

THIS DOCUMENT IS NOT AN AUTHORITY TO COMMENCE ANY BUILDING WORKS - NO BUILDING WORK MAY TAKE PLACE UNLESS A CONSTRUCTION CERTIFICATE AND REQUIRED PCA STATUTORY NOTICES HAVE BEEN ISSUED AND RECEIVED.

OWNER'S ACCEPTANCE OF SERVICE AGREEMENT / APPOINTMENT OF PCA

Proposed Building Works

Swimming pool, deck & pergola.

Council DA No

NO.452/07

Property Address

11. Hill Street, Warrivood

In accordance with the Terms and Conditions contained herein, and the issued Fee Proposal document, I hereby agree to this Service Agreement with **Insight Building Certifiers Pty Ltd**, including the associated payment of fees. In accordance with the Act and Regulations, I hereby make application to appoint as the Principal Certifying Authority ('the PCA') for the proposed building works under the subject development consent, concluding upon the issuing of the Final Occupation Certificate or upon termination of this agreement. I acknowledge that **Insight Building Certifiers Pty Ltd** is not the PCA until it has accepted and confirmed its appointment to me in writing.

Owner's Name

TIMOTHY HOKAN & SHARLES HANSEN

Owner's Address

11 Hill St, WARRIVOOD.

Owner's Signature

Sharon Hansen

PLEASE POST THIS FORM TO: Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale NSW 1660

ACCREDITED CERTIFIER'S ACCEPTANCE OF SERVICE AGREEMENT

I hereby agree to provide the nominated services detailed in this Service Agreement and the issued Fee Proposal, subject to the terms and conditions attached

Insight
Insight Building Certifiers Pty Ltd
Accredited Certifier No

(Building Surveyors and Allied Professions Accreditation Board)

8160042

Date 18 OCT 2007

NOTICE OF COMMENCEMENT OF BUILDING WORK AND
APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY (PCA)

1. Subject land details

No. 11 Lot No. A DP No. 419338 Post Code 2602
Street Name Hill Street Suburb WARRIVOOD
Description of Approved Development

PARTIAL DEMOLITION OF EXISTING SWIMMING, ~~ADDITIONAL~~
~~ALTERATIONS INCLUDING NEW FIRST FLOOR & SWIMMING POOL~~
timber deck & pergola.

2. Other consent(s)

Council DA ☒ or Complying ☐ Consent No. N0452/07 Date of Determination 13/09/2007

3. Construction Certificate or Complying Development Certificate details

Certificate No. 2007/2337 Date of Issue 18 OCT 2007

4. Principal Certifying Authority details

Accredited Certifier: Tom Bowden Accreditation No. 95
Accredited Certifier: Stephen Pinn Accreditation No. P06040

5. Home Building Act 1989 requirements

Has the Principal Certifying Authority been provided with a copy of the Home Warranty Insurance Certificate under Part 6 of the Home Building Act 1989?

Yes ☒ No ☐

6. Date building work is to commence

Date 20 October 2007

7. Builder's details

Builder's Name OWNER & FIDELITY Licence No. 325105P

8. Applicant's declaration & signature

I/We are the persons having the benefit of the Development Consent or Complying Development Certificate for the proposed building works. I/We confirm that I/we are not the principal building contractor(s) for this project.

Have all conditions been satisfied prior to the commencement of work?

Yes ☒ No ☐

(Conditions may include payment of security deposits, Section 94 Contributions, endorsement of building work plans by Water Supply Authority, LSL Contributions)

Name SHARLES HOKAN Date 24/09/07
Signature(s) *Sharon Hansen*

PRINCIPAL CERTIFYING AUTHORITY (PCA) SERVICE AGREEMENT

Environmental Planning and Assessment Act 1979 ('the Act')
Environmental Planning and Assessment Regulation 2000 ('the Regulation')

This document is a Service Agreement between Insight Building Certifiers Pty Ltd and the undermentioned owner of the subject property

TERMS AND CONDITIONS

This document is a Service Agreement between Insight Building Certifiers Pty Ltd and the 'client' For the purposes of this Service Agreement, 'the client' is the person who appointed the PCA

OBLIGATIONS OF THE ACCREDITED CERTIFIER (AC) / PCA

1 Critical Stage Inspections

- 1 1 The AC/PCA (or another AC agreed to by the PCA) shall carry out the critical stage inspections as are prescribed in the Regulations and other required inspections contained in the Notice to the client issued by the PCA under S 81A of the Act and CI 103A of the Regulations
- 1 2 The PCA shall issue an Inspection Result Sheet for each inspection undertaken

2 Issuing of Occupation Certificate

- 2 1 The PCA shall issue an Occupation Certificate for the building works when satisfied that
 - 2 1 1 All conditions of the development consent required to be satisfied prior to the issue of the Occupation Certificate have been complied with,
 - 2 1 2 The building works are in conformity with the issued Development Consent and Construction Certificate, and the Act and Regulations,
 - 2 1 3 The building works are suitable for occupation in accordance with their classification under the BCA,
 - 2 1 4 All commitments listed within the BASIX Certificate (if applicable) have been fulfilled
 - 2 1 5 A fire safety certificate has been issued (unless a Class 1 or 10 building),
 - 2 1 6 An application for the issue of an Occupation Certificate has been received, and the fee specified in the issued "Fee Proposal" for the issue of such certificate has been paid to the PCA,
 - 2 1 7 The building does not pose any threat to the health or safety of the occupants in the case of an Interim Occupation Certificate, and
 - 2 1 8 In the case of a Final Occupation Certificate, all outstanding payments have been received (as per this Agreement)

OBLIGATIONS OF THE CLIENT

3 The client

- 3 1 Shall ensure that the site/works are available for the PCA to carry out its contractual and statutory obligations,
- 3 2 Shall ensure that competent people are used/engaged for all aspects of the building works,
- 3 3 Agrees to attend any meetings if required by the PCA,
- 3 4 Agrees to comply with any Notices or Orders that the PCA issues,
- 3 5 Shall arrange for provision of additional professional reports/certificates as requested by the AC/PCA,
- 3 6 Shall provide all information that can be reasonably obtained to enable the AC/PCA to fulfil its obligations,
- 3 7 Agrees to act in good faith, in accordance with the Act and Regulations and in a co-operative fashion,
- 3 8 Shall comply with all terms and conditions of the issued Development Consent and statutory requirements,
- 3 9 Shall ensure no nuisance and/or damage is caused to any adjoining properties and/or adjacent public place, and that no work (including excavation, drainage and/or footings) is carried out on any adjoining property,
- 3 10 Shall ensure that the PCA receives the required notification of inspections in the manner and timeframe detailed in the PCA's notice to the client issued under S 81A(2)(b1)(ii) of the Act and CI 103A of the Regulations,
- 3 11 Shall ensure that there is no occupation and/or use of the building until it is authorised by the issue of an Occupation Certificate under the relevant Development Consent and Construction Certificate, and

- 3 12 Shall not carry out, permit and/or allow any development or work in breach of the Act, Regulations or the Building Code of Australia (BCA), or that encroaches upon an adjoining property,
- 3 13 Acknowledges that any application for the issue of an Interim or Occupation Certificate, or Modified Construction Certificate, is subject to a separate "Fee Proposal" (and payment of such fees) prior to the issuing of the subject certificate(s)

COMMENCEMENT OF BUILDING WORK / PCA APPOINTMENT

4

- The client shall
 - 4 1 Ensure no building work is commenced unless the required Construction Certificate has been issued,
 - 4 2 Ensure no building work is commenced until the client has received the PCA's notice under S 81A(2)(b1)(ii) of the Act and CI 103A of the Regulations, and
 - 4 3 Ensure no building work is commenced until the client has complied with the requirements of S 81A(2)(b2) of the Act,
 - 4 4 Ensure the Principal Certifying Authority (PCA) signage as provided, is displayed in public view on the property and maintained for the duration of building works
- The client acknowledges that
 - 4 5 The statutory PCA appointment role under this Service Agreement is not accepted by the AC until the client has satisfied the requirements of 4.1 and 4.4 above, and the PCA has confirmed such appointment in writing to the client in the notice issued under S 81A(2)(b1)(ii) of the Act and CI 103A of the Regulations

GENERAL MATTERS

5.

- If
 - 5 1 Any part of the building works are redesigned and/or constructed contrary to the issued Construction Certificate plans and/or this Agreement,
 - 5 2 An amendment to the Act, the BCA, or any other law requires any aspect of the building works or the AC's/PCA's work to be varied,
 - 5 3 The PCA is required to undertake more inspections than those paid for under the issued "Fee Proposal",
 - 5 4 The builder, owner and/or client does anything that causes a delay to the building works or does anything that delays the ability of the AC/PCA to carry out its obligations under this Agreement,
 - 5 5 Written correspondence is received by the AC/PCA from the Council and/or an adjoining owner/occupant and/or other person/authority in regard to the development work and/or the subject property and such correspondence necessitates additional work by the AC/PCA (and/or others on behalf of the AC/PCA),
 - 5 6 Preparation is needed of additional reports, letters, photocopying, etc, at the request of the client, owner or builder,
 - 5 7 Unauthorised building work is carried out on the property and/or any adjoining land,
 - 5 8 If any Notice or Order is issued by the PCA or Council or other authority or Court, then the AC/PCA may charge additional fees at the rate of \$200 (plus GST) per additional hour of work incurred. Notice of such additional fees is to be made by way of notice to the client in writing stating the reasons/ for the additional fees, the amount of the additional fees and the required payment time
- Duration of Works
 - 6 If the building work does not commence within 12 months of the date of issue of the Construction Certificate, or if the building work is not completed (and a Final Occupation Certificate not issued) within 18 months of the date of issue of the Construction Certificate, then the AC/PCA may charge an additional fee of 10% of the total amount of the original "Fee proposal"
- Termination
 - 7 1 The AC/PCA may terminate this Agreement at any time by issuing a Notice of Termination in circumstances involving any breach of clauses 4. and/or 5. of this Agreement, and/or failure to pay any money owed to the AC/PCA or in circumstances where upon the AC/PCA's obligations are restrained by an Order of a court of law
 - 7 2 The client must pay all termination money to the AC/PCA within 14 days of receiving a Notice of Termination
 - 7 3 If the PCA or client terminates the Agreement, the PCA is entitled to carry out a further inspection at the client's expense (such inspection being necessary to audit and document the works as at that time)
 - 7 4 This Agreement and PCA appointment automatically exhausts upon the issue of the Final Occupation Certificate
- Effect of Contract
 - 8 1 This contract represents the entire contractual agreement between the parties and overrides any other documents or oral representations upon which the parties may seek to rely to generate any legal effect or to imply any contractual obligation



TIMOTHY JAMES HOGAN
11 HILL STREET
WARRIEWOOD 2102

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit :325105P
Receipt:AA2446324

Issued:04/10/2007
Amount:\$140.00

Building Site:

11 HILL STREET, WARRIEWOOD 2102

Authorised Building Work:

DA NO N0452/07 ALTERATIONS AND ADDITIONS TO
EXISTING DWELLING - MORE ROOMS, SWIMMING POOL &
LANDSCAPING.

ISSUED BY PITTWATER COUNCIL

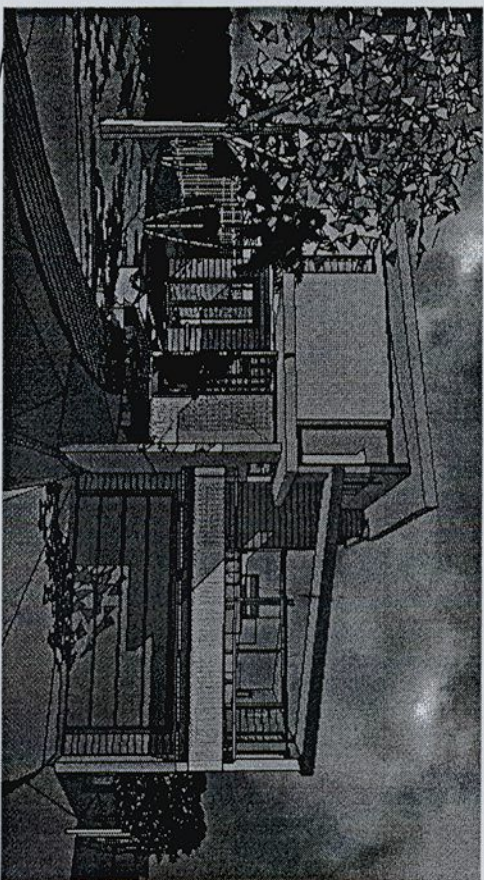
Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note This permit is only valid when an official receipt has been imprinted
If payment is made by cheque, the permit is conditional on the cheque
being met at presentation

Issuing Officer

***** END OF PERMIT *****



NOTE: CONSTRUCTION CERTIFICATE NO. 2007/2337 RELATES TO CONSTRUCTION OF SWIMMING POOL, TIMBER DECK & PERGOLA ONLY. A SEPARATE CONSTRUCTION CERTIFICATE IS REQUIRED FOR ALL REMAINING WORKS.

WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:
The applicant's responsibility to obtain approval from Sydney Water or other utilities.
The Structural Engineer of the adequacy of his construction plans.
The Applicant, Structural Engineer or other professional of their responsibility to ensure these stamped details are consistent with the issued Constructive Certificate Architectural Details.

SYDNEY WATER
STILLING OF SWIMMING POOLS
The water supply to the pool must be drawn from a service and any tap or hose used to fill the pool must be at least 10mm above the highest possible water level of the pool.

EMPTYING OF SWIMMING POOLS
Water emptying into Sydney Water's Sewer must:
a) Discharge into a gully through a pipe.
b) Discharge only in dry weather, with prior approval from Sydney Water's Customer Centre.

NOTE: IT IS PROHIBITED TO DISCHARGE POOL WATER INTO ANY OF SYDNEY WATER'S VACUUM SYSTEM SEWERS.

Reece, Mona Vale
Quick Check Agent on behalf of SYDNEY WATER

Reece
14/9/07

THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF APPROVED DEVELOPMENT CONSENT PLANS

PITTWATER COUNCIL

SITE SPECIFIC DESIGNS

14th August 2007	A	Development Application
date	Issue	description

client: HOGAN FAMILY
location: 11 HILL STREET WARRIEWOOD NSW 2102
02 9979 3434
sher_lim@bigpond.com
Principal: Sheralee Hogan B.(Arch)

dwg: SITE PLAN & PERSPECTIVE

dwg: SH date: 14.08.2007

dwg: DA 01 scale: 1:200(A3)

NS: All dimensions to be verified on site. Do not scale from drawing.

Issue: A

CONSTRUCTION CERTIFICATE
Reece, Mona Vale
Quick Check Agent on behalf of SYDNEY WATER

Property No. 342566

Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.

Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Terrace, Floor or other cover unless they are first approved by Sydney Water.

Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.

Condition of structures in relation to Sydney Water's assets is satisfactory.

SYDNEY WATER APPROVED

10/27/08 001 2007
B. Bowden Accreditation No. 897 BPP0042

CONSTRUCTION CERT NO. 2007/2337

DATE 13/9/07

CONSTRUCTION CERTIFICATE PLANS

INSIGHT BUILDING CERTIFIERS PTY LTD

CONSENT NO. 15045207

DATE 13/9/07

CONSTRUCTION CERTIFICATE PLANS

INSIGHT BUILDING CERTIFIERS PTY LTD

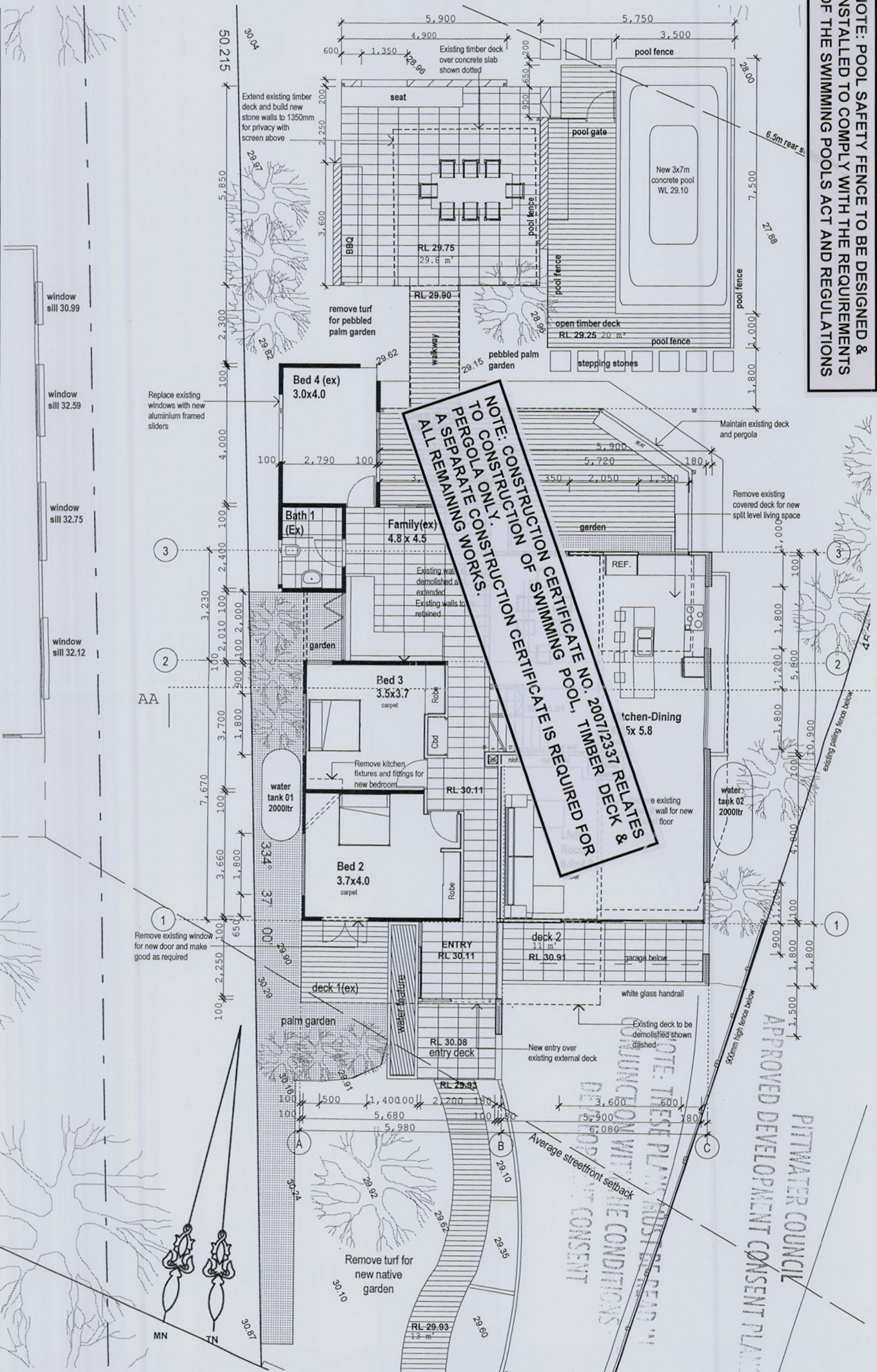
DATE 13/9/07

NOTE: POOL SAFETY FENCE TO BE DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT AND REGULATIONS

NOTE: CONSTRUCTION CERTIFICATE NO. 2007/2337 RELATES TO CONSTRUCTION OF SWIMMING POOL, TIMBER DECK & PERGOLA ONLY. A SEPARATE CONSTRUCTION CERTIFICATE IS REQUIRED FOR ALL REMAINING WORKS.

NOTE: TEST PLANS MUST BE PREPARED IN CONFORMANCE WITH THE CONDITIONS OF DEVELOPMENTAL CONSENT

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN



SITE SPECIFIC DESIGNS

14th August 2007	A	Development Application	Principal: Sherallee Hogan B.(Arch)	client: HOGAN FAMILY	location: 11 HILL STREET WARREWOOD NSW 2102	dwg: DA 02	scale: 1:100(A3)	date: 14.08.2007	issue: A
date	issue	description		dwg: GROUND FLOOR PLAN					

Light and Air tower to

PTA Council

DEVELOPMENTAL CONSENT PLANS



NOTE: CONSTRUCTION CERTIFICATE NO. 2007/2337 RELATES TO CONSTRUCTION OF SWIMMING POOL, TIMBER DECK & PERGOLA ONLY. A SEPARATE CONSTRUCTION CERTIFICATE IS REQUIRED FOR ALL REMAINING WORKS.

SITE SPECIFIC DESIGNS

dwn:	SH	date:	14.08.2007
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location: 11 HILL STREET

WARRIEWOOD NSW 2102

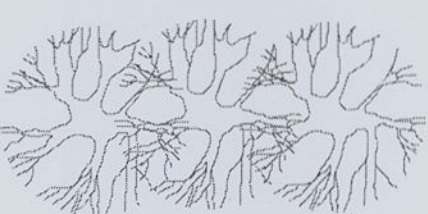
NB. All dimensions to be

dwg: ELEVATIONS

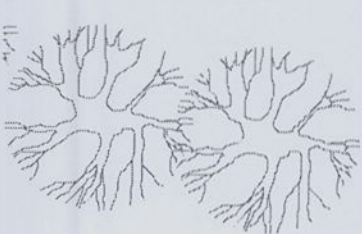
N.B. All dimensions to be verified on site. Do not scale from drawing.

issue:
A

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT.



NOTE: POOL SAFETY FENCE TO BE DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT AND REGULATIONS

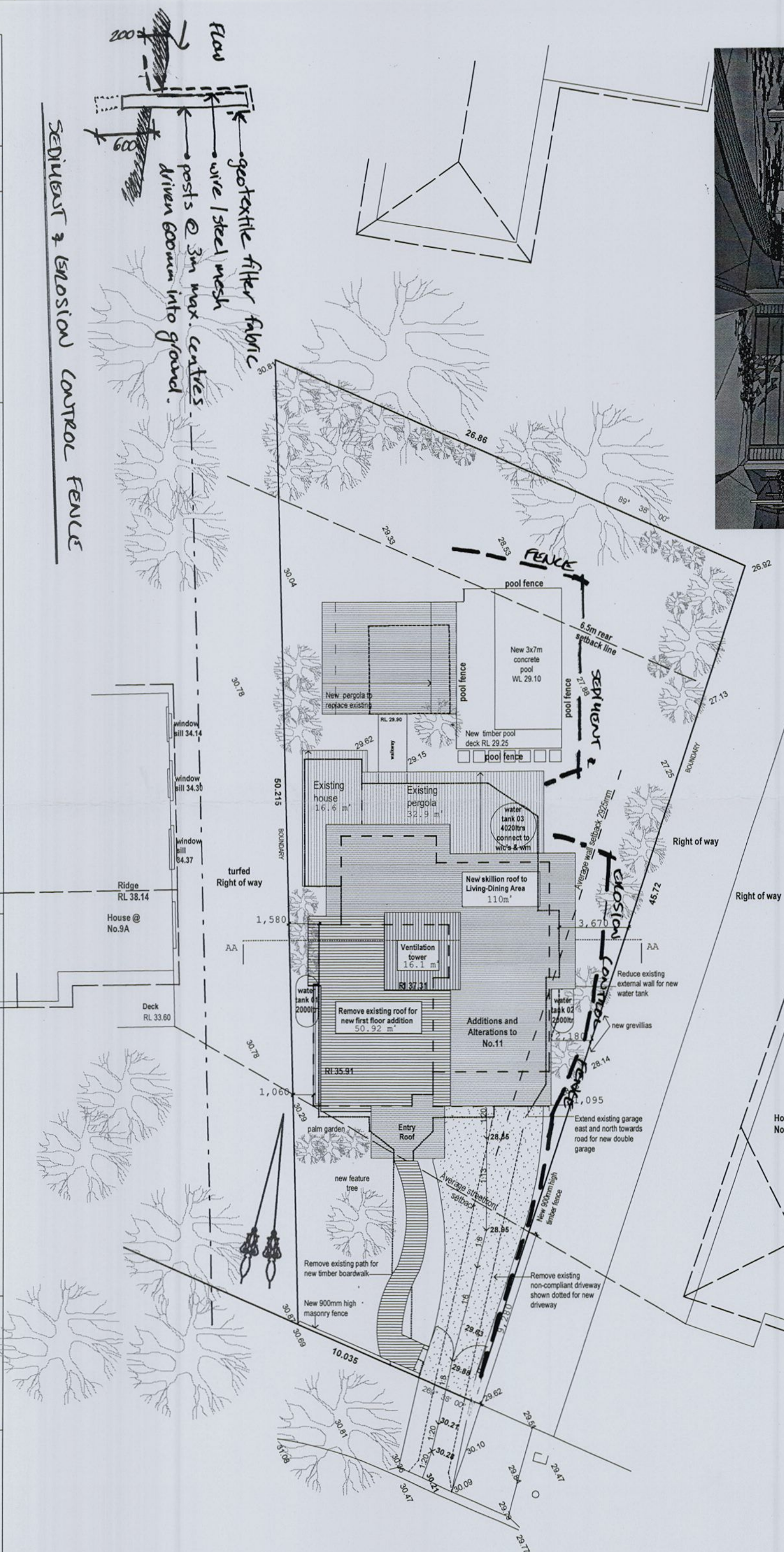
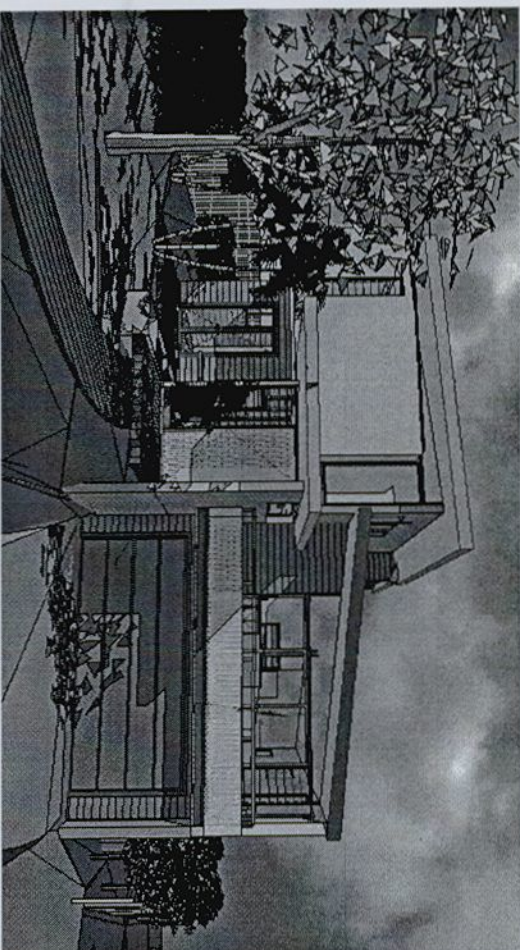
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SITE SPECIFIC DESIGNS

11 HILL STREET
WARRIEMOOD NSW 2102
02 9979 3434
sher_tim@bigpond.com

client:	HOGAN FAMILY
location:	11 HILL STREET WARRIEWOOD NSW 2102
dwg:	POOL PLAN AND SECTION

dwn:	SH	date:	14.08.2007
dwg:	DA 10	scale:	1:100(A3)
NB: All dimensions to be verified on site. Do not scale from drawings		issue:	A

[illegible]

GENERAL NOTES

GENERAL

- G1 - These drawings are to be read in conjunction with all architectural and other consultants drawings and specifications. Any discrepancies are to be referred to all parties and rectified before proceeding with the works.
- G2 - Dimensions shall not be obtained by scaling from these drawings.
- G3 - During construction the structure shall be kept in a stable condition and no part shall be over stressed.
- G4 - All materials and workmanship are to be in accordance with the current Australian Standards, CH&S requirements, and the by-laws and ordinances of any relevant statutory authority.

FOUNDATIONS

- F1 - For design purposes the foundation material is assumed to be **CLASS M CLAY 100 KPa BEARING CAPACITY MINIMUM**.
- F2 - The foundation material is to be **inspected, verified and approved** by a **Geotechnical Consultant** as being in accordance with the above assumption and that it is sound and consistent with minimal possibility of differential settlement.
- F3 - Should variable foundation material be encountered the engineer is to be contacted and it is likely all foundations are to be pierced to similar material of the greatest bearing capacity and that additional detailing of the foundation reinforcement will be required.
- F4 - Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.
- F5 - All foundations shall be a minimum 300mm into the approved material unless otherwise noted.
- F6 - Foundation depth dimensions are a minimum only and final depth will be dependent on the adequacy of the bearing material.
- F7 - All organic matter and top soil shall be removed from the underside of all slabs and foundations.
- F8 - Any soft or questionable excavated areas are to be brought to the attention of the Geotechnical Consultant and may require controlled filling.
- F9 - Any filling shall be to the approval of the Geotechnical Consultant and will generally be granular material compacted in not more than 150mm layers to a minimum dry density ratio of 98%.

CONCRETE

- C1 - All workmanship and materials shall be in accordance with AS3600.
- C2 - Concrete quality shall be verified by tests.
- C3 - All concrete shall have a slump of 80mm and maximum aggregate size of 20mm.
- C4 - Concrete strength and cover shall be as detailed on the plans.
- C5 - Size of concrete members do not include thickness of applied finishes.
- C6 - Beam depths are written first and include slab thickness if any.
- C7 - No penetrations are to be made to the concrete members without the written approval of the engineer.
- C8 - No water is to be added to the concrete prior to placement.
- C9 - All construction joints shall be located to the approval of the engineer.
- C10 - Fire rating requirements and adequacy is to be reviewed and specified by others.
- C11 - All concrete members are to be cured by keeping the surfaces continuously wet for a period of 3 days followed by the prevention of loss of moisture for a further 7 days.
- C12 - All concrete elements shall be compacted to form a dense homogenous mass using mechanical vibrators.
- C13 - All formwork shall be installed and stripped in accordance with AS3610.
- C14 - All formwork is to be free of debris prior to pouring of concrete.

REINFORCEMENT

- R1 - All reinforcement shall be Grade D500.
- R2 - Top reinforcement is to be continuous over supporting elements and lapped between supporting elements only.
- R3 - Bottom reinforcement is to be continuous between supporting elements and lapped at supporting elements only.
- R4 - Reinforcement is represented diagrammatically only and is not necessarily shown in its true projection.
- R5 - Welding of reinforcement is not permitted.
- R6 - All reinforcement shall be supported on bar chairs at max 750mm spacing.
- R7 - Reinforcement shall be tied at alternate intersections.
- R8 - Reinforcement bars are to lap a minimum length equal to 40 times the bar diameter (ie min 480mm for N12 bars, 640mm for N16 bars).
- R9 - Reinforcement fabric is to lap 1 complete square plus 25mm.

MASONRY

- M1 - All workmanship and materials shall be in accordance with AS3700.
- M2 - An approved slip joint material is to be placed over all load bearing masonry supporting a concrete slab and laid on smooth brick work or a trowed mortar finish, this material may constitute two layers of greased metal.
- M3 - Masonry shall be constructed on suspended concrete structures only after all propping has been removed and the concrete has achieved its specified strength.
- M4 - Control joints are to be placed in all walls at a maximum of 8m centres or closer as deemed necessary by the engineer. The joints are to be 10mm wide and sealed with an approved flexible sealant, with ties at 600mm centres vertical.
- M5 - Concrete blocks shall have a minimum compressive strength of 15 MPa.
- M6 - Core filling shall be 20 MPa concrete with 10mm aggregate, 230mm slump and compacted adequately.
- M7 - Concrete blocks used in retaining wall construction are to be Double Web H blocks.
- M8 - Maximum pour height for unrestrained blockwork is 1.8m.
- M9 - All masonry components are to be tied at not more than 600mm centres to adjacent steel or concrete columns.

STEEL

- S1 - All workmanship and materials shall be in accordance with AS4100.
- S2 - Hot rolled plates shall comply with AS 3678.
- S3 - Hot rolled sections shall comply with AS3679.
- S4 - Cold formed sections shall comply with AS4600.
- S5 - Welded and seamless hollow sections shall comply with AS1163.
- S6 - Unless noted otherwise all welds shall be 6mm continuous fillet from E4xx electrodes, unless noted otherwise.
- S7 - Unless noted otherwise all bolts shall be M16 high strength structural bolts grade 8.8, snug tightened, uno.
- S8 - Unless noted otherwise all connections shall be 3M16 bolts, 10mm plate and 6mm continuous weld.
- S9 - All structural steel work shall have the following level of corrosion protection (coatings listed below by *ORICA Australia p/l* maybe substituted with a certified equivalent) All coatings/finishes shall be applied in accordance with the manufacturers specifications and recommendations including surface preparation.
- Internal elements
not visible - a single coat (75 microns) of Zincanode 402.
visible - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Weathermax HBR.
- External elements (including members with an external cavity or within 1m of a significant opening)

not visible - a first coat (75 microns) of Zincanode 402 and a second coat (200 microns) of Duernmax GPE MIO
or Hot Dipped Galvanised to AS 4680.
visible - a first coat (75 microns) of Zincanode 402 and a second coat (200 microns) of Duernmax GPE MIO and a third coat (100 microns) of Weathermax HBR
or Hot Dipped Galvanised to AS 4680 and a decorative coating.

S10 - All work shop drawings are to be reviewed and approved by the Engineer.

TIMBER

- T1 - All workmanship and materials shall be in accordance with AS1720 and AS1684.
- T2 - All exposed timber shall be H3 treated or of durability class 1.
- T3 - All timber in contact with the ground shall be H4 treated or of durability class 1.
- T4 - All exposed cuts shall be treated to achieve H3 or H4 requirements.
- T5 - All softwood shall be minimum F7.
- T6 - All hardwood shall be a minimum F14.
- T7 - All bolt hole s shall be exact size and washers shall be 2.5 x the bolt diameter.

INSPECTIONS

- I1 - Barrenjoey Consulting Engineers shall only inspect works within its capacity as an Engineering Consultancy and will not carry out Mandatory Critical Stage Inspections.
- I2 - Barrenjoey Consulting Engineers will not inspect or certify foundation material adequacy, see F2.
- I2 - All inspections are to be carried out at the request of the projects Principal Certifying Authority, or should independent certification be required at the request of the client or builder.
- I3 - Typical inspections include -
Foundation reinforcement
Slab on ground reinforcement
Suspended concrete reinforcement
Steel structures
Timber structures
Completed Stormwater Management systems
- I4 - The client shall be responsible for any fees for inspections regardless of whom requested them.
- I5 - All re inspection required due to no compliance with issued drawings or that deemed necessary by Barrenjoey Consulting Engineers shall be charged to the client.
- I6 - No certification will be given for works not inspected by Barrenjoey Consulting Engineers.
- I7- 48 Hrs notice is required for any inspection within the Sydney region and 72 Hrs notice is required for any inspection outside of this region.

DESIGN LIFE OF THE STRUCTURE

D1 - The design life of all elements as specified within these

documents correspond to that required by the Building Code of Australia and the relevant Australian Standard.

D2 - The Design Life of these elements maybe extended to that required by Pittwater Councils Interim Risk Management Policy by the implementation of a rigorous maintenance and inspection schedule.

D3 - To meet the requirements of Pittwater Councils Interim Risk Management Policy the works are to be regularly maintained by the occupant/home owner, inspected by an Engineer 12months after completion, by a licensed builder every 10 years and by a qualified Engineer every 15 yrs.

DRAWING SCHEDULE

- S01 - GENERAL NOTES
- S02 - POOL PLAN AND SECTION
- S03 - LONG SECTION
- THROUGH POOL

WARNING

- The stamping of this plan by Insight Building Certifiers Pty Ltd does not
- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
 - The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
 - The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

Barrenjoey Consulting Engineers Pty Ltd

Stormwater

Structural

Civil

PO Box 672

Avalon NSW 2107

P: 9918 6264 F: 9918 5841

M: 0418 620 330

E: lucasbce@bigpond.com

ABN: 13124694917

ACN: 124694917

PROJECT:

PROPOSED NEW POOL
11 HILL STREET
WARRIEWOOD

DRAWING :

GENERAL NOTES

Job No :

070901

Drawing No :

S01

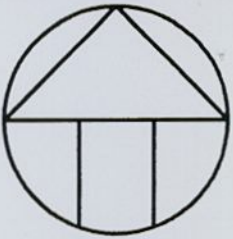
Document Certification

Barrenjoey Consulting Engineers Pty Ltd

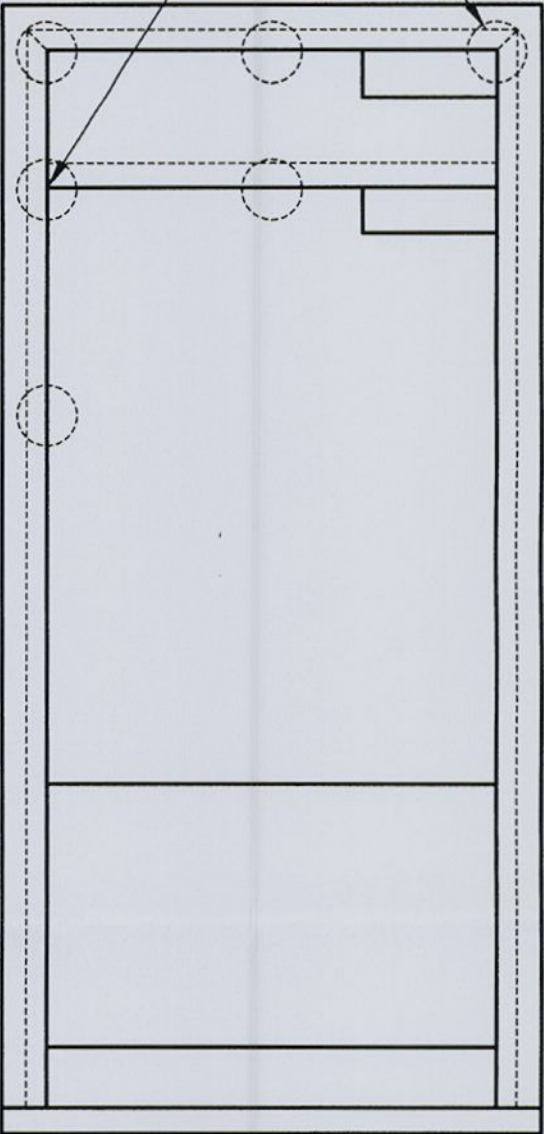
per

Lucas Molloy MIEA CPENG NREPR Director

14/04/07



Piers (if required) to ensure consistent bearing material add 3 S12, 1.5m long, each way over



POOL LAYOUT 1:50

(refer architects plans for dimensions etc.)

170mm SLAB

F_c = 32 MPa

Cover 65mm allround

Reinforcement

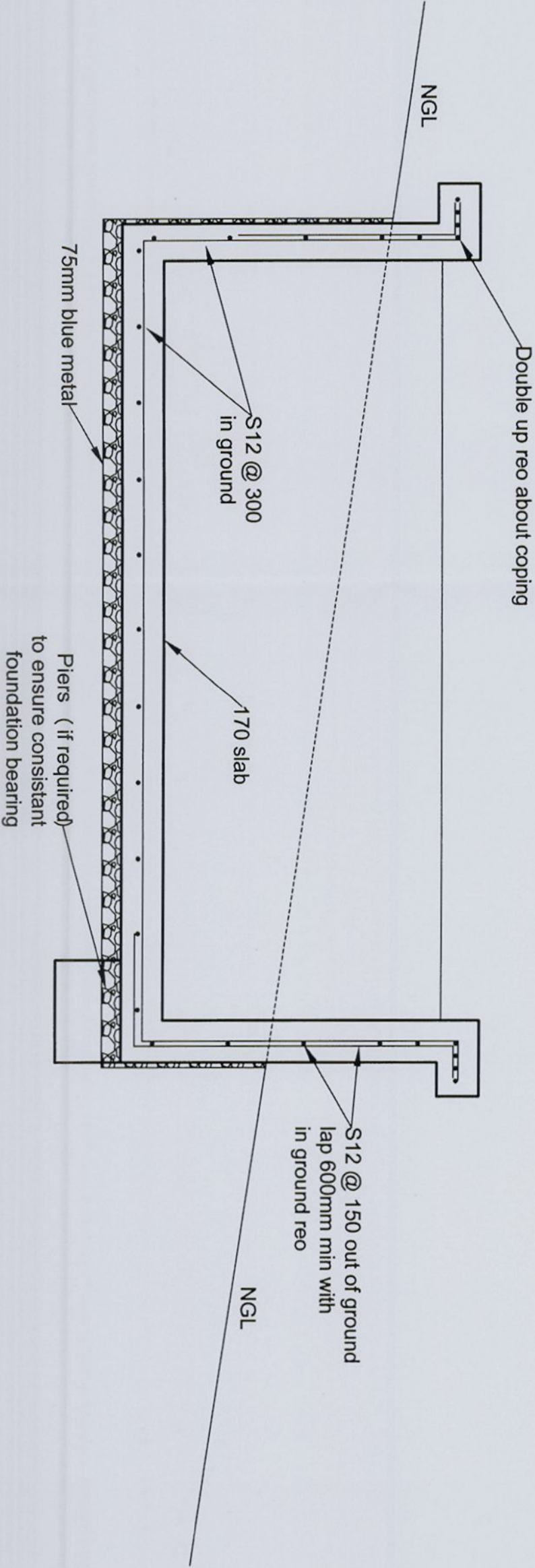
S12-300 (in natural ground)

S12 -150 (out of ground)

RTP, hydrostatic valve, returns etc, to

builders detail double up reinforcement all round

SHORT SECTION THROUGH POOL 1:20



Barrenjocy Consulting Engineers Pty Ltd
Stromwater
PO Box 672
Avalon NSW 2107
P: 9918 6264 F: 9918 5841
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PROJECT:

PROPOSED POOL
11 HILL STREET
WARRIEWOOD

DRAWING :

POOL PLAN AND SECTION

Job No : 070901

Drawing No : S02

Document Certification

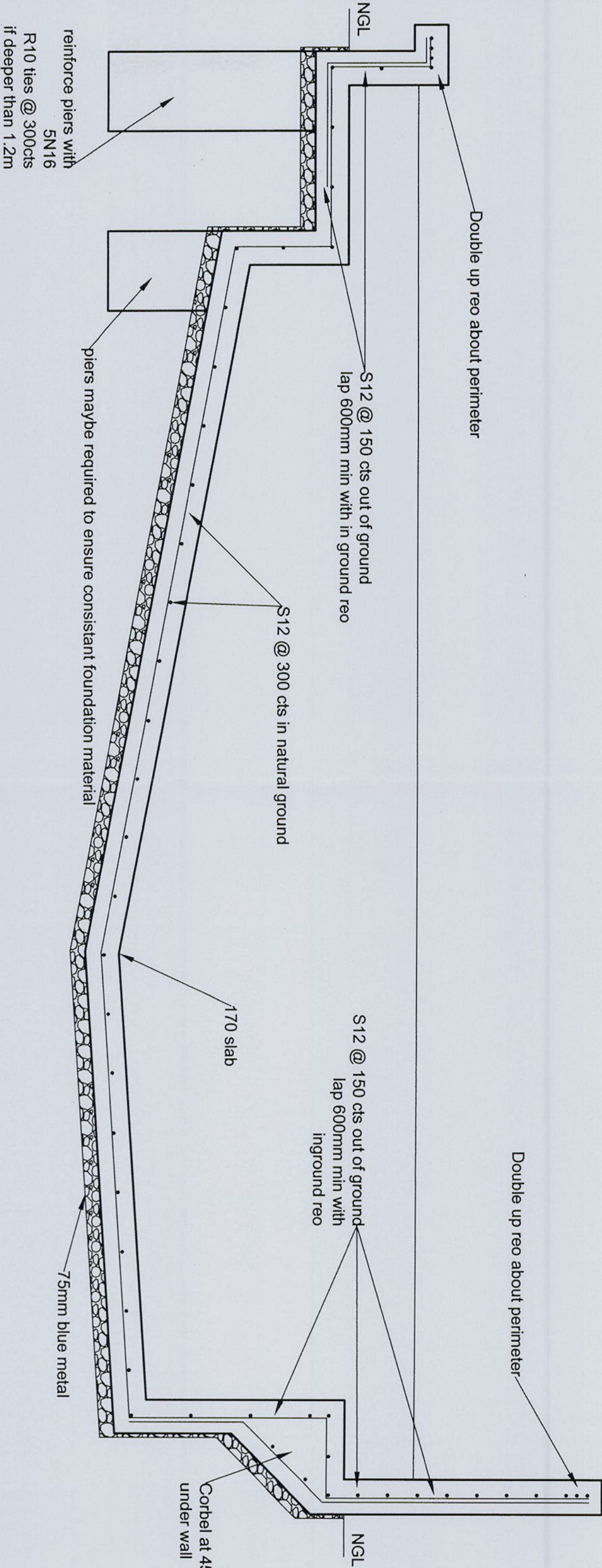
Barrenjocy Consulting Engineers Pty Ltd

per

Lucas Molloy

MECA CPENG NPER Director

14/01/07



LONG SECTION THROUGH POOL 1:20

Barronjoc Consulting Engineers Pty Ltd Stormwater Structural Civil		PROJECT:		DRAWING :		Job No : 070901		Drawing No : S03	
PO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 5841 M: 0418 620 330 E: lucasbce@bigpond.com ABN: 13124694917 ACN: 124694917		PROPOSED POOL 11 HILL STREET WARRIEWOOD		LONG SECTION THROUGH POOL		Document Certification Barronjoc Consulting Engineers Pty Ltd per Lucas Molloy MIEA CPENG NPER Director		14 09 07	