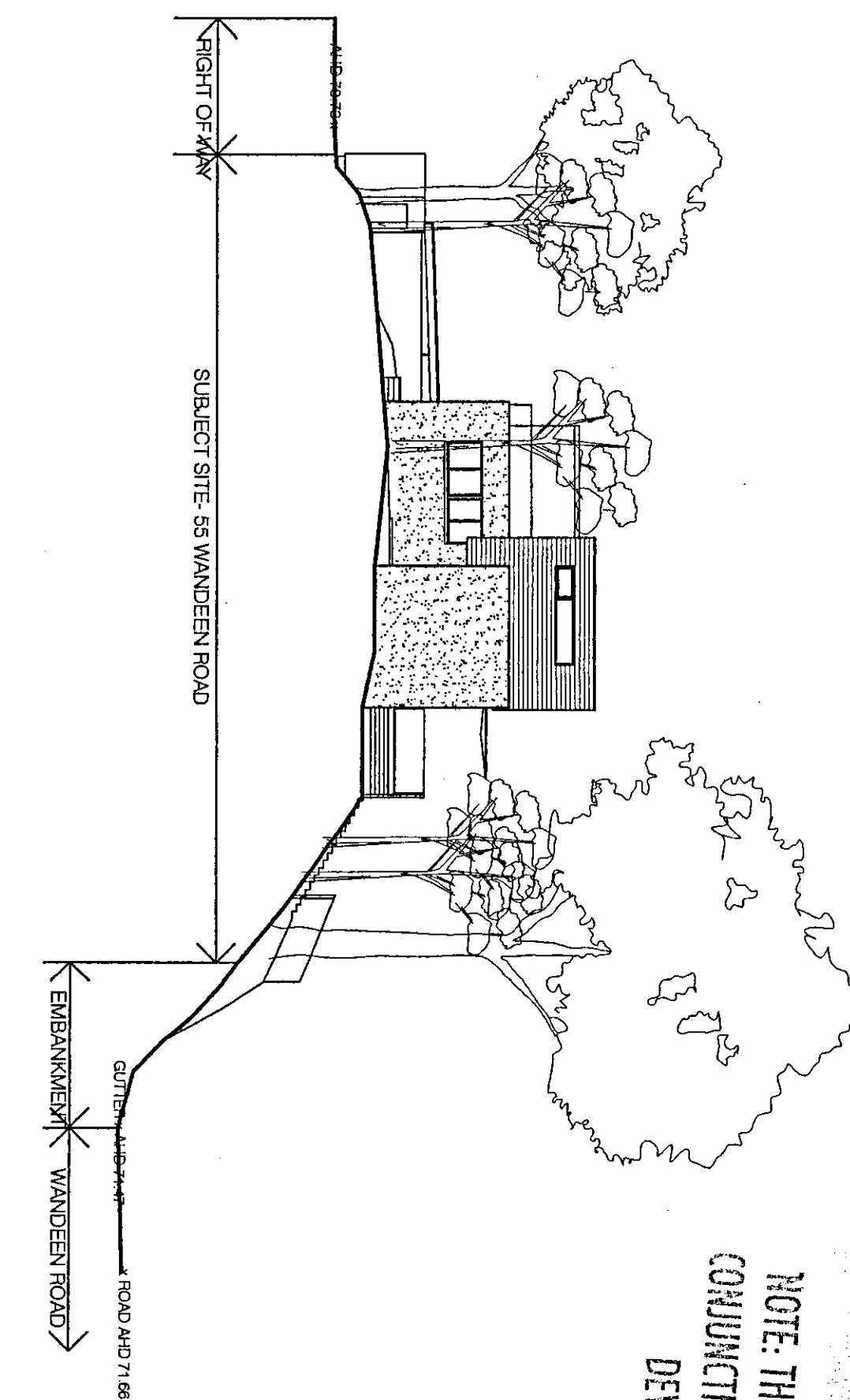
102 HOLDEN ST, NORTH FITZROY VIC. 3068

PH: 9482 2095

1990



Dwgt Title:	Section through Wandeen Road		Scale:	1 : 200 @ A3	Project:	55 Wandeen Road, Clareville
Date:	July 2005	Dwgt No:	SK-08	Client:	Roger & Carole Buckeridge	dk architecture Pty. Ltd. 102 HOLDEN ST, NORTH FITZROY VIC. 3068 PH: 9482 2095



Dwg Title:	Section through Wandean Road		dk architecture Pty. Ltd. 102 HOLDEN ST, NORTH FITZROY VIC. 3068 PH: 9482 2095
Scale:	1 : 200 @ A3	Project	
Dwg No:	SK-09	55 Wandean Road, Clareville	
Date:	July 2005	Roger & Carole Buckeridge	