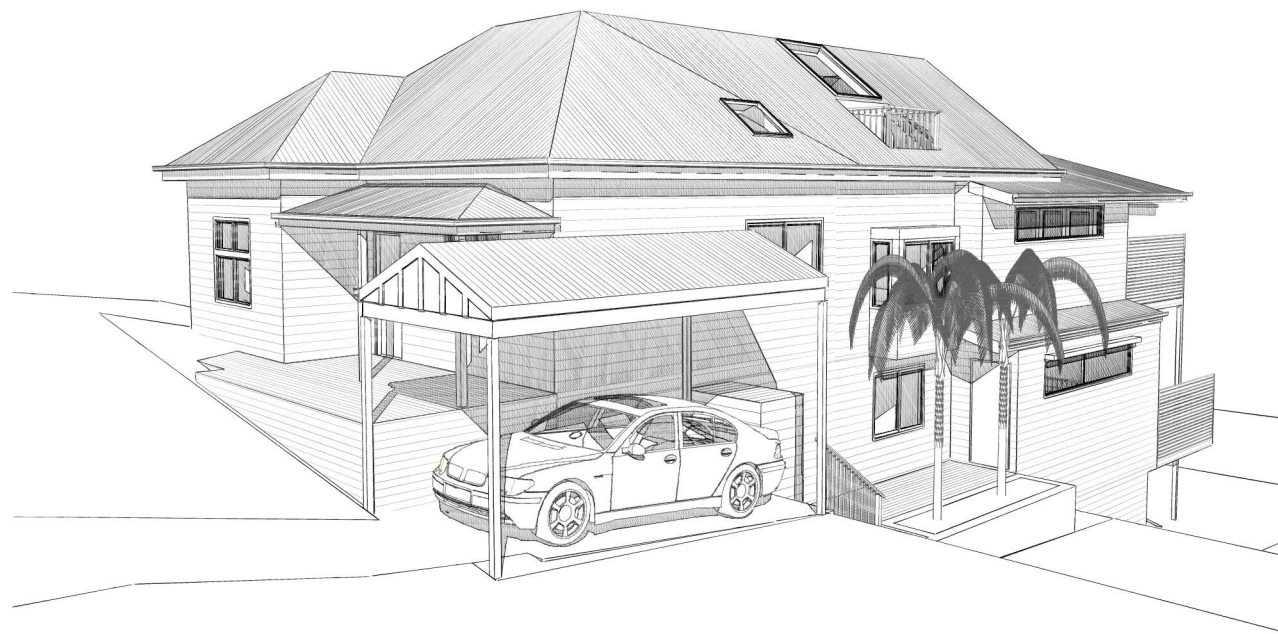




CONTENTS

DA1	PERSPECTIVES, MATERIALS & FINISHES
DA2	SURVEY
DA3	SITE ANALYSIS & WASTE MANAGEMENT PLAN
DA4	LOWER FLOOR PLAN
DA5	GROUND FLOOR PLAN
DA6	MEZZANINE FLOOR PLAN
DA7	ROOF PLAN
DA8	ELEVATIONS, N
DA9	ELEVATIONS, S
DA10	ELEVATIONS, E, W
DA11	SECTION C-C
DA12	OPEN & SOFT OPEN SPACE PLAN

private residence

27 francis st, fairlight

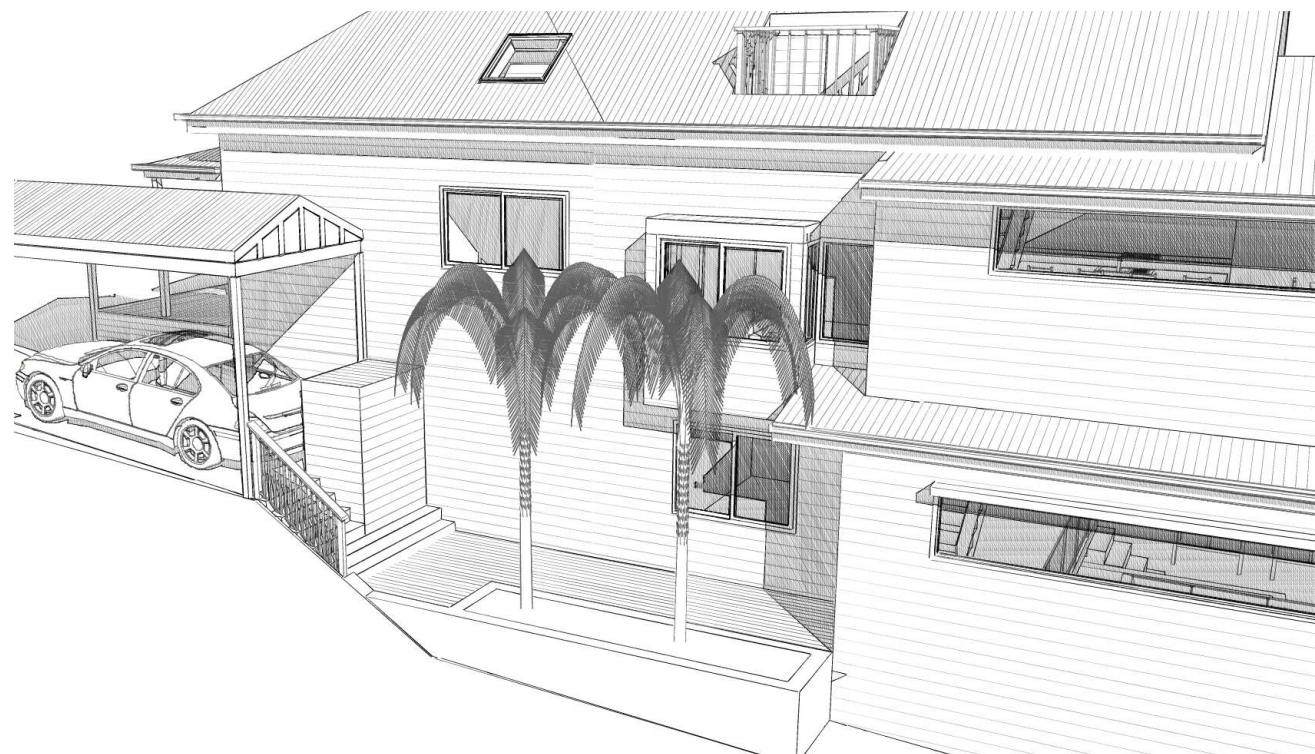
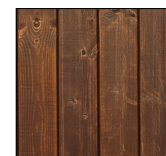
alterations & additions
development application

architectural perspectives

ROOF
COLORBOND
WINDSPRAY
or similar
to match existing



TIMBER
TO DECK
or similar



**THIS PLAN IS TO BE READ IN
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DA2020/1207

P

PROPOSED

POS

PRIVATE OPEN SPACE (EXISTING)

ED

EXISTING DWELLING

MS

MATERIAL STOCKPILE

95.51

EXISTING LEVELS

CAR ENTRY POINT

HARDSTAND AREA

BOUNDARY

WM

WASTE MANAGEMENT

FRANCIS STREET



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beaches
council

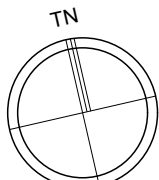
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Site Analysis Plan
1:200



TN



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REV	DATE	DESCRIPTION

sketchArc

Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 27 Francis St, Fairlight, 2094,
NSW
Additions & Alterations
LOT 2 in DP 68123 - 393m2

CLIENT:
Private

= Proposed Work

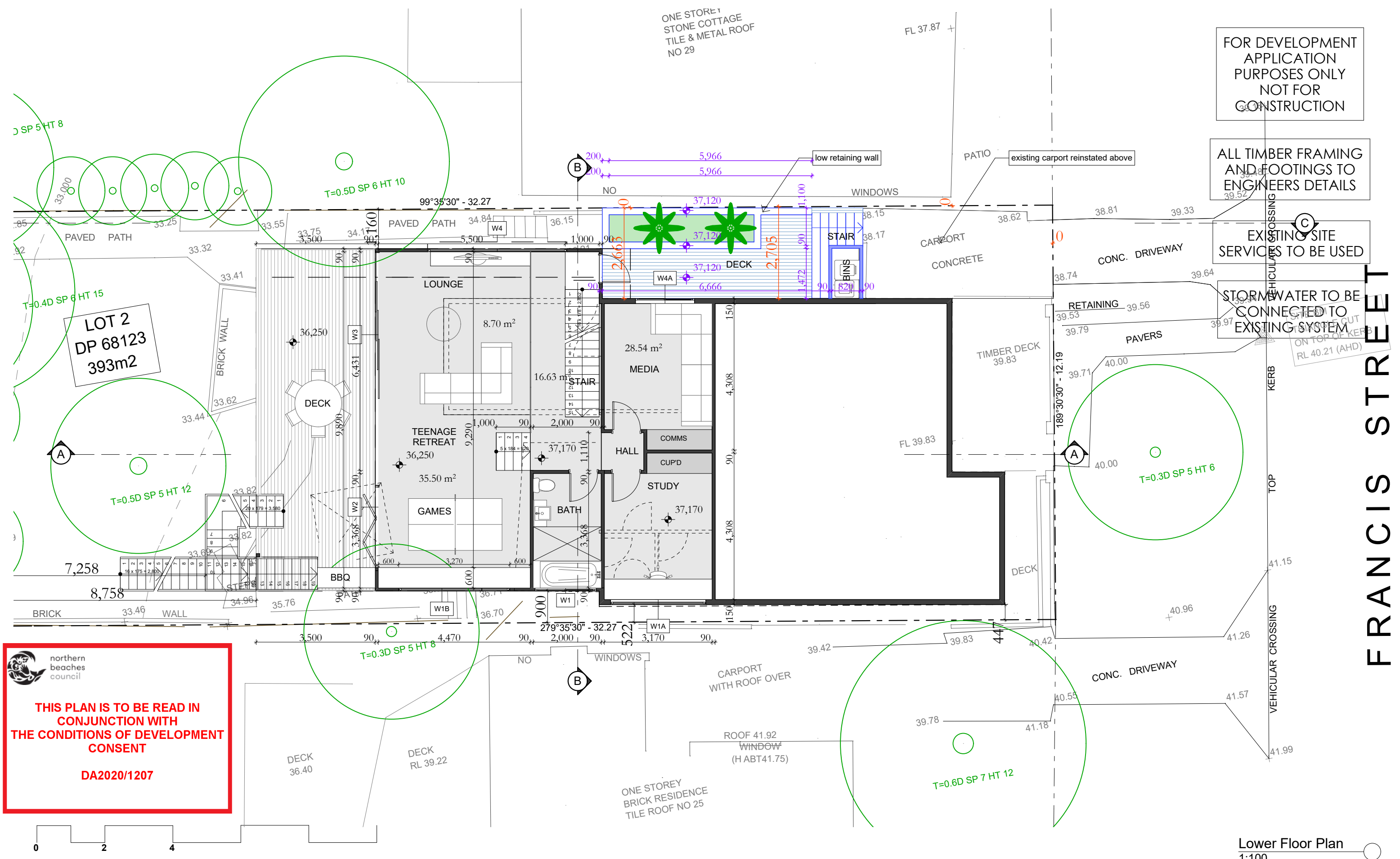
= Demolition

= Existing

STATUS:
DA
DATE:
111120
STAGE:
DA
DRAWING NO:
DA3

SCALE:
1:200@A3
DRAWN/DESIGNED:
PB / MP

PROJECT NUMBER:
1623
ISSUE:

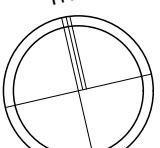


 northern beaches council

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Lower Floor Plan
1:100



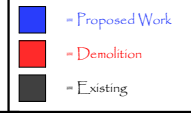
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LOT 2 in DP 68123 - 393m2

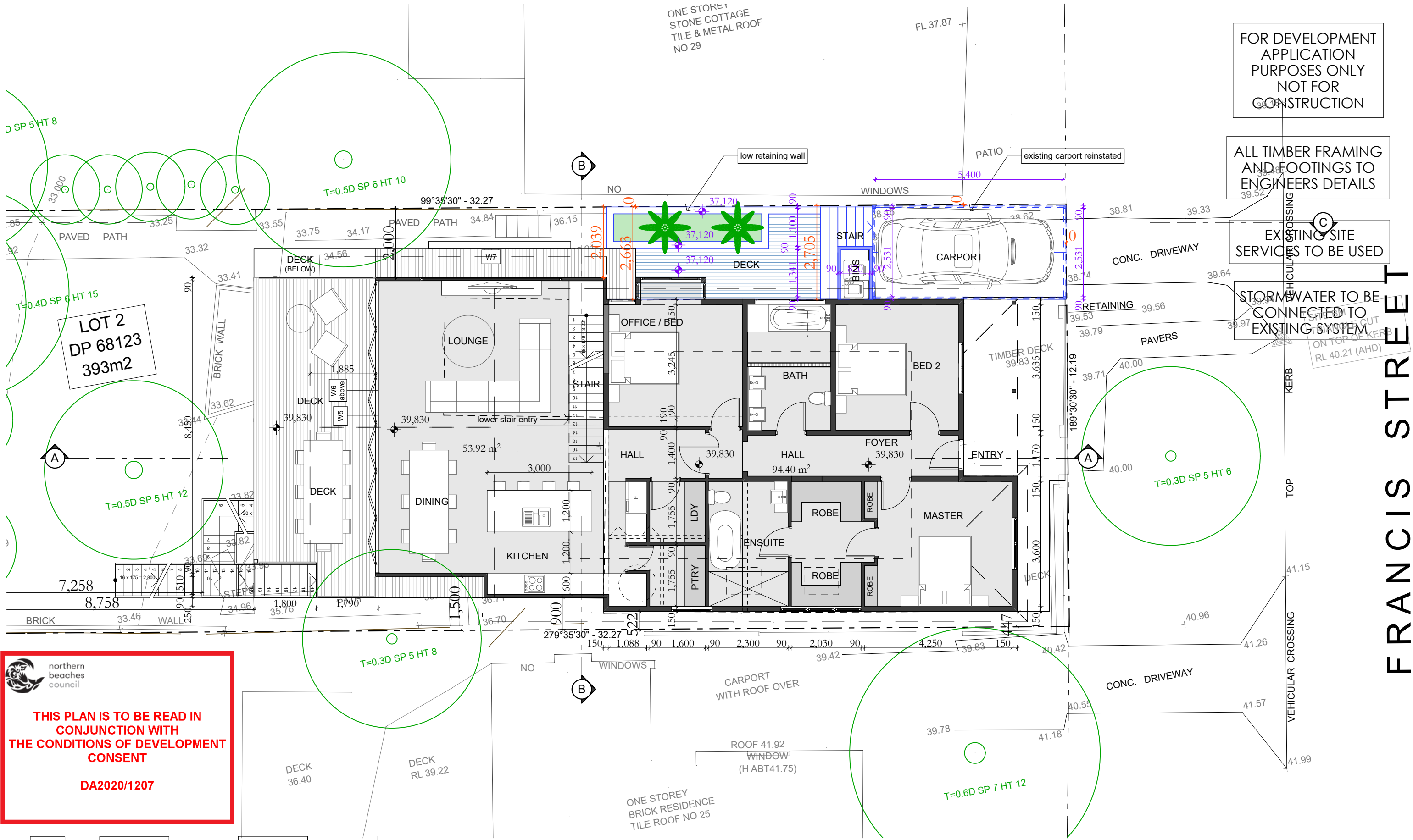
CLIENT: Private

 = Proposed Work
= Demolition
= Existing

STATUS: DA
DATE: 111120
STAGE: DA
DRAWING NO: DA4

SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1623
ISSUE:



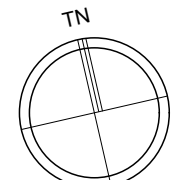
 northern beaches council

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DA2020/1207



Ground Floor Plan
1:100



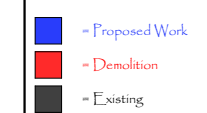
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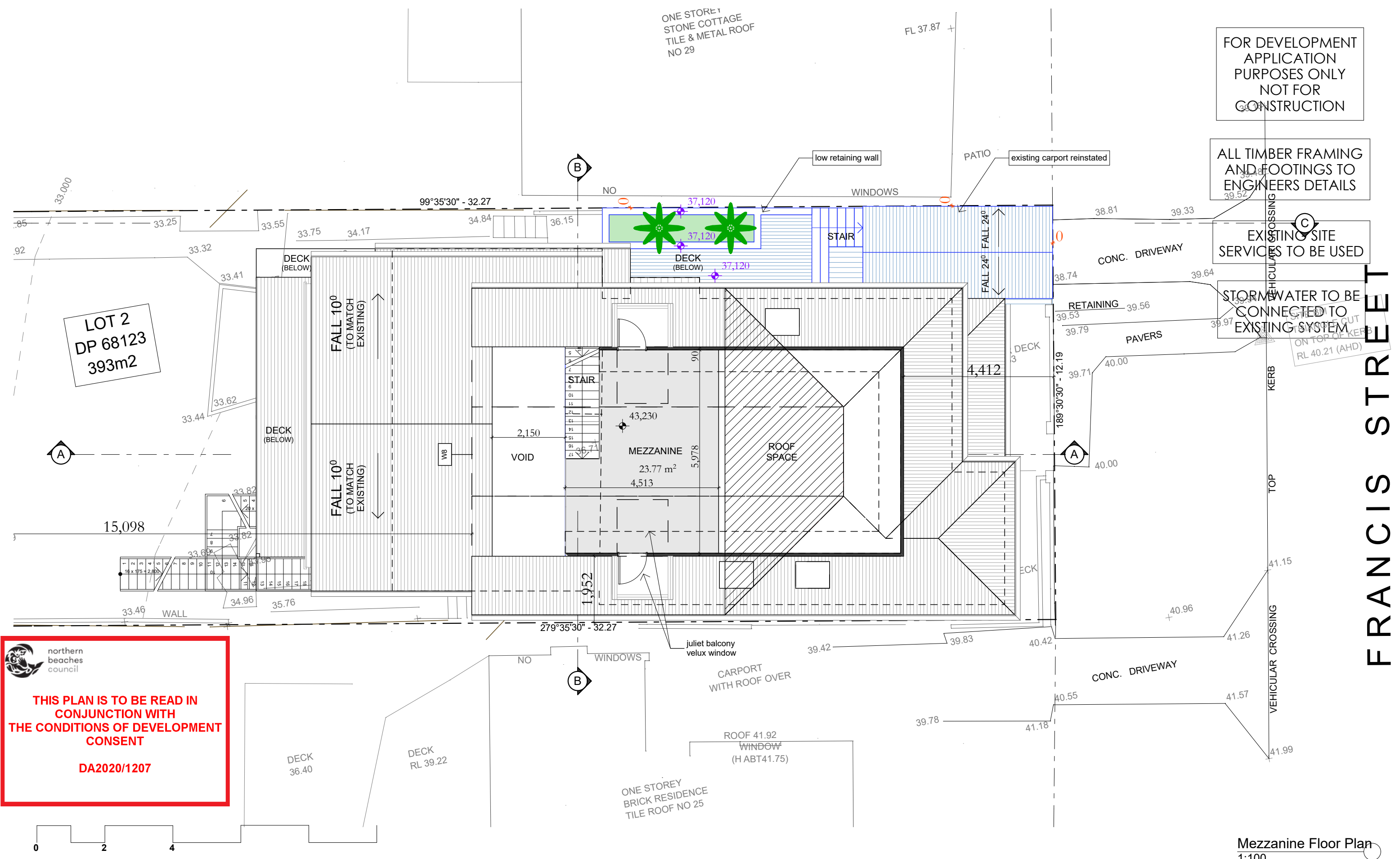
CLIENT: Private



STATUS: DA
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STAGE: DA
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SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1623
ISSUE:

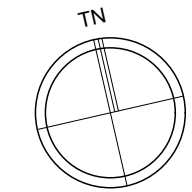


 **northern beaches council**

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Mezzanine Floor Plan
1:100



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REV	DATE	DESCRIPTION

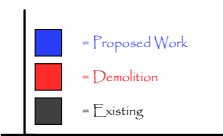
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Additions & Alterations
LOT 2 in DP 68123 - 393m2

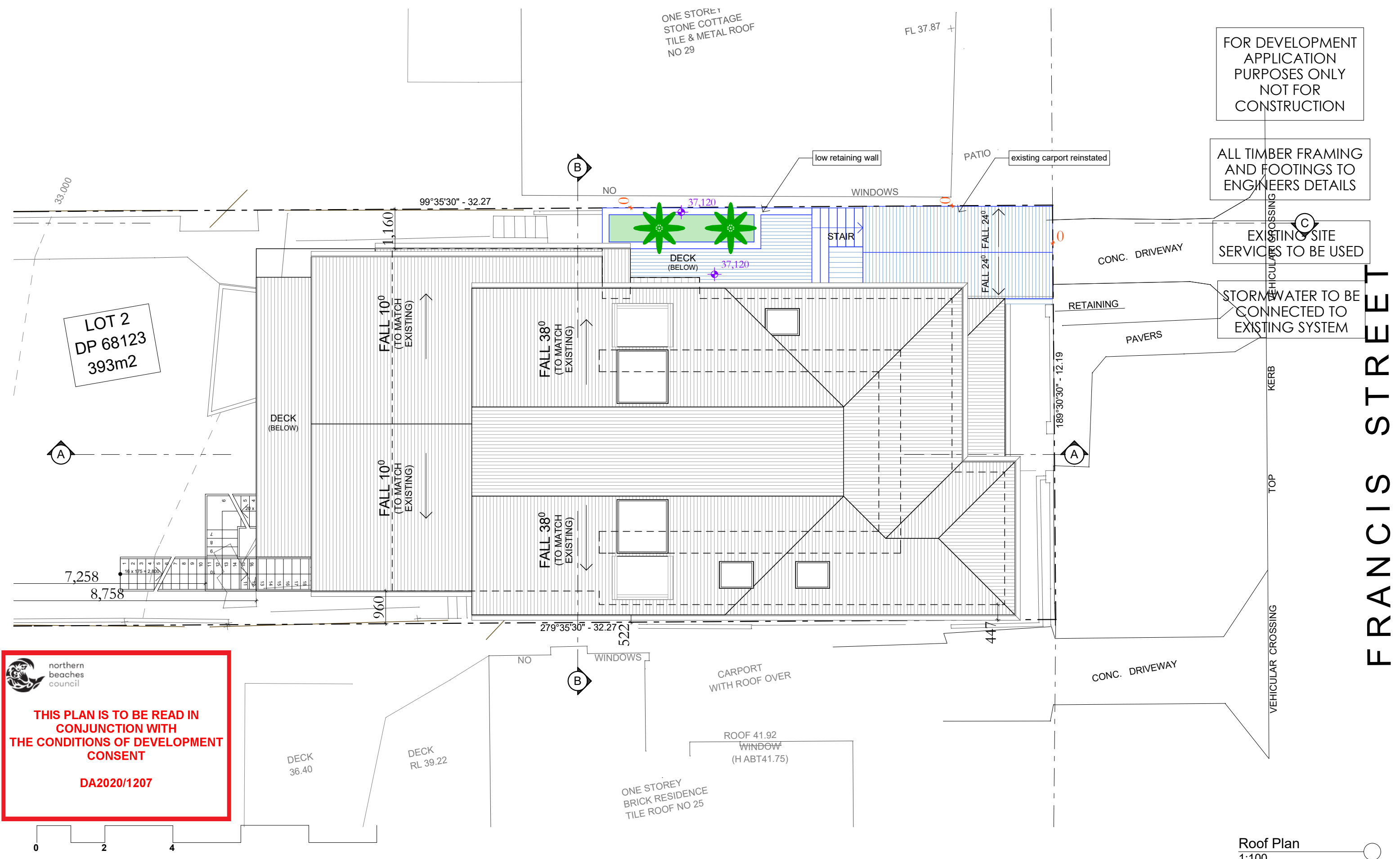
CLIENT: Private



STATUS: DA

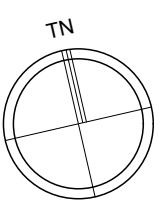
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STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:

DRAWING NO: DA6



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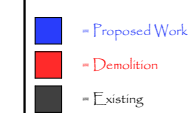
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Additions & Alterations
LOT 2 in DP 68123 - 393m2

CLIENT: Private

 = Proposed Work
= Demolition
= Existing

STATUS: DA
DATE: 111120
STAGE: DA
DRAWING NO: DA7

SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1623
ISSUE:

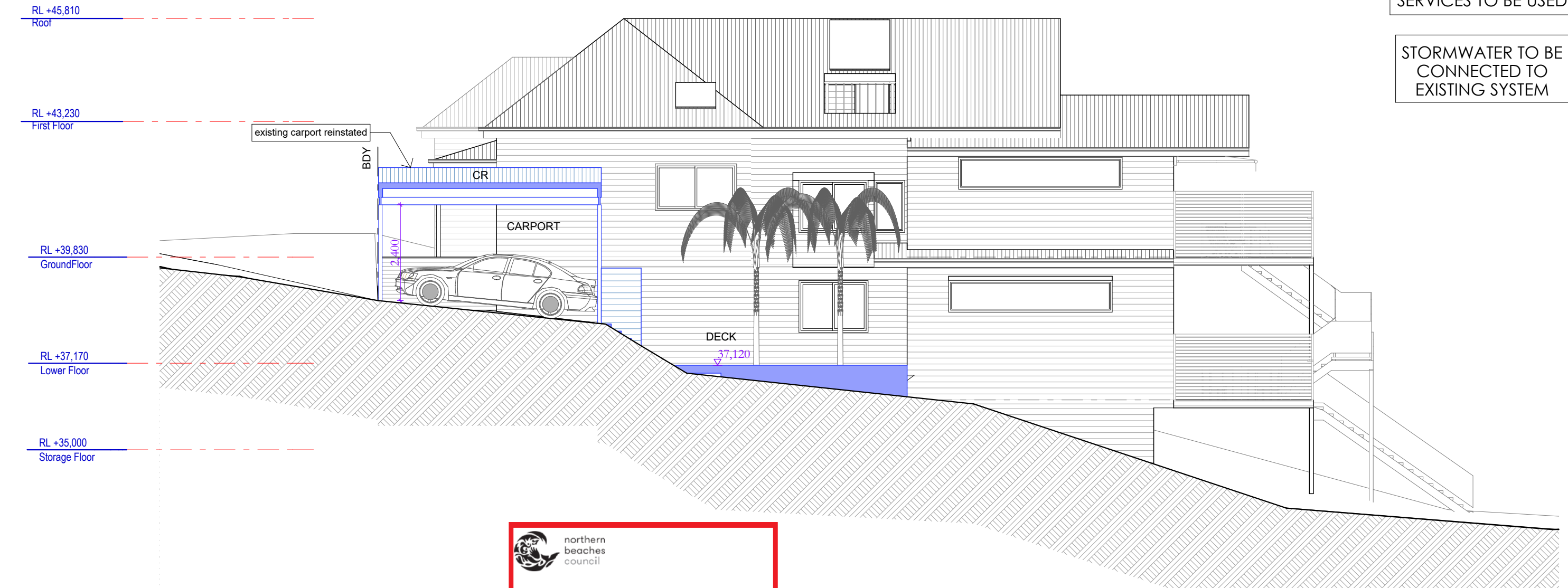
CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



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North Elevation
1:100





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NSW
Additions & Alterations
LOT 2 in DP 68123 - 393m2

CLIENT:
Private

 = Proposed Work
= Demolition
= Existing

STATUS: DA		
DATE: 111120	SCALE: 1:100@A3	PROJECT NUMBER: 1623
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		



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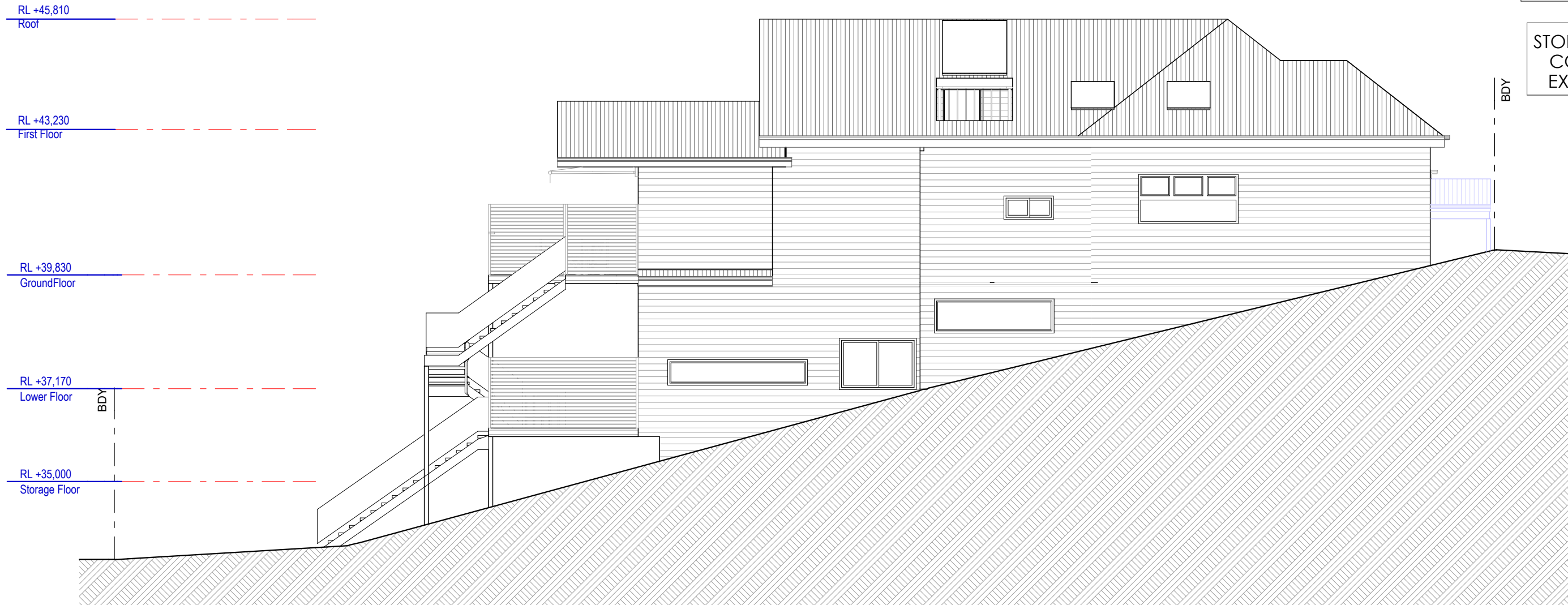
FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM

CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight



South Elevation
1:100



Signature

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CLIENT:
Private

= Proposed Work
= Demolition
= Existing

STATUS: DA		
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STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
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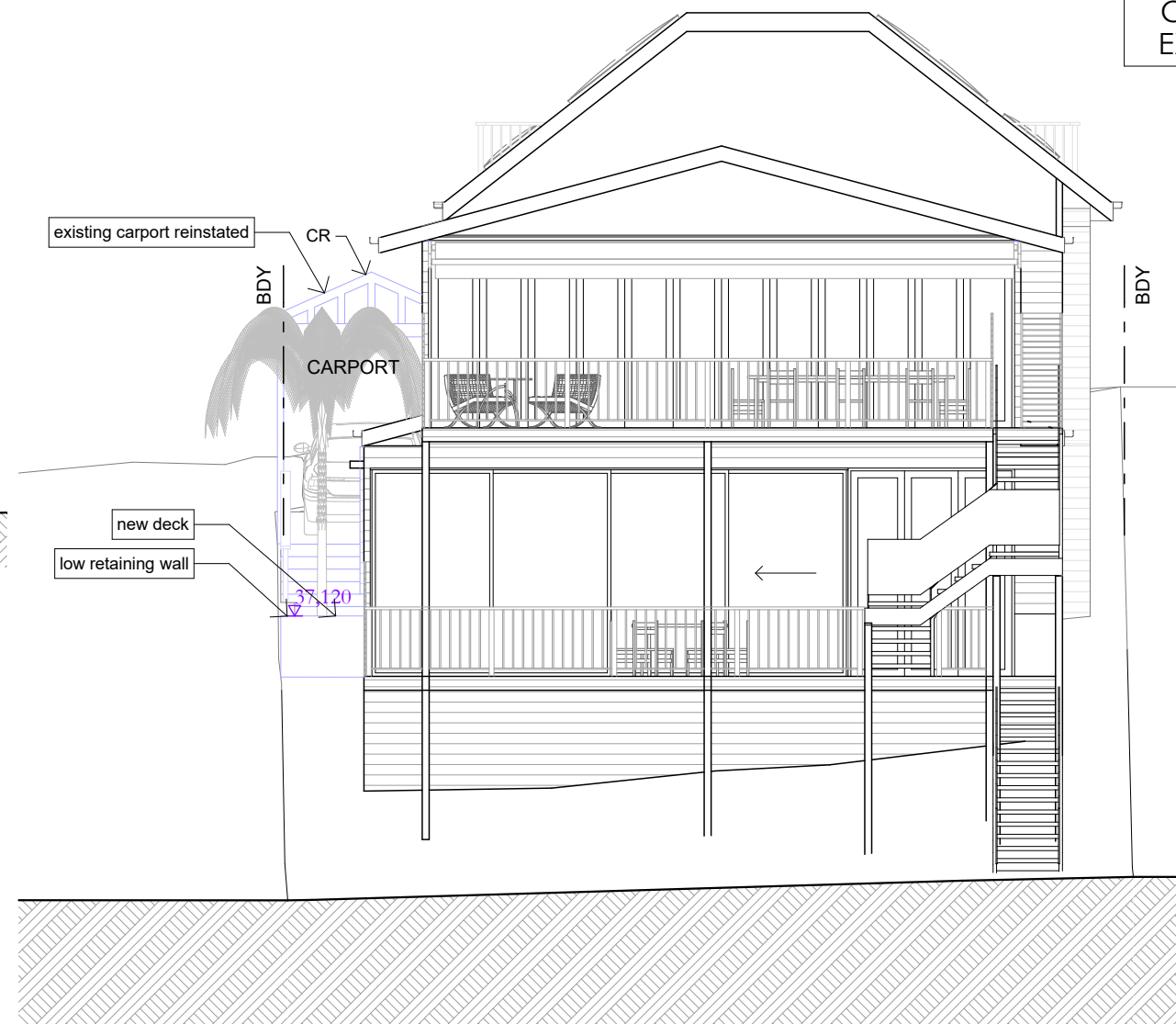
- CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight

FOR DEVELOPMENT
APPLICATION
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ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
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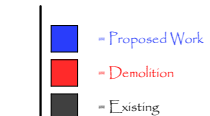
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NSW
Additions & Alterations
LOT 2 in DP 68123 - 393m2

CLIENT:
Private



STATUS: DA		
DATE: 111120	SCALE: 1:100@A3	PROJECT NUMBER: 1623
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA10		

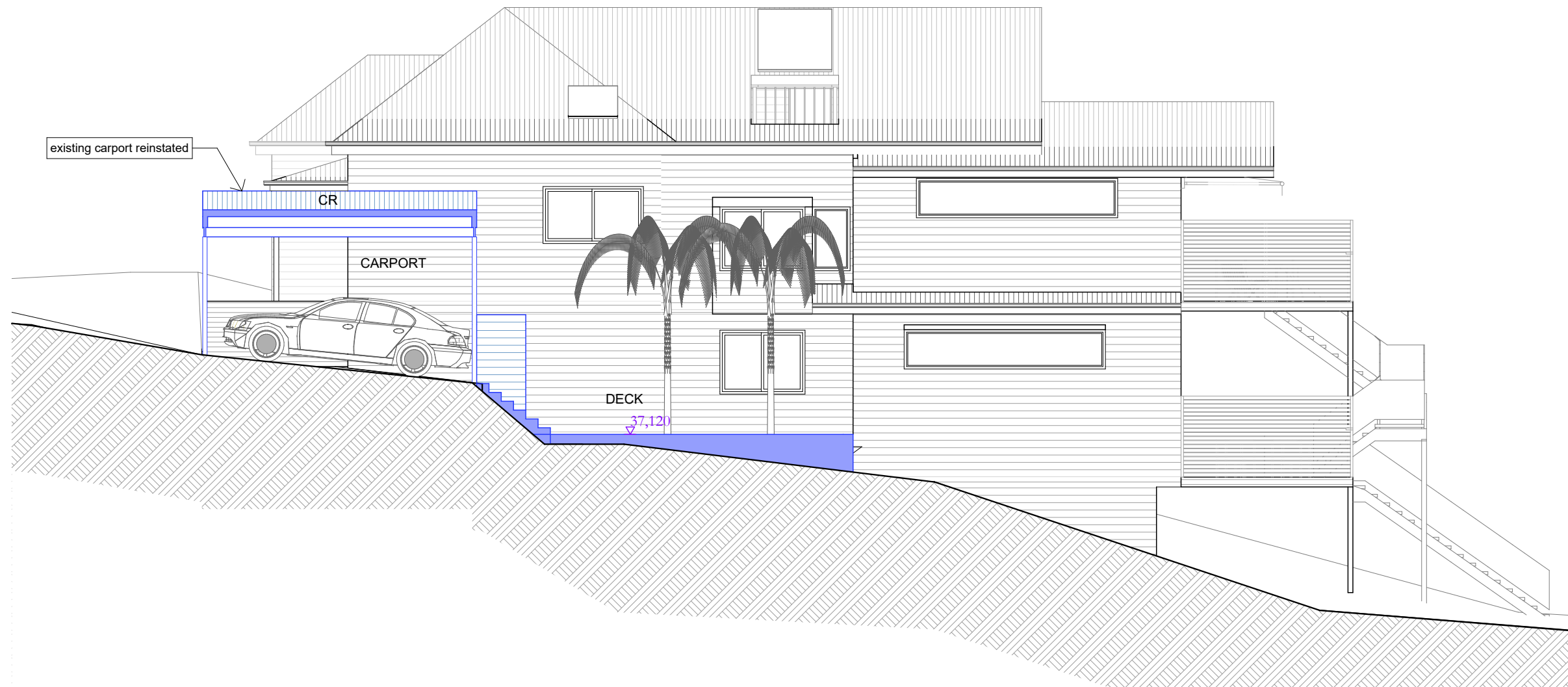
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AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



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CONSENT

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Section C-C
1:100



Signature

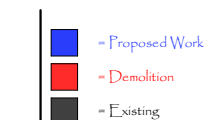
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CLIENT:
Private



STATUS: DA		
DATE: 111120	SCALE: 1:100@A3	PROJECT NUMBER: 1623
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		