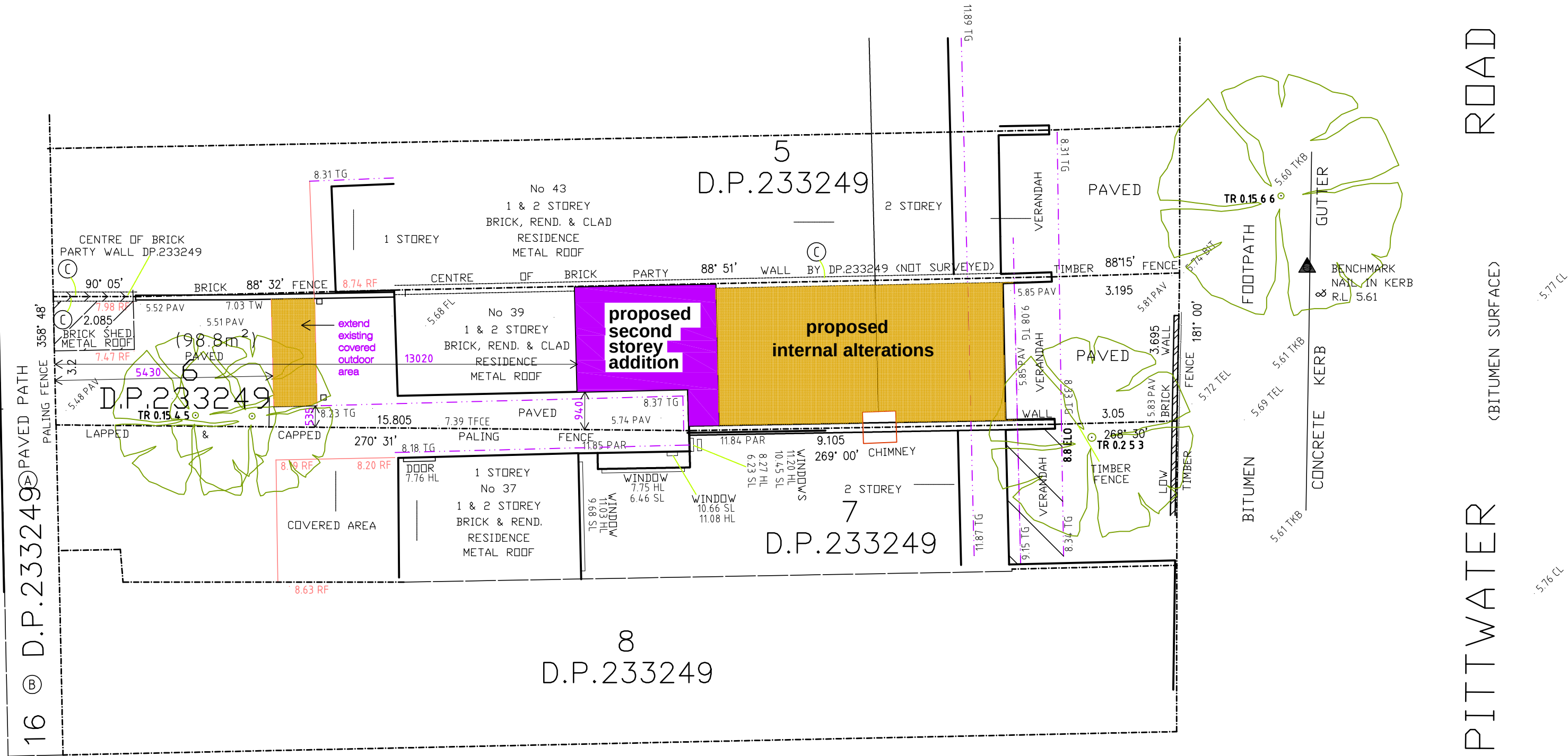


9
D.P.233249

No 26
(DENISON STREET)
RENDERED RESIDENCE
METAL ROOF



Approx. True North
Magnetic North (D.P.233249)

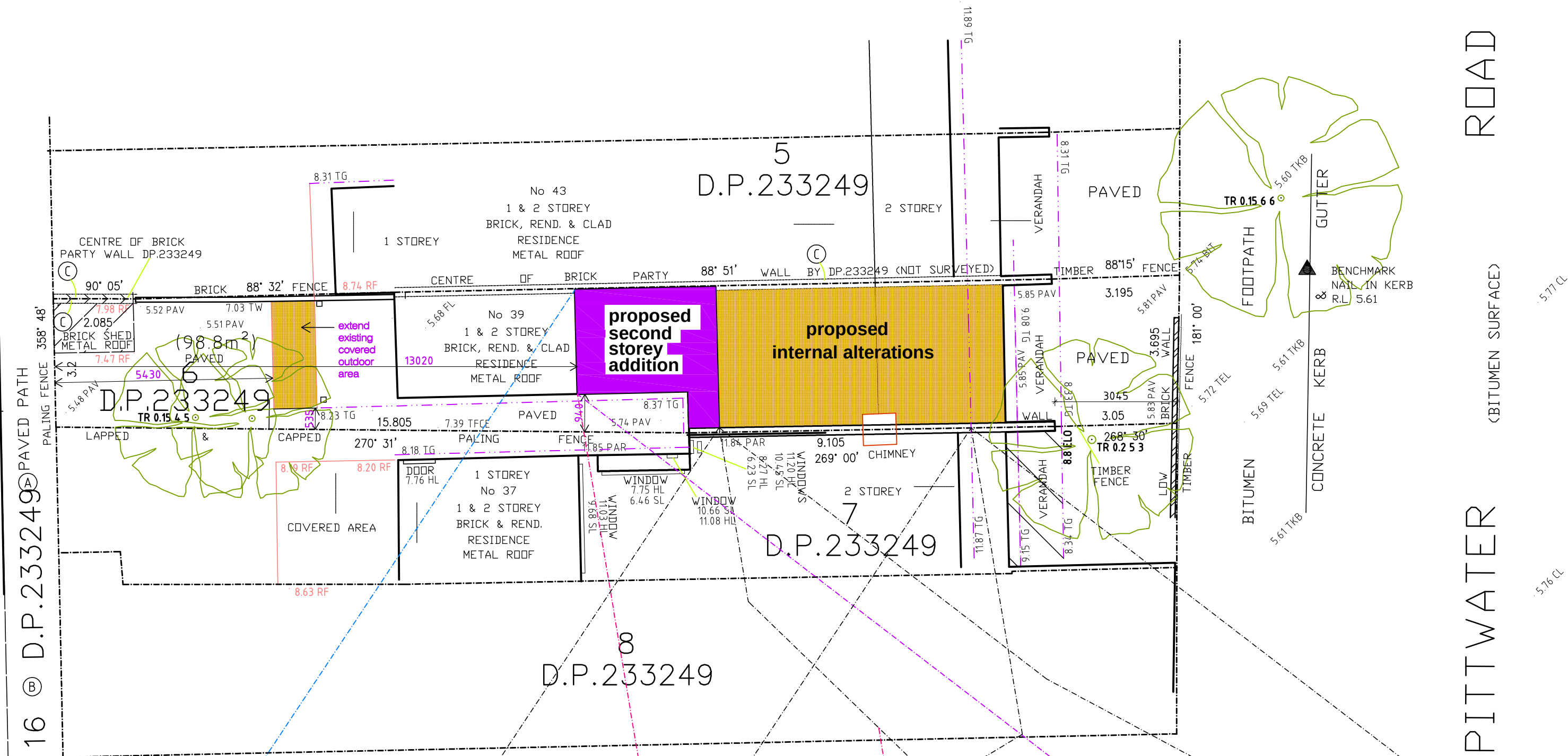
DENISON STREET

SITE AND SITE ANALYSIS PLAN

SCALE 1:100

9
D.P.233249

No 26
(DENISON STREET)
RENDERED RESIDENCE
METAL ROOF



Approx. True North
Magnetic North (D.P.233249)

DENISON STREET

SHADOW DIAGRAM

SCALE 1:100

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/0659

SHADOW DIAGRAM - JUNE 21		
TIME	AZIMUTH	ALTITUDE
9 am	43° NE	18°
12 noon	0° N	32°
3 pm	43° NW	18°

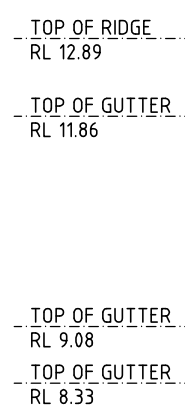
AMENDED 5.6.20

1. BUILD TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWING.
2. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES, SETBACKS AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
3. ALL WORK TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & TO THE SATISFACTION OF LOCAL COUNCIL REQUIREMENTS.
4. ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE TO TIMBER FRAMING CODE.
5. ROOF WATER & SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS A DIRECTED BY LOCAL COUNCIL.
6. ALL ELECTRICAL POWER & LIGHT OUTLETS TO BE DETERMINED BY OWNER.
7. MAKE GOOD AND REPAIR ALL EXISTING FINISHES DAMAGED BY NEW WORK. REUSE EXISTING MATERIAL WHERE POSSIBLE.
8. ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
9. COPYRIGHT OF ALL PLANS BELONGS TO 'HIGH DESIGN' - Architectural Design

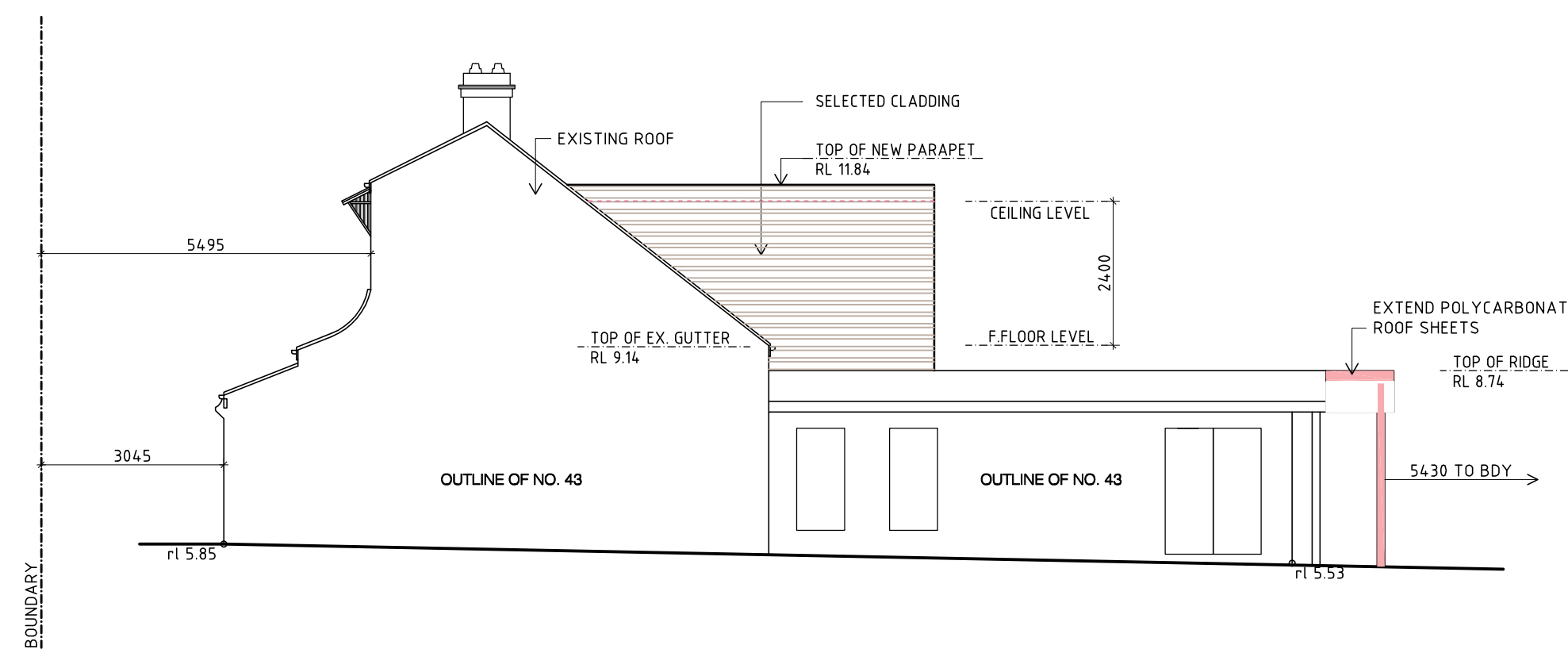
PROJECT ADDRESS:
39 Pittwater Road
Manly
CLIENT:
Alex Korolov
January, 2019
DRAWN BY:
B. V.
DRAWING No.
2-2 807 19 - 1

 HIGH DESIGN

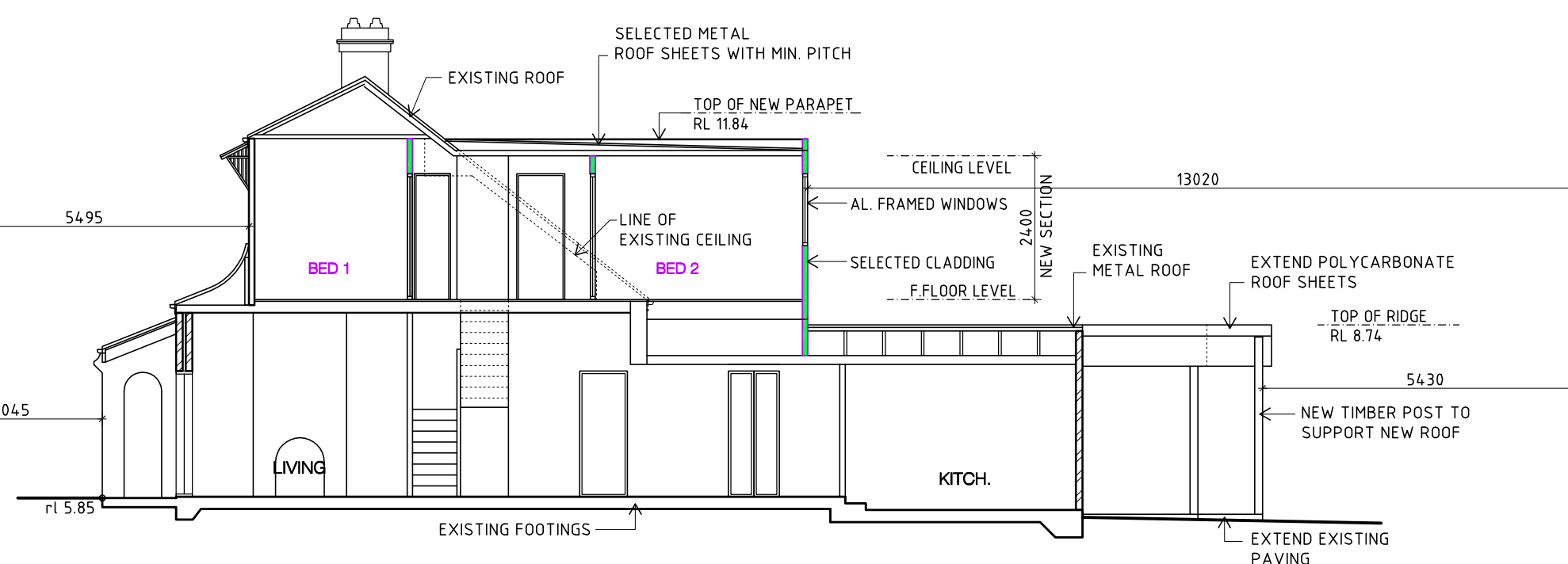
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mobile : 041 3389 036 fax : 9981 55 56
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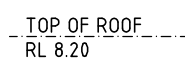
EAST ELEVATION
SCALE 1:100



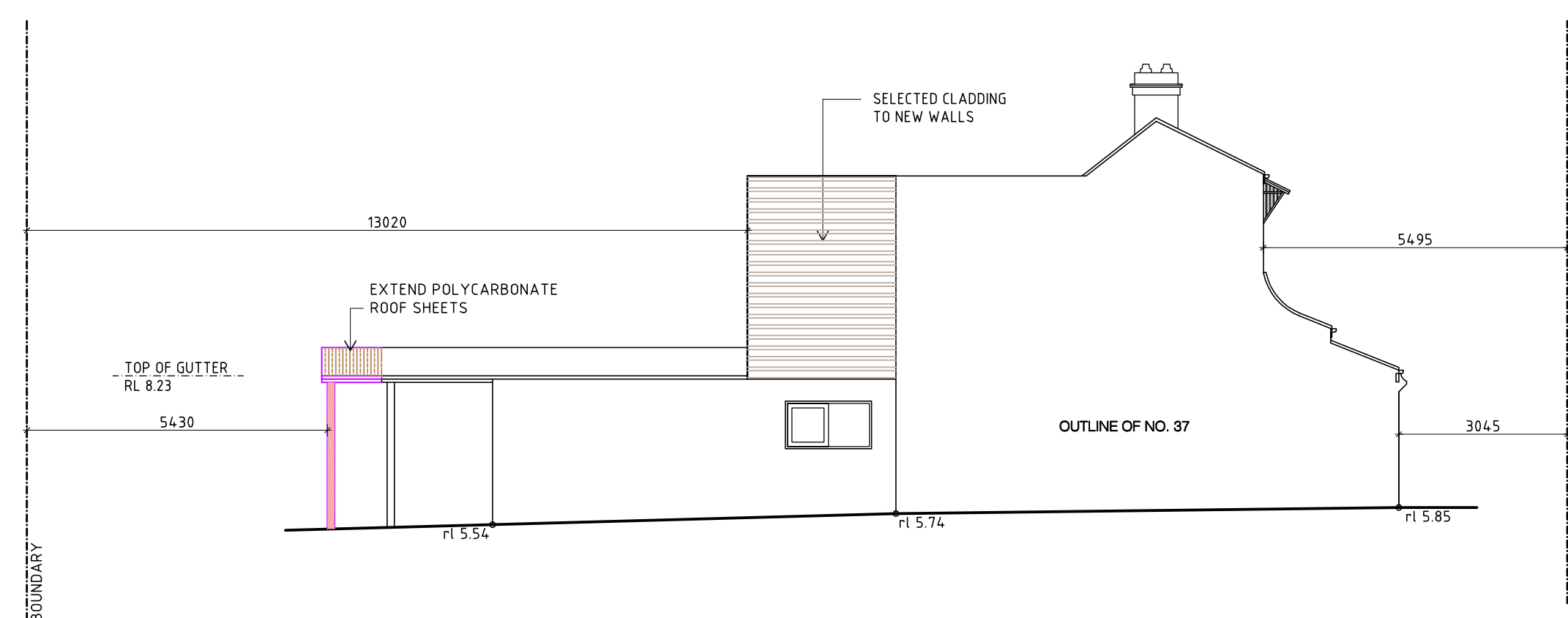
NORTH ELEVATION
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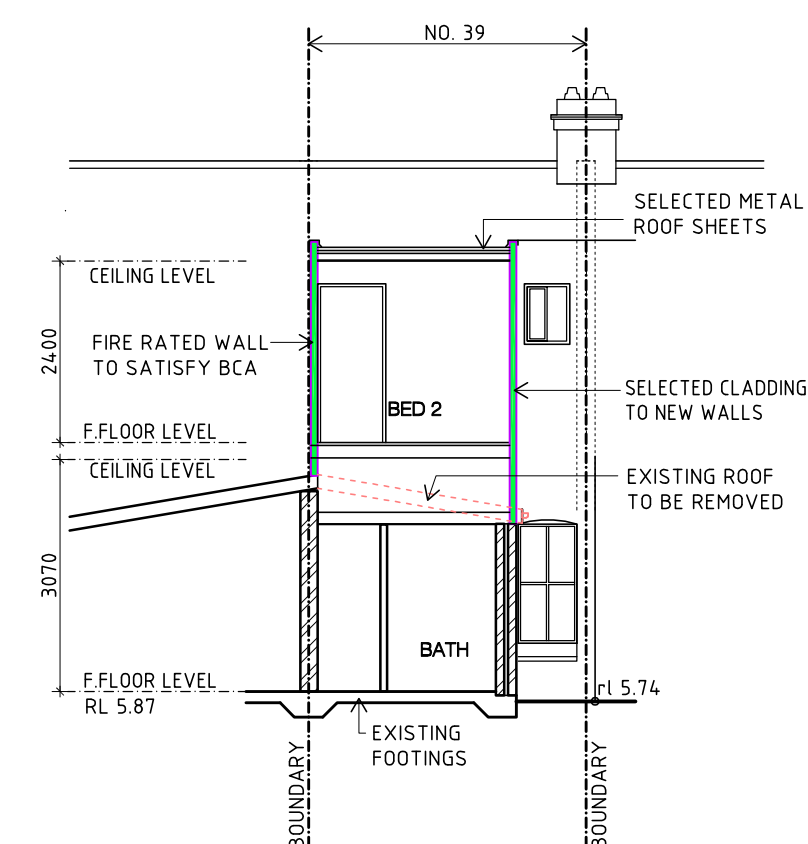
SECTION A-A
SCALE 1:100



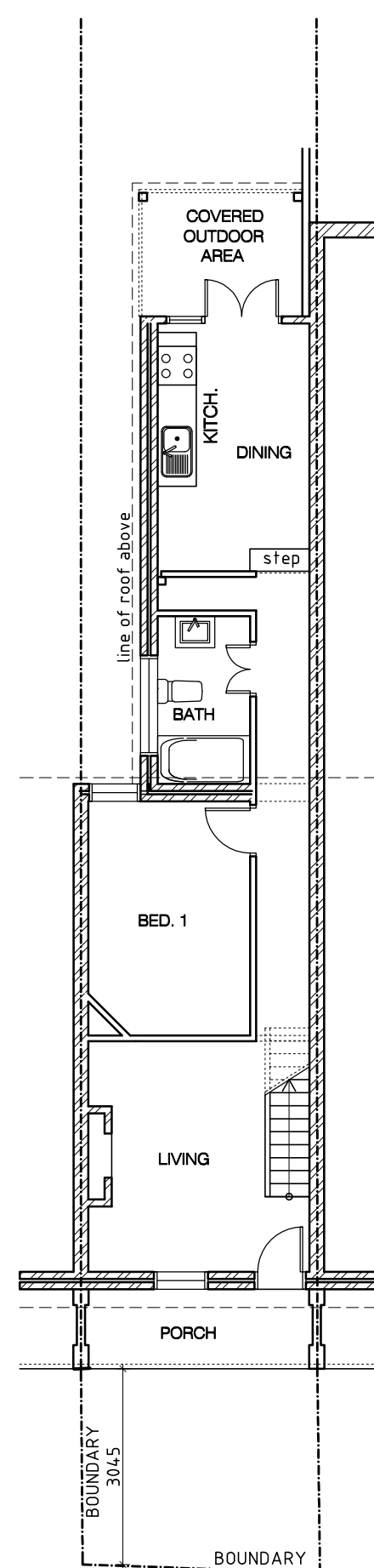
WEST ELEVATION
SCALE 1:100



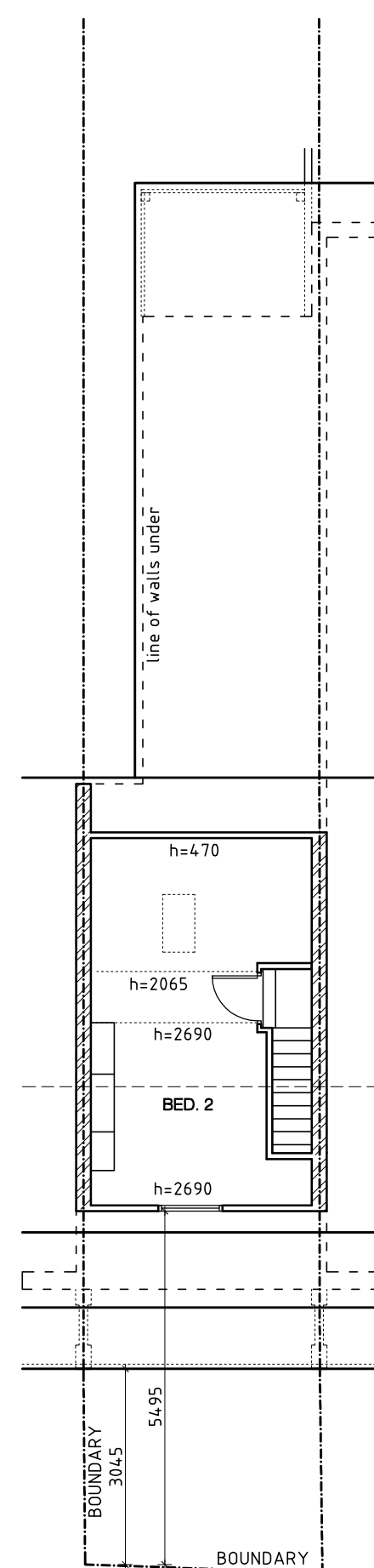
SOUTH ELEVATION
SCALE 1:100



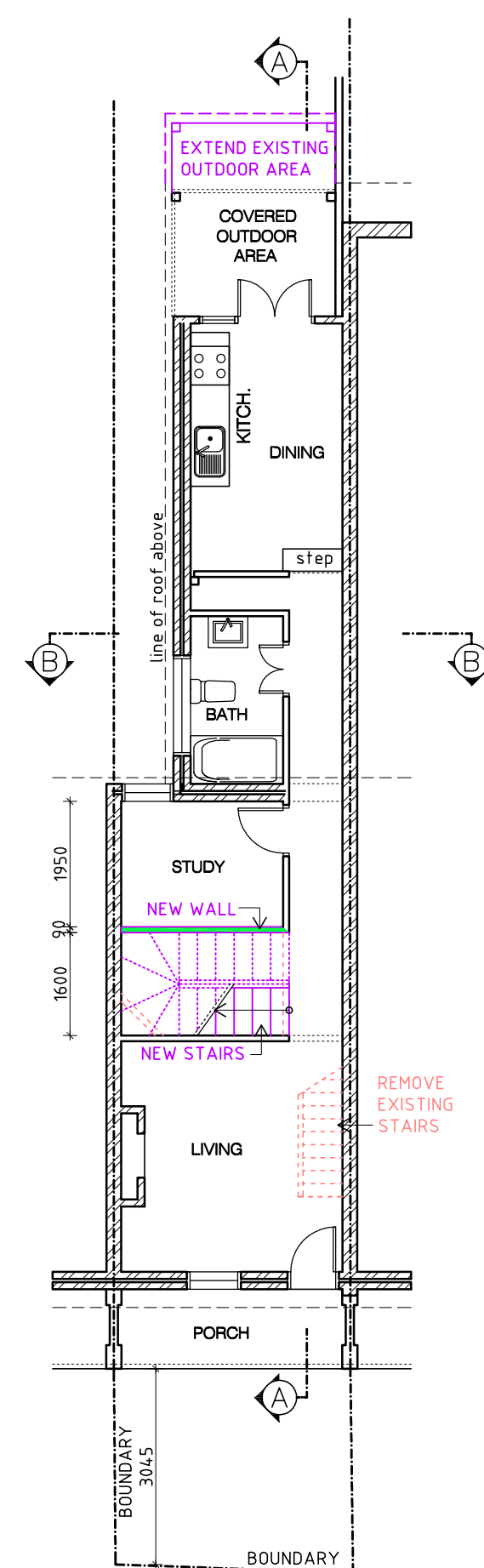
SECTION B-B
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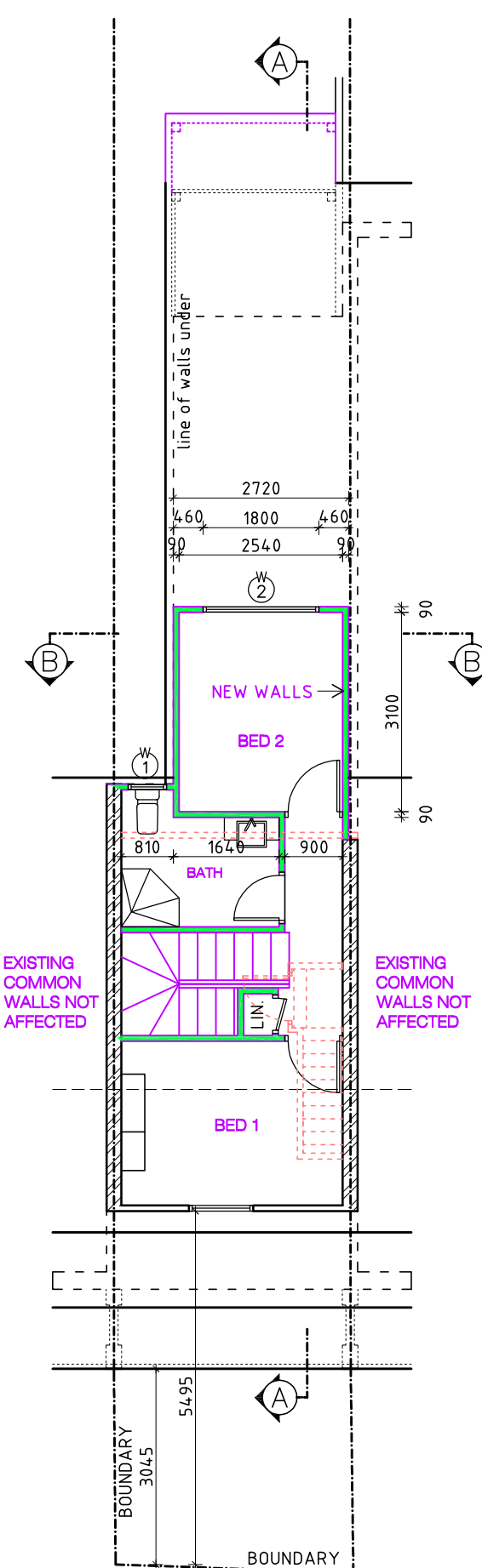
EXISTING GROUND FLOOR PLAN
SCALE 1:100



EXISTING FIRST FLOOR PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



**northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0659

site area	98.8 sqm
existing floor area	41 sqm
proposed floor area	22.5 sqm
total floor area	63.5 sqm
landscape area	21 sqm

AMENDED 5.6.20

PROJECT ADDRESS: 39 Pittwater Road Manly	January, 2019
	DRAWN BY: B. V.
CLIENT: Alex Korolkov	DRAWING No. 2-2 807 19 - 1



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