

DEVELOPMENT APPLICATION

59 JOHNSON STREET, FRESHWATER NSW

PREPARED ON BEHALF OF:

LISA MUNNINGS

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NORTHERN BEACHES COUNCIL CONTROLS

LOT 12 DP 7312
Parcel formerly in Warringah Local Government
Land Zone: R2 Low Density Residential
Maximum Building Height: 8.5m
Land Slip Risk Map - Area A
DCP - Landscaped Open Space: 40% of site
DCP - Maximum Wall Height: 7.2m
DCP - Building Envelope: 5m

SITE CALCULATIONS

EXISTING AREAS:
GARAGE/STORAGE: 51m²
GROUND FLOOR (not including granny flat): 113m²
GROUND FLOOR ALFRESCO: 16.5m²
GROUND FLOOR FRONT PORCH: 18.5m²
FIRST FLOOR 120m²
FIRST FLOOR ALFRESCO: 16.5m²
FIRST FLOOR BALCONY: 13.5m²
TOTAL: 349m²

PROPOSED AREAS:
CARPORT: 21m²
STUDIO: 26.5m²
GROUND FLOOR (not including granny flat): 130.5m²
GROUND FLOOR ALFRESCO: 40.5m²
GROUND FLOOR FRONT PORCH: 13.5m²
FIRST FLOOR 125m²
FIRST FLOOR ALFRESCO: 28.5m²
FIRST FLOOR BALCONY: 13.5m²
TOTAL: 399m²

LANDSCAPE CALCULATIONS	
EXISTING	PROPOSED
Site Area: 408.40m ² Existing Landscape Area.: 110.8m ² Existing L.O.S: 27.1%	Site Area: 408.40m ² Proposed Landscape Area.: 111.1m ² Proposed L.O.S: 27.2%

emma macindoe
interior design
0413069379 emmamacdsgns@gmail.com

CLIENT
LISA MUNNINGS

TITLE
SITE PLAN & SITE ANALYSIS
ADDRESS
59 JOHNSON STREET, FRESHWATER NSW

GENERAL NOTES
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DRAWING	ISSUE	SCALE
DA01	1.2	1:200 @ A3 1:100 @ A1
	DATE	DRAWN BY
	25/02/2022	F.G.R.

BASIX Certificate Building Sustainability Index www.basix.nsw.gov.au Alterations and Additions Certificate number: DA007	Project details Project name: Munnings AD & AD Street address: 59 Johnson Street Freshwater 2086 Local Government Area: Northern Beaches Council Plan type and number: Proposed Plan 12 Lot number: 7312 Section number: Project type Dwelling type: Separate dwelling house Type of alteration and addition Any new construction is to be included in this certificate, and does not include a pool (or other spa), and does not include a pool (or other spa). Secretary Date of issue: Friday, 25 February 2022 To be valid, this certificate must be signed within 6 months of the date of issue. NSW Planning, Industry & Environment
Description of project Certificate Prepared By (please complete before submitting to Council or PCA) Name (Company Name): Flavio Antonio Gedeles Riveres ABN (Applicable): Nil	

Construction	Shade on DA Plans	Shade on CDOCC Plans & Notes	Certifier Check
Insulation requirements The applicant must ensure the new or altered construction (Roof(s), walls, and ceiling(s)) is in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m ² , (b) insulation specified is not required for parts of related construction where insulation already exists.			
Construction concrete slab on ground floor floor above existing dwelling or building external wall: framed (weatherboard, fibre, metal clad) flat ceiling: pitched roof		Additional insulation required (R-value) R1.30 (or R1.70 including construction) R1.30 (or R1.70 including construction) ceiling: R1.75 (slab), roof: full/blanketing	

Glazing requirements	Shade on DA Plans	Shade on CDOCC Plans & Notes	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant non-residential specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or cyclonic low-e glass, or clear/air gas/air glass, or laminated glass/air glass must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that shown in the table below. Total SHGC or SHGC must be calculated in accordance with National Performance Rating Council (NPRC) conditions. The descriptor is provided for information only. Alternative systems with comparable U-value and SHGC may be substituted. For projections (excluding in recesses), the leading edge of each awning, pergola, verandah, balcony or verandah must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill. For projections (excluding in recesses), the ratio of the projection from the wall to the height above the window or glazed door must be at least 0.35. Pergolas with fixed louvers must have louvers parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between louvers must not be more than 50 mm. Pergolas with adjustable shading may have adjustable shades or removable shade cloth (not less than 80% shading slats). Adjustable shades must operate in open view. Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'Overhanging buildings' column in the table below.			
Window and glazed doors glazing requirements			
Window / door Orientation Area of glazing (m ²) Overhanging buildings (m) Height (m) Distance (m) Shading device Frame and glass type			
W101 S 2.15 0 0 awning/pergola/verandah balcony			
W102 S 1.4 0 0 awning/pergola/verandah balcony			
W103 W 0.38 0 0 none			

Glazing requirements	Shade on DA Plans	Shade on CDOCC Plans & Notes	Certifier Check
Window / door Orientation Area of glazing (m²) Overhanging buildings (m) Height (m) Distance (m) Shading device Frame and glass type			
W104 S 3.15 0 0 awning/pergola/verandah balcony			
W105 W 0.38 0 0 none			
W106 W 0.83 0 0 none			
W107 W 0.83 2.75 2.5 none			
W108 W 0.83 2.75 2.5 none			
W109 N 7.12 0 0 none			
W110 N 3.39 0 0 none			
W111 F 3.37 0 0 none			
W112 E 2.32 0 0 none			
W113 S 1.4 0 0 none			
W114 S 1.4 0 0 none			
W115 W 0.38 0 0 none			
W116 W 1.43 5.7 2.5 none			

Glazing requirements	Shade on DA Plans	Shade on CDOCC Plans & Notes	Certifier Check
Window / door Orientation Area of glazing (m²) Overhanging buildings (m) Height (m) Distance (m) Shading device Frame and glass type			
W107 N 1.52 0 0 awning/pergola/verandah balcony			
W108 N 3.4 2.4 2.5 none			
W109 E 1.56 3.6 2 none			
W110 E 1.56 3.6 2 none			
W111 E 2.42 3.6 2 none			

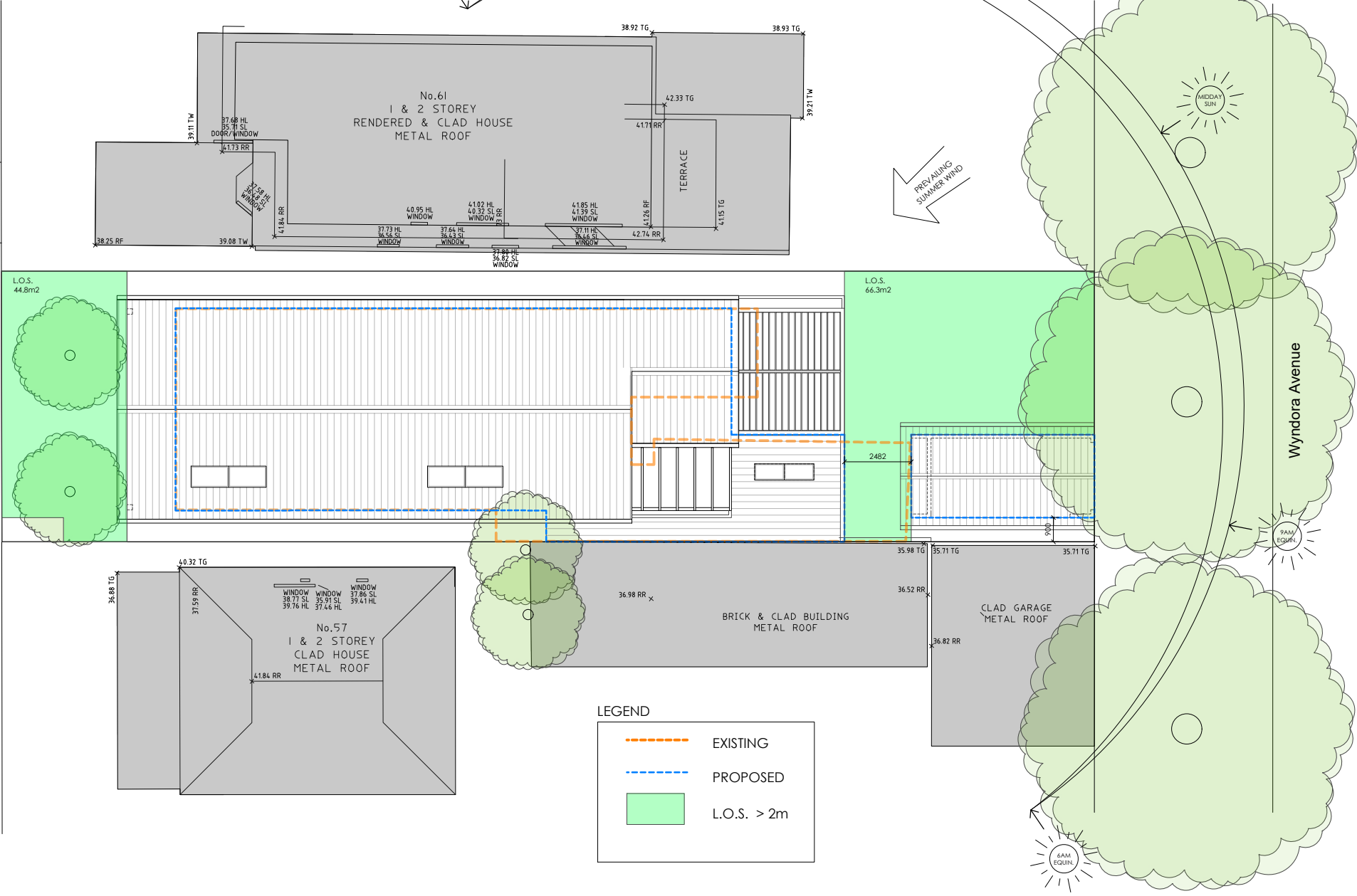
Shading
The applicant must install the shading in accordance with the specifications listed in the table below.
The following requirements must also be satisfied in relation to each shading:
Each shading may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Shading number	Area of shading (m ²)	Shading device	Frame and glass type
S1	2.15	no shading	single or double glazing, double external, (or U-value: 2.5, SHGC: 0.46)
S2	2.15	no shading	single or double glazing, double external, (or U-value: 2.5, SHGC: 0.46)

BASIX Certificate number: DA007	Shade on DA Plans	Shade on CDOCC Plans & Notes	Certifier Check
Glazing requirements			
Window / door Orientation Area of glazing (m ²) Overhanging buildings (m) Height (m) Distance (m) Shading device Frame and glass type			
W107 N 1.52 0 0 awning/pergola/verandah balcony			
W108 N 3.4 2.4 2.5 none			
W109 E 1.56 3.6 2 none			
W110 E 1.56 3.6 2 none			
W111 E 2.42 3.6 2 none			

Legend
In these commitments, "Applicant" means the person carrying out the development.
Commitments identified with a "Y" in the "Show on DA Plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "Y" in the "Show on CDOCC plans & notes" column must be shown in the plans and specifications accompanying the application for a construction certificate, or a construction certificate for the proposed development.
Commitments identified with a "Y" in the "Shading check" column must be certified by a certifying authority, as having been fulfilled, before a final occupation certificate for the development may be issued.

Johnson Street



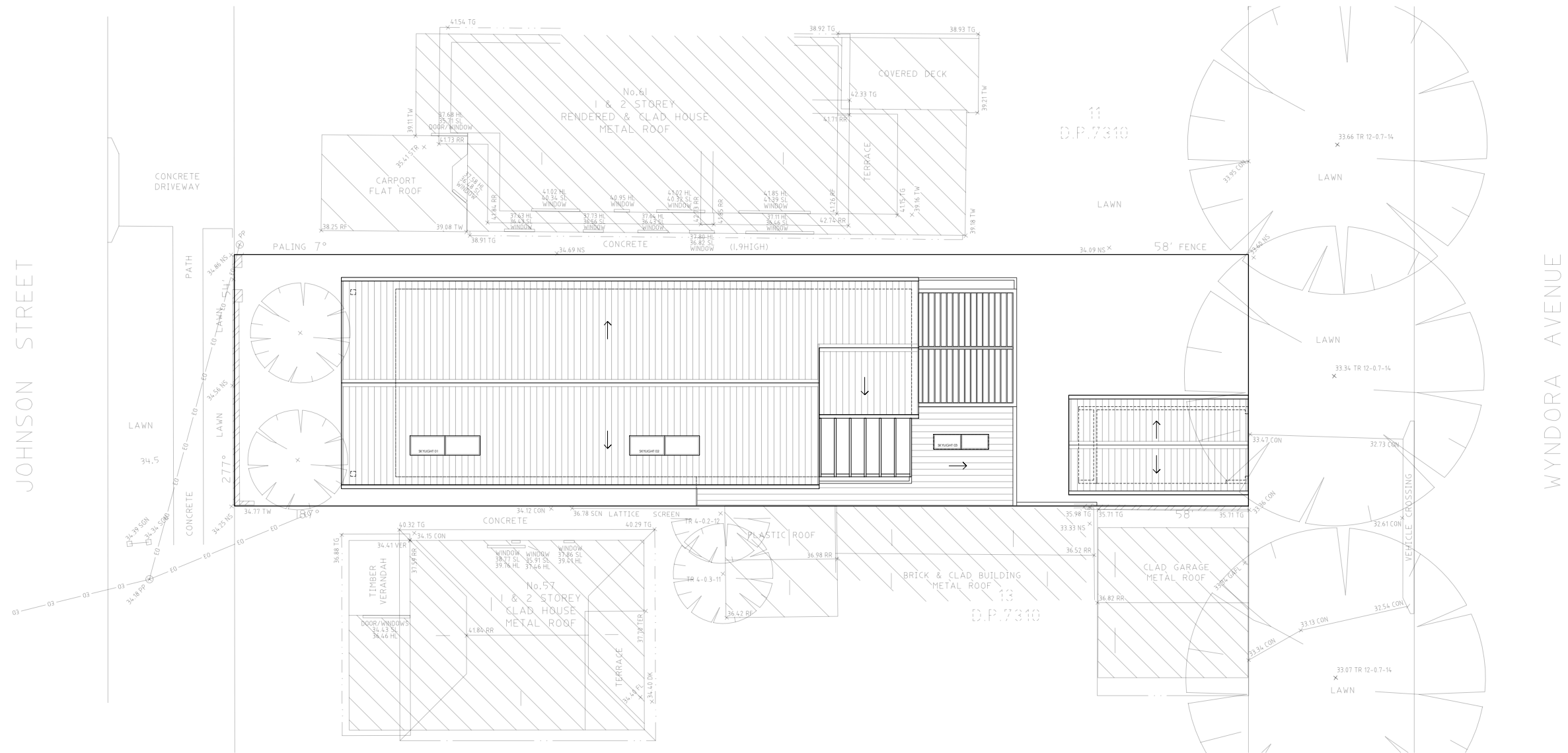
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CONSENT

DA2022/0341

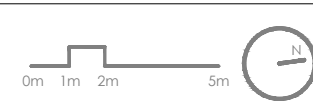


emma macindoe
interior design
0413069379 emmamacdesigns@gmail.com

CLIENT
LISA MUNNINGS

TITLE
PROPOSED ROOF PLAN
ADDRESS
59 JOHNSON STREET, FRESHWATER NSW

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DRAWING
DA03

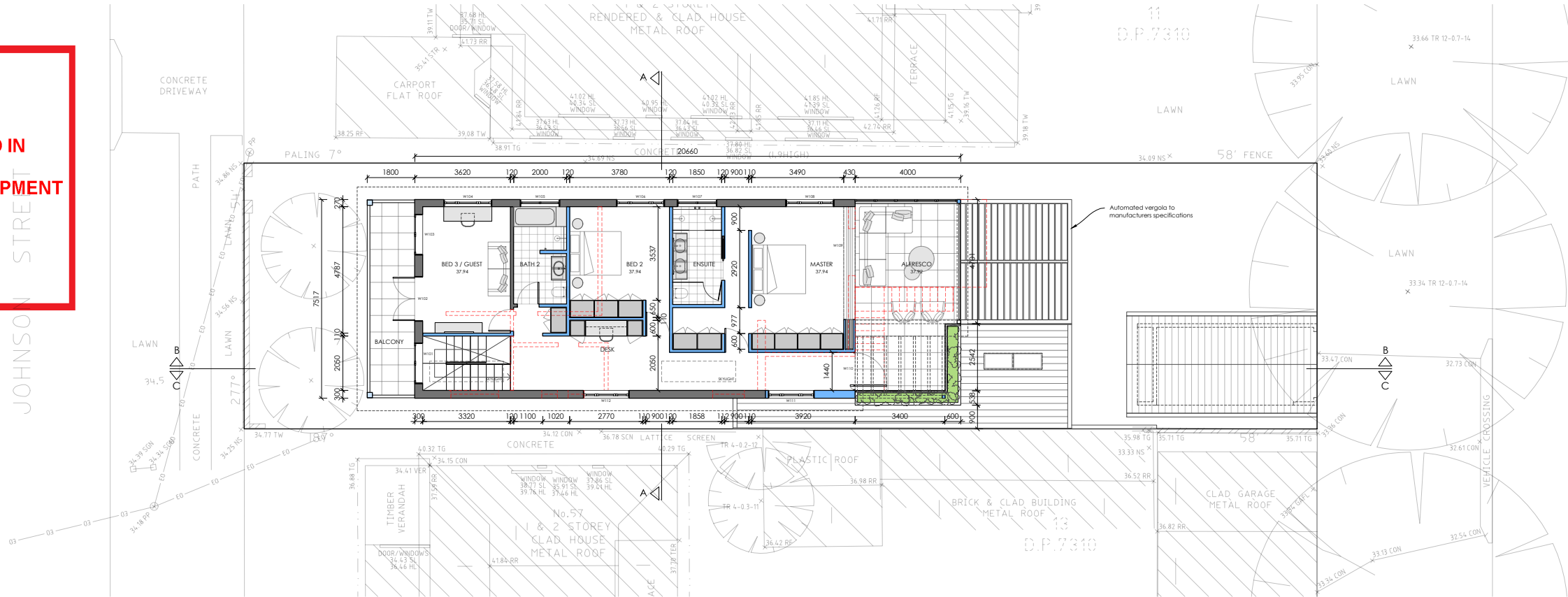
ISSUE
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DATE
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1:100 @ A1
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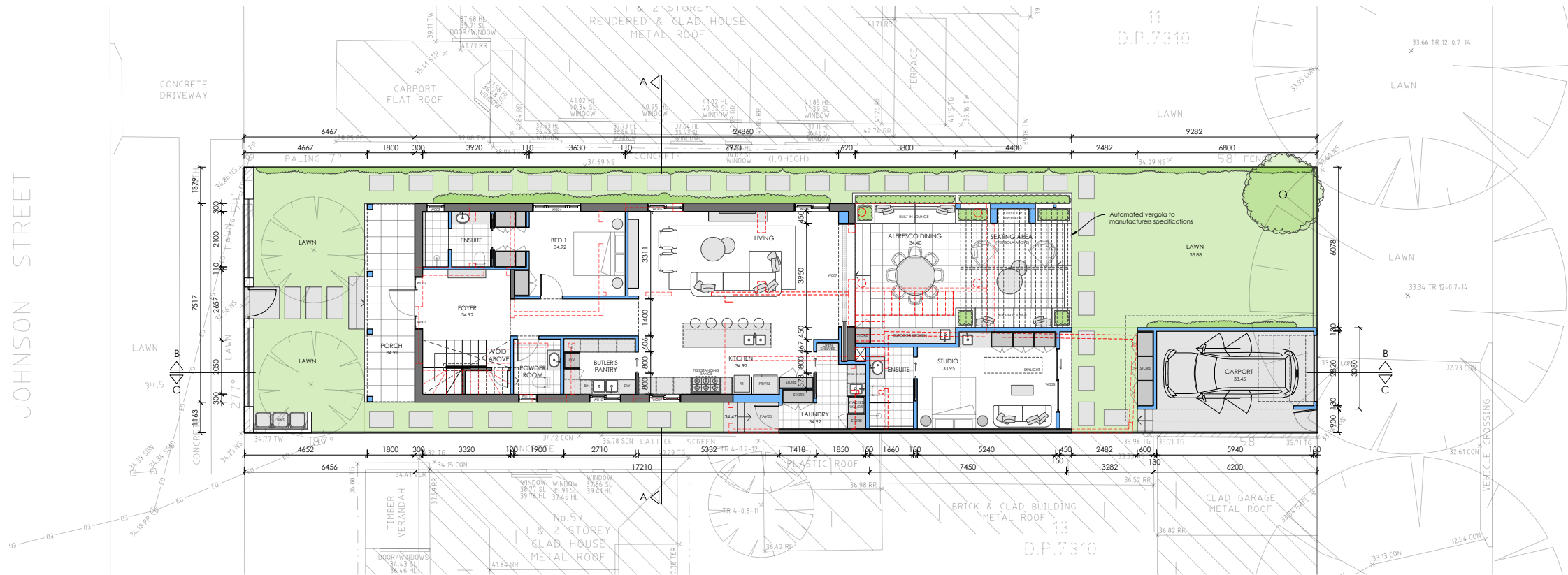
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FIRST FLOOR PLAN



GROUND FLOOR PLAN

LEGEND	
	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

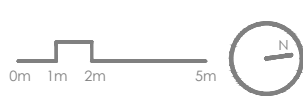
emma macindoe
interior design
0413069379 emmamacdsgns@gmail.com

CLIENT
LISA MUNNINGS

TITLE
PROPOSED FLOOR PLAN AND LANDSCAPE PLAN

ADDRESS
59 JOHNSON STREET, FRESHWATER NSW

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DRAWING
DA04

ISSUE
1.2

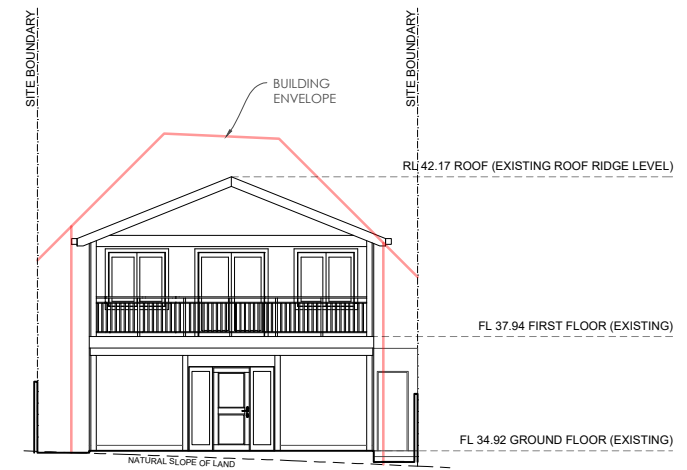
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1:100 @ A1

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SOUTH ELEVATION (STREET VIEW - JOHNSON STREET)



SOUTH ELEVATION

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NORTH ELEVATION (STREET VIEW - WYNDORA AVENUE)



LEGEND		
	EXISTING WALLS TO BE RETAINED	
	PROPOSED NEW WALLS	
	EXISTING WALLS TO BE DEMOLISHED	

emma macindoe
interior design
0413069379 emmamacdesigns@gmail.com

CLIENT
LISA MUNNINGS

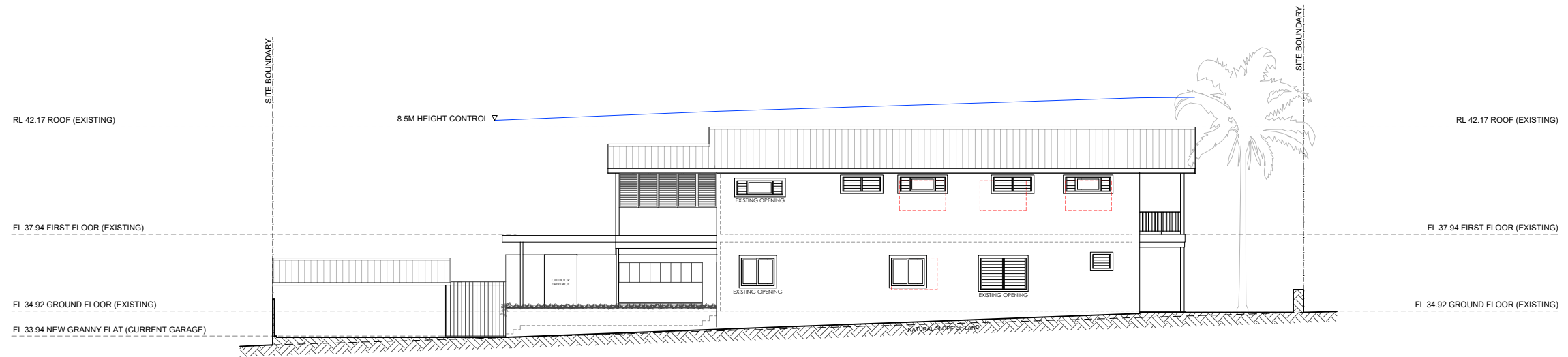
TITLE
PROPOSED ELEVATIONS

ADDRESS
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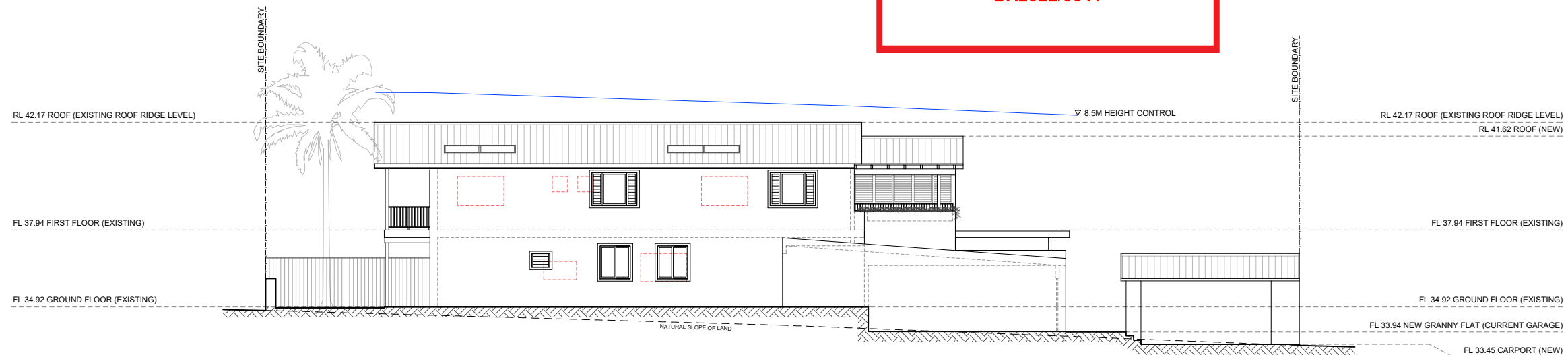


WEST ELEVATION

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EAST ELEVATION

LEGEND	
	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

emma macindoe
interior design
0413069379 emmamacdesigns@gmail.com

CLIENT
LISA MUNNINGS

TITLE
PROPOSED ELEVATIONS

ADDRESS
59 JOHNSON STREET, FRESHWATER NSW

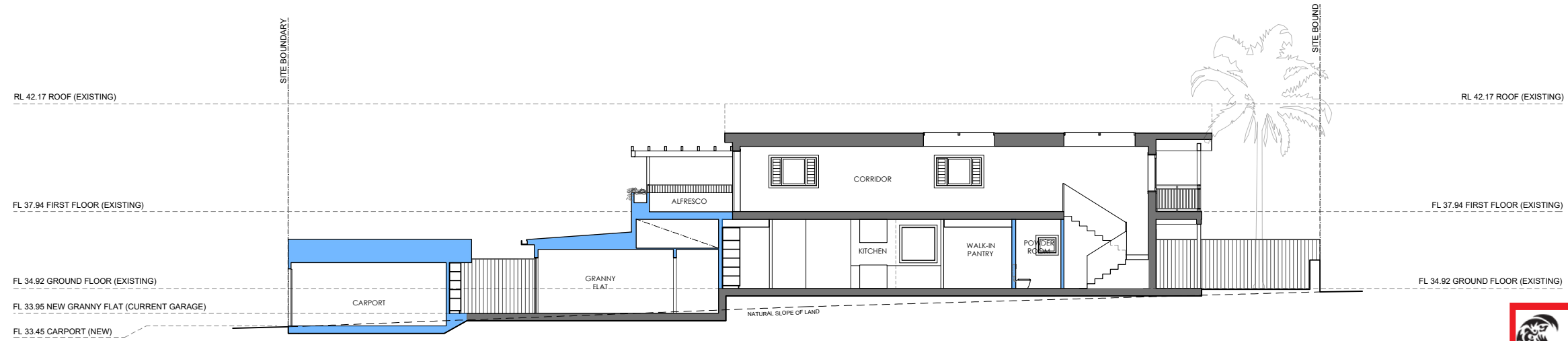
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DRAWING
DA06

ISSUE 1.2
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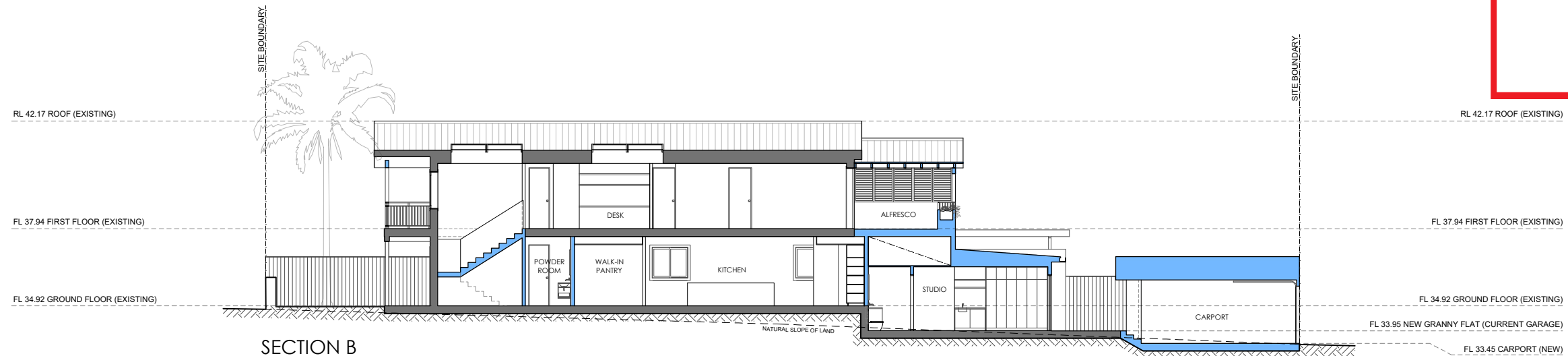


SECTION C

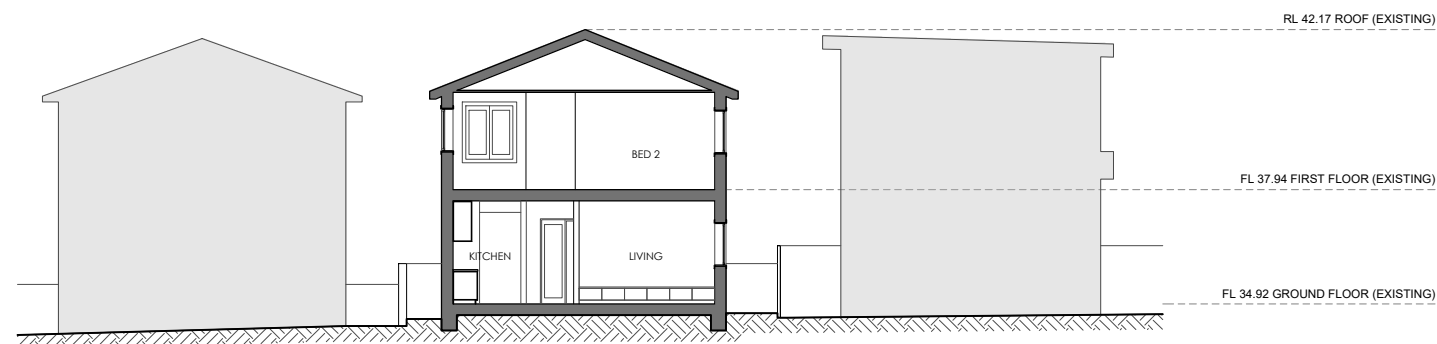
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SECTION B



SECTION A

LEGEND	
	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

emma macindoe
interior design
0413069379 emmamacdesigns@gmail.com

CLIENT
LISA MUNNINGS

TITLE
PROPOSED SECTIONS

ADDRESS
59 JOHNSON STREET, FRESHWATER NSW

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