

Alex: Cook: \$262.00



Council@warringah.nsw.gov.au

Application for Street Levels

Made under the Roads Act 1993 (Section 138)

Address the application to:

- ☒ The General Manager
Warringah Council
Civic Centre, 725 Pittwater Road
Dee Why NSW 2099

Or

- ☒ Customer Service Centre
Warringah Council
DX 9118 Dee Why

If you need help lodging your application:

- ☒ Phone our Customer Service Centre
on (02) 9942 2111

Or

- ☒ Come in and talk to us

Office Use Only

SL2014/0179
RN100232910

Oct 2013

For applicable fees and charges, please refer to Council's website: www.warringah.nsw.gov.au or contact our Customer Service Centre

Privacy and Personal Information Protection Notice

The personal information requested in this form is required by or under the Roads Act 1993 (Section 138) and will only be used by Warringah Council in connection with the requirements of that Act and any other relevantly applicable legislation relating to the subject-matter of this application. The information is being collected for the following purposes, namely, to enable us to (1) process and determine your application, (2) contact you in relation to your application should that be necessary, and (3) keep the public informed by making the application publicly accessible. If you do not provide the information, Council will not be able to process your application, and Council may even have the right to reject your application.

Your application will be available to Councillors and Council Officers. Members of the public have certain rights of access to information and documents held by Council under the Government Information (Public Access) Act 2009 (GIPA), and under the Privacy Information Protection Act 1998 (NSW) to the extent permitted by those Acts.

Warringah Council is to be regarded as the agency that holds the information, which will be stored on Council's records management system or in archives and may be displayed on eServices (except as regards to personal particulars). You have a right to access information within the meaning of the Privacy and Personal Information Protection Act 1998 (NSW) on application to Council, and to have that information updated or corrected as necessary. Please contact Warringah Council if the information you have provided is incorrect or changes or if access is otherwise sought to the information. In addition, a person may request that any material that is available (or is to be made available) for public inspection by or under the Local Government Act 1993 (NSW) be prepared or amended so as to omit or remove any matter that would disclose or discloses the person's place of living if the person considers that the disclosure would place or places the personal safety of the person or of members of the person's family at risk. Any such request must be made to Council's General Manager see s 739 of the Local Government Act 1993 (NSW).

PART 1 Subject Land

Subject land

Residential



Industrial



Multi-residential



Please tick a box

Address

19 Lancaster Crescent
Collaroy

Postcode 2097

Development application number (if applicable)

DA 2013/0593

PART 2 Applicant Details

Applicant details

It is important that we are able to contact you if we need more information

Please give us as much detail as possible

Mr ☒ Mrs ☒ Ms ☐ Other ☐

Full family name (no initials) (or company)

CRUMLIN

Full given names (no initials) (or A C N)

Gail & Padraig

Postal address

We will post all letters to this address

19 Lancaster Crescent
Collaroy Postcode 2097

Phone number

() 0917 675920 Alternate ()

Mobile number

-

Facsimile

()

PART 3 Application

For levels and supervision fee refer to Council's fees and charges

Construction of any kind (including excavation) must be carried out by contractors authorised by Council

The finish must be plain concrete

The standard vehicular crossing width is 3 metres

I/we hereby apply for street levels at the above address for the purpose of

Please tick

Having a new vehicular crossing slab constructed

☐

Having an existing vehicular crossing slab re-constructed

☒

Constructing a drive within the property to the street boundary

☐

Constructing a footpath adjacent to the property

☐

Street access from

- See attached

Width of vehicular crossing

Vehicle crossings shall be constructed with plain broom finished concrete, or approved equivalent. All cosmetic/decorative treatments, including but not limited to, asphalt, paved, coloured, exposed aggregate, stamped, stencilled and post construction treatments are prohibited. Failure to comply with this requirement may result in demolition of the crossing and reconstruction of the crossing to Council standard, with all costs borne by the applicant

PART 4 Site Sketch

Site sketch

Please note that except in exceptional circumstances no more than one vehicular access is permitted per dwelling

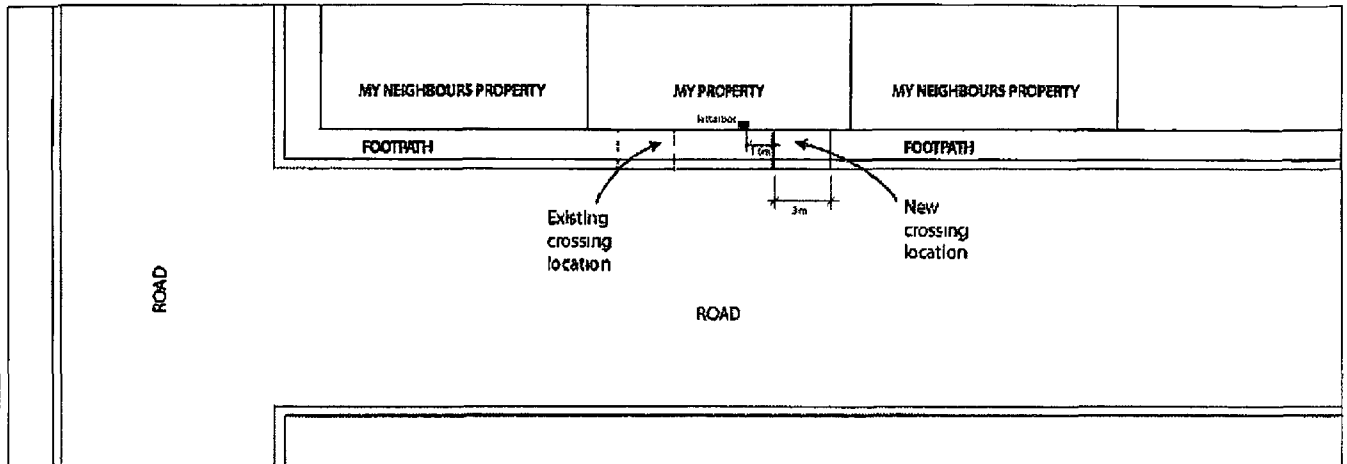
Construction must not encroach beyond side boundary without written permission of adjoining owner

Use the space below to sketch the location of new vehicular footpath crossing(s)

Provide as much detail as possible and include dimensions to property fences, buildings or other fixed objects

Copies of reduced DA plans may be attached to the application in lieu of a sketch

Example:



see page 2

PART 5 Applicant(s) Signature

Signature of applicant(s)

Applicant(s) signature

u6i

Date 6 / 7 / 14

Part 6 - Inspection Report

6 1 Work required

Please tick where applicable

Remove

☒

Kerb ___ m

☐

Gutter ___ m

☐

Gutter Crossing ___ m

☒

Foot paving ___ m x ___ m wide

☐

Other

6 2 Construct

Please tick where applicable

Construct

☒

Kerb ___ m

☐

Gutter ___ m

☐

Gutter Crossing ___ m

☐

Foot paving ___ m x ___ m wide

☐

Footpath Crossing Slab ___ m long x ___ m wide x ___ m wide

☐

Other

General remarks

Inspected by

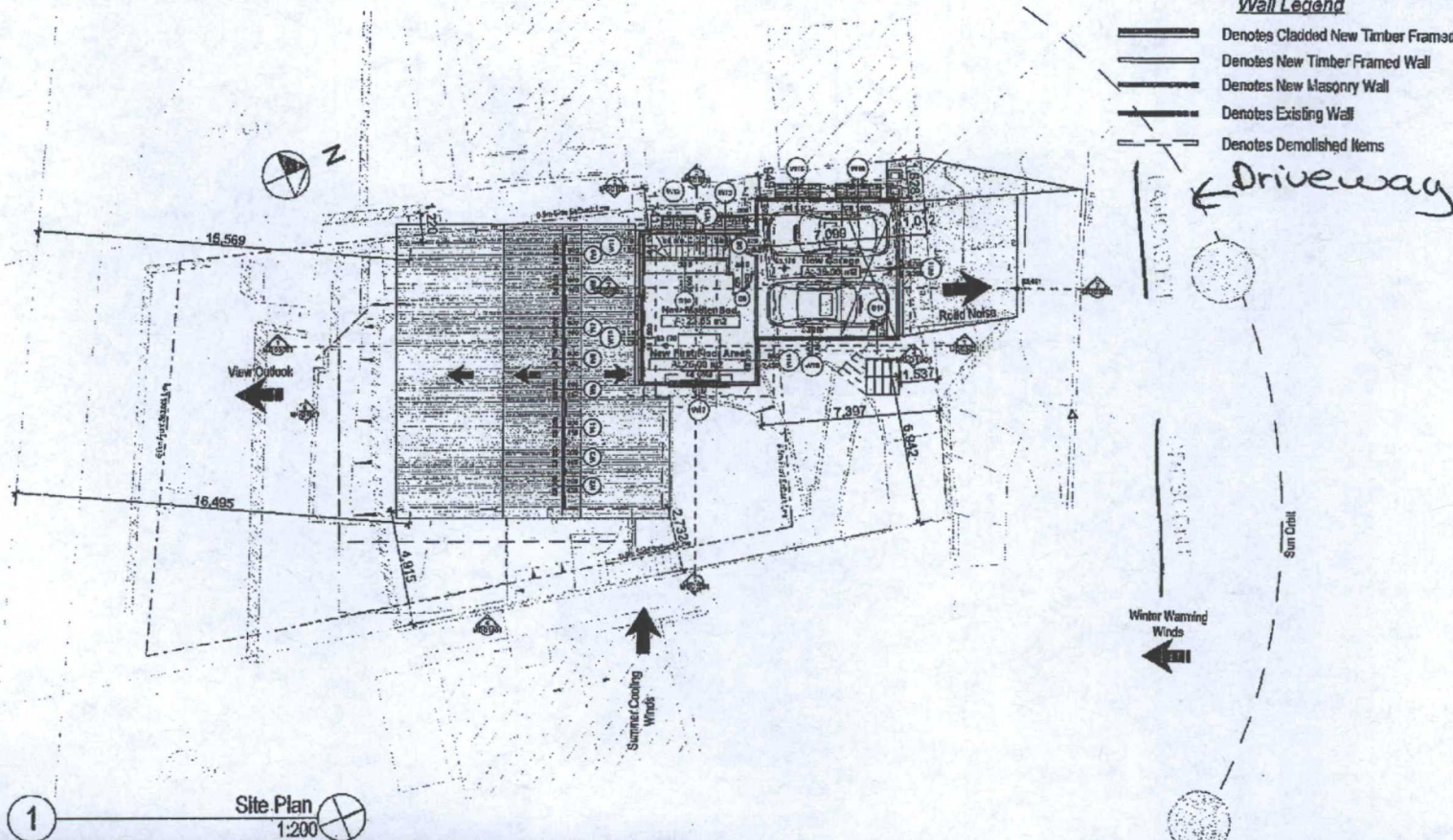
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Date

__/__/__

Alex, could you inspect urgently
we are booked for wed
23/7/14.

Page 2



 Denotes New Modified Works

 Denotes New Works Under Original Approval DA2013/0593

Wall Legend

 Denotes Cladded New Timber Fram

 Denotes New Timber Framed Wall

 Denotes New Masonry Wall

 Denotes Existing Wall

 Denotes Demolished Items

Driveway

1 Site Plan 1:200

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building	nil	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Note:
Contours shown are existing ground
elevations & are not to be used as
finished construction levels

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Site Information	Proposed	Compliance
Site Area	658.01m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	3/b
Maximum Building Height	8.5m	Yes.
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.6m	Yes
Building envelope	4m @ 45°	Yes
% of landscape open space (43% min)	45%	Yes
Impervious area (m ²)	361.09m ²	Yes
Maximum cut into ground (m)	1.749m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Significant events along the way, but among our own no properly fitting place and one of the topics of the meeting, I would like to do a brief survey of the last, under the leadership of Pope John, of aspects of his personal life. I shall not

[illegible]

Engineering

(Dispense)



**Warringah
Council**

Engineering Referral Response

Application Number	Mod2014/0021
To:	Kevin Short
Land to be developed (Address):	Lot 2 Sec 9 DP 11899 , 19 Lancaster Crescent COLLAROY NSW 2097

Reasons for referral

This application seeks consent for the following

- New Dwellings or
- Applications that require OSD where additional impervious area exceeds 50m2 or
- Alterations to existing or new driveways or
- Where proposals affect or are adjacent to Council drainage infrastructure incl watercourses and drainage channels or
- Torrens, Stratum and Community Title Subdivisions or
- All new Commercial and Industrial and RFB Development with the exception of signage or
- Works/uses in flood affected areas

And as such, Council's development engineers are required to consider the likely impacts on drainage regimes

Officer comments

No development engineers objection to the proposed widening of the driveway subject to additional conditions to the approved conditions of DA consent

Referral Body Recommendation

Recommended for approval, subject to conditions

Refusal comments

Recommended Engineering Conditions

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF THE CONSTRUCTION
CERTIFICATE**

Vehicle Crossings Application Formwork Inspection

An application for street levels shall be made with Council subject to the payment of fee applicable at the time of payment. The fee includes all Council inspections relating to the driveway construction and must be paid

Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate

Reason To facilitate suitable vehicular access to private property (DACENC12)

Vehicle Driveway Gradients

Driveway gradients within the private property are not to exceed a gradient of 1 in 4 (25%) with a transition gradient of 1 in 10 (10%) for 1.5 metres prior to a level parking facility. Access levels across the road reserve are to comply with the allocated vehicle profile detailed in Council's Minor Works Policy.

Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate

Reason To ensure suitable vehicular access to private property (DACENC13)

CONDITIONS TO BE COMPLIED WITH DURING DEMOLITION AND BUILDING WORK

Vehicle Crossings

The provision of vehicle crossing 7.0 metres wide at the boundary and maintaining the existing width at the kerb and generally in accordance with Warringah Council Drawing No A4-3330/7 and specifications. An Authorised Vehicle Crossing Contractor shall construct the vehicle crossing and associated works within the road reserve in plain concrete. All redundant laybacks and crossings are to be restored to footpath/grass. Prior to the pouring of concrete, the vehicle crossing is to be inspected by Council and a satisfactory "Vehicle Crossing Inspection" card issued.

Details demonstrating compliance are to be submitted to the Principal Certifying Authority

Reason To facilitate suitable vehicular access to private property (DACENE05)