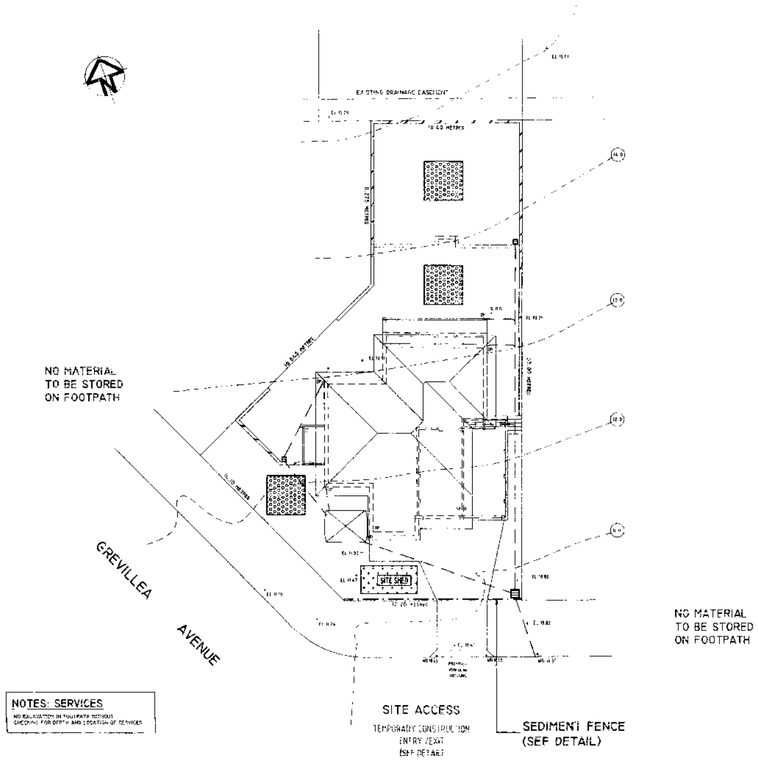
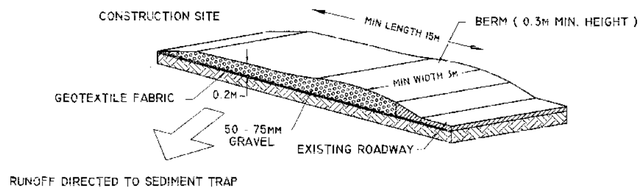


NOTES: SERVICES

NO EXCAVATION IN FOOTPATH SECTIONS
CHECKING FOR DEPTH AND LOCATION OF SERVICES

SOIL & WATER MANAGEMENT PLAN

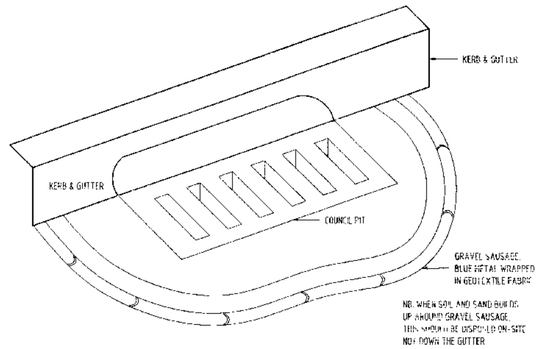
SCALE 1:200



TEMPORARY CONSTRUCTION EXIT / ENTRANCE

N.T.S.

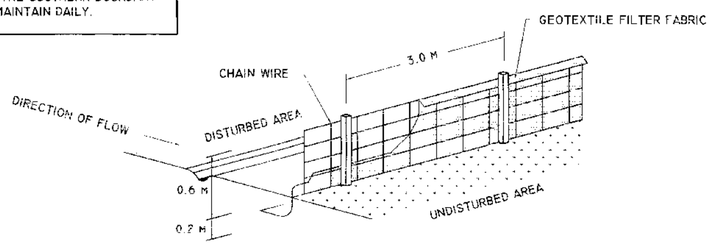
NB. PLACE GRAVEL SAUSAGE AROUND THE NEAREST DOWNSTREAM COUNCIL STORMWATER PIT IN GREVILLEA AVENUE.



GRAVEL SAUSAGE - GUTTER PROTECTION

N.T.S.

NB: PROVIDE SEDIMENT FENCE ALONG THE FULL LENGTH OF THE SOUTHERN BOUNDARY AND CLEAN AND MAINTAIN DAILY.



SEDIMENT FENCE

N.T.S.

NOTES: SOIL & WATER MANAGEMENT

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEPT DAILY.
6. NO MATERIAL TO BE STORED ON FOOTPATH.
7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A $1500 FINE.

LEGEND

UP DOWN PIPE
SP SPREADER
STORMWATER INLET PIT
STOCKPILE AREA
UNLESS NOTED

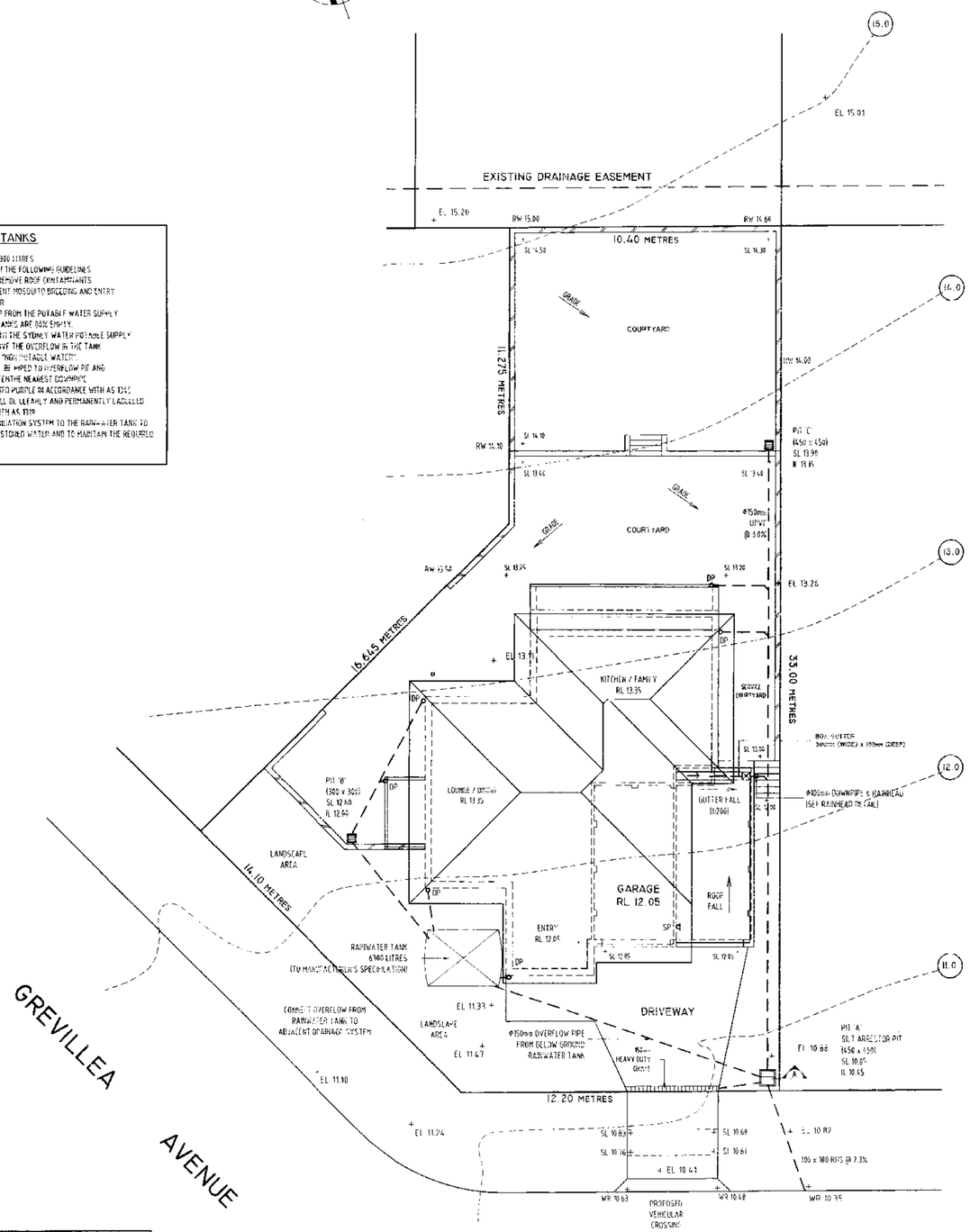
ACE CIVIL & HYDRAULIC ENGINEERS

PROPOSED RESIDENTIAL DWELLING
AT (LOT 317) 25 GREVILLEA AVENUE
WARRIEWOOD N.S.W. 2102

DESIGNED: PAUL ARRAJ BE, GRAD.IE(AUST), P. Eng	DATE: 7.1.2004 DRAWN BY: P.A.
ACE - CIVIL & HYDRAULIC ENGINEERS 9 LEIGHDON STREET BASS HILL, NSW, 2197 PHONE / FAX: (02) 9790 7921 MOBILE: 0412 331151 EMAIL: arraj@smartchat.net.au	SCALE: AS SHOWN 0405-36 DRAWING No. SHEET No. 2 No OF SHEETS: 2
HYDRAULIC PLAN	A1

NOTES: RAINWATER TANKS

1. RAINWATER TANK CAPACITY OF 6300 LITRES
2. THE SYSTEM TO BE DESIGNED WITH THE FOLLOWING GUIDELINES
   - A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS
   - ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER
3. TANKS TO BE PLUMBED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIODS WHEN THE TANKS ARE BOX EMPTY.
4. NO DIRECT CROSS-CONNECTION WITH THE SYDNEY WATER POTABLE SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK
5. A SIGN TO BE INSTALLED STATING 'NON-POTABLE WATER'.
6. OVERFLOW FROM THE TANK SHALL BE PIPED TO OVERFLOW PIT AND DIRECTED TO THE DRAINAGE SYSTEM THE NEAREST DOWNPIPE
7. PIPE WORK USED SHALL BE COLOURED PURPLE IN ACCORDANCE WITH AS 1345. ALL VALVES AND APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS 1319
8. CONNECTION OF AN AUTOMATIC BOOSTER SYSTEM TO THE RAINWATER TANK TO ENSURE FULL UTILISATION OF THE STORED WATER AND TO MAINTAIN THE REQUIRED IRRIGATION RATE

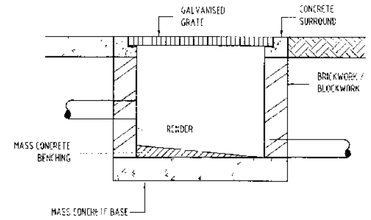


STORMWATER DRAINAGE PLAN

SCALE 1:100

NOTES: SERVICES

NO EXCAVATION IN FOOTPATH WITHOUT CHECKING FOR DEPTH AND LOCATION OF SERVICES



TYPICAL PIT DETAIL

NTS

NOTES: ROAD RESERVE & FOOTWAY DRAINAGE ELEMENTS

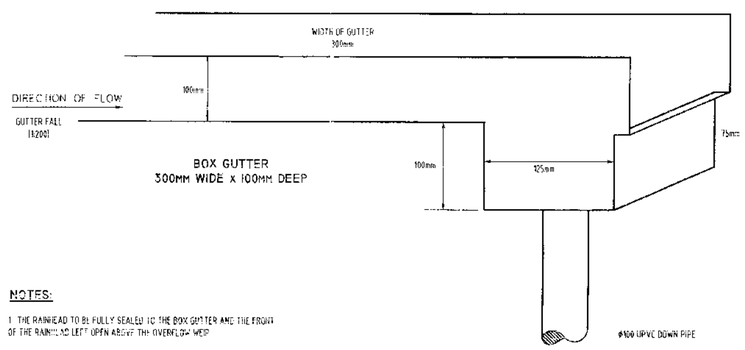
ALL STORMWATER DRAINAGE ELEMENTS PROPOSED WITHIN THE ROAD RESERVE AND FOOTWAY SHALL BE CONSTRUCTED UNDER THE SUPERVISION AND TO THE SATISFACTION OF COUNCIL'S ENGINEER

NOTES: COUNCIL ISSUED FOOTWAY DESIGN LEVELS

COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY PITTWATER COUNCIL

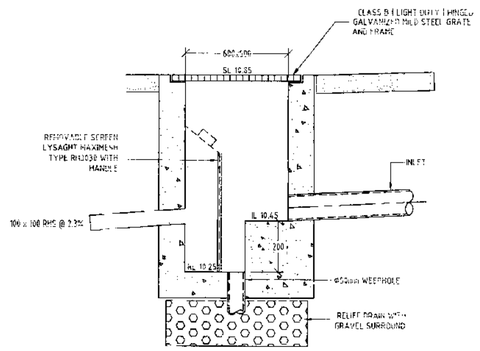
NOTE: RETAINING WALLS & 'AGG' LINES

ALL RETAINING WALLS ARE TO BE WATERPROOFED AND CONSTRUCTED WITH Φ100mm AGRICULTURAL LINES AT THE BASE AND CONNECTED TO THE NEAREST PIT IN THE COURTYARD



NOTES:

1. THE RAINHEAD TO BE FULLY SEALED TO THE BOX GUTTER AND THE FRONT OF THE RAINHEAD LEFT OPEN ABOVE THE OVERFLOW WEIR



SILT ARRESTOR PIT 'A' DETAIL (SECTION A)

NTS

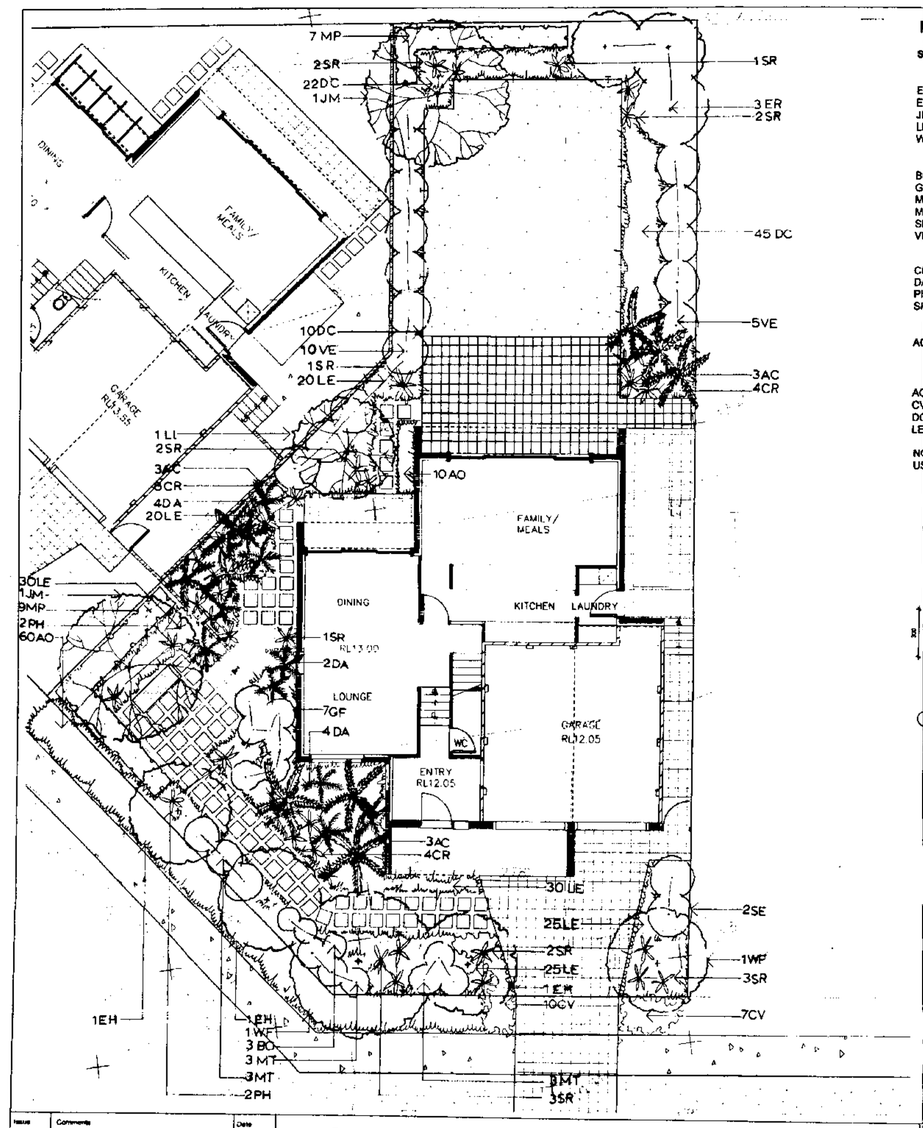
LEGEND:

DP	DOWN PIPE	DETAILS NOTED
SP	SPREADER	
CE - IL 36.00	CLEANING EYE	
EL 49.45+	EXISTING LEVEL 49.45	
SL 49.45+	PROPOSED SURFACE LEVEL 49.45	
IL 49.45 +	PROPOSED INVERT LEVEL 49.45	
WR 49.45+	PROPOSED WATER MAIN LEVEL 49.45	
TOK 49.45+	TOP OF KERB LEVEL LEVEL 49.45	
RW 49.45	TOP OF RETAINING WALL 49.45	
KIP	KERB INLET PIT	

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A.S.3500.3, COUNCIL'S STANDARD SPECIFICATION CODES AND THE THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER
2. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS
3. MINIMUM GRADES FOR ALL PIPE - 1.0%
4. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS
5. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK
6. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION

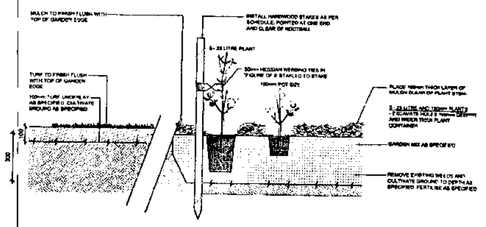
ACE CIVIL & HYDRAULIC ENGINEERS	
PROPOSED RESIDENTIAL DWELLING AT (LOT 317) 25 GREVILLEA AVENUE WARRIEWOOD N.S.W. 2102	
DESIGNED: PAUL ARRAJ BE, GRAD.IE(AUST), P. Eng	DATE 17.11.2004 DRAWN BY: P.A
ACE–CIVIL & HYDRAULIC ENGINEERS 8 LEIGHDON STREET BASS HILL, NSW, 2197 PHONE / FAX: (02) 9790 7921 MOBILE: 0412 331151 EMAIL: arraj@smartchat.net.au	SCALE AS SHOWN 0405-36 DRAWING No. SHEET No. 1 No. OF SHEETS: 2
HYDRAULIC PLAN	A1



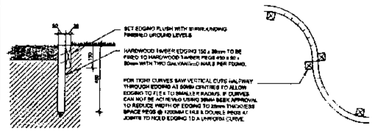
PLANT SCHEDULE

Sym	Species	Common Name	Mature Height	Qty	Pot Size	Spacing	Staking
	TREE SPECIES						
EH	Eucalyptus haemastoma	Scribbly Gum	10.0m	3	45 litre	As shown	2 x 50 x 50 x 1800
ER	Elaeocarpus reticulatus	Blueberry Ash	8.0m	3	45 litre	As shown	2 x 50 x 50 x 1800
JM	Jacaranda mimosifolia *	Jacaranda	15.0m	2	45 litre	As shown	2 x 50 x 50 x 1800
LI	Lagerstroemia 'Tuscarora' *	Crepe Myrtle	6.0m	1	45 litre	As shown	2 x 50 x 50 x 1800
WF	Waterhousea floribunda	Giant Water Gum	15.0m	2	45 litre	As shown	2 x 50 x 50 x 1800
	SHRUBS & HEDGES						
BD	Bougainvillea 'Bambino' cvs	Dwarf Bougainvillea	1.0m	3	5 litre	1.0m	-
GF	Gardenia 'Florida'	Gardenia	1.5m	7	5 litre	1.0m	-
MT	Metrosideros 'Tahiti'	Metrosideros	1.5m	9	5 litre	1.2m	-
MP	Murraya paniculata	Mock Orange	2.0m	16	25 litre	1.2m	-
SE	Syzygium 'Elite'	Lilly Pilly	1.5m	2	25 litre	1.2m	-
VE	Viburnum 'Emerald Lustre'	Sweet Viburnum	2.0m	15	25 litre	1.5m	-
	DETAIL PLANTS						
CR	Cordyline 'Rubra'	Red Cordyline	1.0m	16	5 litre	1.0m	-
DA	Dicksonia antarctica	Soft Tree Fern	1.5m	10	Var. trunk hts	2.0m	-
PH	Phormium 'Maori Maiden'	NZ Flax	1.2m	4	5 litre	1.2m	-
SR	Strelitzia reginae	Bird of Paradise	1.2m	17	5 litre	1.0m	-
	PALMS						
AC	Archontophoenix cunninghamiana	Bangalow Palm	4.0m	9	75 litre	1.5m	-
	GRASSES & GROUNDCOVERS						
AO	Agapanthus orientalis	Agapanthus	0.8m	70	5 litre	0.75m	-
CV	Convolvulus mauritanicus	Convolvulus	0.3m	17	150mm	0.5m	-
DC	Dianella caerulea	Flax Lily	0.5m	77	150mm	0.5m	-
LE	Liriope 'Evergreen Giant'	Lily Turf	0.4m	150	150mm	0.4m	-

NOTE: * DENOTES DECIDUOUS TREES. LAGERSTROEMIA INDICA, CREPE MYRTLES, A DOMESTIC SCALE TREE HAVE BEEN USED TO PROVIDE SOLAR ACCESS TO COURTYARD.



1 MASS PLANTING AND TURFING



2 TIMBER EDGE

3 STEPPING STONES

DETAILS NOTED

LEGEND

- EXISTING CONTOURS
- RETAINING WALLS
- UNIT PAVED PATHS & DRIVEWAYS (TO FUTURE CHOICE
- CONCRETE PAVEMENT
- TIMBER GARDEN EDGING
- TURF AREAS

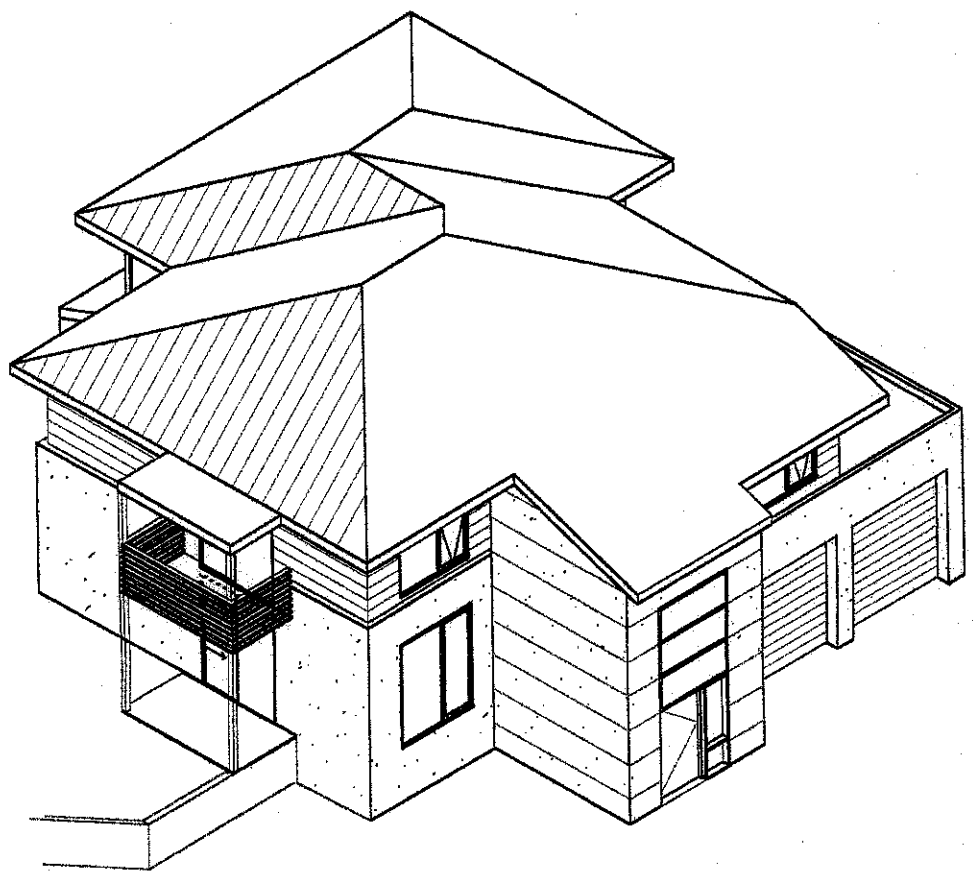
Issue	Comments	Date
A	DA APPROVAL	2/10/03
B	CANOPY TREES AMENDED - COUNCIL COMMENTS	21/6/04

Stockland

Landscape Architects:
MATHER & ASSOCIATES
LANDSCAPE ARCHITECTS
[illegible] CATHERINE STREET
[illegible]
PH: [illegible] FAX: [illegible]
EMAIL: [illegible]

Client: STOCKLAND TRUST GROUP
Project: FERNBROOK, STAGE3 WARRIEWOOD
Title: LANDSCAPE PLAN - LOT 317

Scale: 1:100
Date: JAN 04
Dwg. No: L 01
Designed: DH
Drawn: KS
Checked: JD
Issue: B



LOT 317 - FERNBROOK STAGE 3 @ WARRIEWOOD

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES

CC 317-01	SITE PLAN 1:200
CC 317-02	LEVEL 1 PLAN 1:100
CC 317-03	LEVEL 2 PLAN 1:100
CC 317-04	ROOF PLAN 1:100
CC 317-05	NORTH EAST + WEST ELEVATIONS 1:100
CC 317-06	SOUTH ELEVATION + LONG SECTION 1:100
CC 317-07	ELECTRICAL LAYOUT PLAN 1:100
L01	**LANDSCAPE PLAN**

e dko
architecture
19/151 foveaux st surry hills 2010
T: 02 9332 1211F: 02 9332 1355
E: environa@environastudio.com.au

Stockland

Fernbrook
Stage 3 @ Warriewood
Lot 317

1.00 - EXTERIOR FINISHES SCHEDULE

Issue E 26.04.04

Area	Item	Finish	Code	Description	Supplier	Rev
ENTRY	Driveway	Stencilcete/ Pavers		Stencilcrete with borders or Pavers with borders large format 400 x 400mm.		
GARAGE DOOR		Colourbond	C2	Spring Assisted Solid Sectional Door Colourbond col: Woodland Grey	Colourbond	E
WINDOWS/ DOORS	Glass/ Aluminium	Powdercote	PC2	New Aluminium framed windows and doors Colour: Surfmist 84608	Dulux	
DOORS GENERALLY	Solid Core	Paint	P3	Taubmans full gloss enamel paint finish Colour: Carmen T112- 4W	Taubmans	
FAÇADE WALLS	Bagged Brickwork	Rendered	R3	Taubmans Colour: Spun Sugar T160- 6A	Taubmans	
	Bagged Brickwork	Rendered	R4	Taubmans Colour: Ink Well T172- 7A	Taubmans	
	FC Sheet	Paint	P4	FC Sheet with selected paint finish Taubmans Colour: Spun Sugar T160- 6A	Taubmans	
	FC Sheet with Panelling	Paint	P3	FC sheet with Paint finish and exposed panelling Taubmans Colour: Carmen T112- 4W	Taubmans	
	FC Weatherboards	Paint	P3	Selected paint finish Taubmans Col: Carmen T112- 4W	Taubmans	
ROOF	Steel	Colourbond	C2	Colourbond corrugated roofing Colour: Woodland Grey	Colourbond	E
FASCIA	Steel	Colourbond	C2	Colour: Woodland Grey	Colourbond	E
GUTTERS	Steel	Colourbond	C2	Colour: Woodland Grey	Colourbond	E
DOWNPIPES	Steel	Colourbond	C2	Colour: Woodland Grey	Colourbond	E
FLASHING	Steel	Colourbond	C2	Colour: Woodland Grey	Colourbond	E
BALUSTRADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
FENCE & GATE	Timber			Selected hardwood timber slats with clear coat polyurethane finish 30% gloss level		

WASTE MANAGEMENT PLAN

Issue A Date 2.02.04

MATERIALS	EST. QUANTITY Volume cum	Area sqm	weight tonne	ONSITE RECYCLING	OFF SITE RECYCLING WTS = Waste Transfer Station	OFF SITE DISPOSAL
EXCAVATION STAGE						
Top soil	3.00			Top soil stored on site for use in landscaped gardens.		
Sand/clay/shale	30.00			Sand/clay stored on site for use as backfill where poss.		
Rock	Nil			Stored on site for use as backfill where volumes allow.		Balance sent to authorised land fill site.
CONSTRUCTION STAGE						Balance sent to authorised land fill site.
Bricks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Excess broken blocks stored for collection to crushing.	
Concrete blocks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Broken blocks sent for crushing to road base at WTS	
Concrete	0.20			Excess concrete to moulds on site for garden pavers.	Nil	Nil
Timber framing	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
Timber cladding	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
FC cladding	0.20			Nil	Material broken up on site, for collection to crushing.	To Waste Transfer Station to recycle
Plasterboard	0.20			Nil	Binned separately for recycling by Boral Plasterboard	Nil
Roofing: tiles		nil		Full tiles stored on site as spares	Stored for collection to crushing to road base at WTS	Nil
Roofing: Steel		10.00		Sheets ordered cut to size to minimise waste	Offcuts stored for collection for recycling.	Nil
Insulation				Nil	Unused returned to manufacturer/store by builder.	Nil
Metal piping etc			0.001	Nil	Non ferrous metals binned separately for recycling.	
PVC piping	0.10			Nil	Unused returned to manufacturer/store by builder.	Removal to Land Fill site.
Tiles + pavers	0.30			Full tiles set aside as spares.	Cut tiles sent to crushing to road base at WTS	Nil
Misc packaging, fixings glues etc	0.50			Timber packaging sorted for reuse as above.		Removal to Land Fill site.
IN USE						
Putrescible waste	0.15	per week		To on site compost/worm farm		
General waste	0.25	per week				
Paper card			0.005		Council's recycling bins to WTS	To Council collection
Plastics			0.001		Council's recycling bins to WTS	
Bottles			0.001		Council's recycling bins to WTS	
Steel tins etc			0.002		Council's recycling bins to WTS	
Aluminium			0.001		Council's recycling bins to WTS	
Garden waste	0.1	per week		All small branches and leaves chipped for mulch.	Mulch to garden. Large trunks to timber salvage.	Excess to periodic waset collection

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE G, LOTS 317, 318

Scope of work/Notes
All work as shown in the drawings and schedule, including all necessary work even if not drawn or scheduled.
Refer all queries and discrepancies to the architects.
All measurements in mm unless noted otherwise.

Standard of Work and Regulations
All work to be carried out in accordance with:
- Building Code of Australia 1996
- SAA Codes
- Conditions of Council
- Conditions of supply authorities
- NATSPEC Housing Specification for each trade.

Terms and Abbreviations
Abbreviations used on the drawings and in the specifications and schedules are as follows:

AFS	As further specified
BBW	Bagged Block / Brickwork
BC	Bright Chrome
CB	Colorbond (coloured Zincalume steel sheet)
CCA	Copper/Chrome/Arsenate treated timber
CCR	Corrugated Colorbond Roofing
CCS	Corrugated Colorbond Wall Sheeting
CFC	Compressed Fibre Cement sheet
CIS	Cast in situ (concrete)
CT	Ceramic Tiles
cts	Centres
EPS	Expanded Polystyrene (insulation)
F	Fixed glass
FC	Fibre Cement sheet
FFL	Finished floor level
GB	Glass blockwork
HW	Hardwood
HDG	Hot Dipped Galvanised
HDPE	High Density Polyethylene (piping)
HSC	Hardiflex sheet cladding
HTP	Harditex panel
L	Glass Louvres (in windows)
LSOP	Light Oil Solvent Preservative = 'Gold' Treated timber
LVL	Laminated Veneer Lumber
MDF	Medium density fibreboard = customwood
MGP	Machine Graded Pine framing (Wall/Roof)
MI	Manufacturer's instructions
NIC	Not in Contract
PB	Plasterboard
PFC	Parallel Flange Channel
PS	Provisional Sum
RBW	Rendered Block / Brickwork
RFL	Reflective foil laminate
RP	Radiata Pine
S+I	Supply and Install
SC	Satin Chrome
SHS	Square Hollow section
SS	Stainless Steel
T+G	Tongue and grooved (flooring/walling)
TBA	To be advised
TT	Terracotta Tile
UB	Universal Beam
UC	Universal Column
UNO	Unless noted otherwise
VOS	Verify on site
VR	Veneer
WRC	Western Red Cedar (timber)

Groundwork/Excavation
Bulk excavation and fill removed by others.
Implement waste, water and soil management measures.
AS 2870.1 Soil classification - Class M (mod. reactive clay)
Excavate to levels noted for footings, floors, retaining walls
Excavated material retained on site as fill to levels.

Footings
Concrete strip footings in accordance with AS 2870.
Generally 400 d x 300 w with 2 layers F8 TM throughout.

Retaining walls
Core filled concrete blockwork, per engineer's specification.
External joints struck flush and bagged for paint finish.

Floor level 1: Concrete slab on ground
Concrete slab, cast on ground, per engineer's specification.
Slab laid on blinding layer of sand to levels indicated.
Polyethylene waterproof membrane to entire area.
Under slab termite protection in accordance AS 3660.1.
'Termimesh' termite protection collars to all penetrations.
30 mm set down for 'wet areas', external walls and door sills.
40 mm set down for external walls and door sills.
Finish: steel trowel finish concrete throughout.

Floor level 2: Timber framed
Floor joists to Timber Framing Code: (MGP or LVL or Hybeam are acceptable). Joists at 600 centres or as required.
R 1.5 insulation + 6 FC sheet finish to ceiling of garage under level 2 internal floor area.
Ceilings: direct fix, or on Rondo battens as required.
Flooring: 18 Particleboard sheet flooring glued and nailed.
Wet areas : 16 CFC sheet, glued and screwed, 30 set down.
Refer floor finishes schedule.

External walls: Timber frame
90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggins, lintels, bracing in accordance with Code.
'Insulation: R1.5 polyester batts in external walls.
Reflective foil sarking to outside face all external walls.
External finishes: refer below.
Internal finishes: 10 plasterboard/6.5 villaboard, see below.

External walls: Brickwork + Brick Veneer
All brickwork laid in accordance with Australian Standards.
Clay commons suitable for bagged finish throughout.
110 veneer work in stretcher bond to levels indicated.
110 work with attached piers to garage in stretcher bond.
Soldier course capping to all walls.

Brickwork Finish
Bagged finish with integral colour equal to Mac render or Morokan coat finish.

External cladding: Harditex (HTP)
Where indicated on drawings, equal to:
Harditex 6.5 FC sheet.
Finish: equal to Mac Render / Granosite texture coat

External cladding: weatherboards
Where indicated on drawings, equal to:
External: Hardies Primeline weatherboards, laid horizontally.
Finish: refer paint schedule.

External cladding: flat sheet and cover strips
Where indicated on drawings, prepainted sheet equal to:
Laminex Meteon exterior laminate, (Laminex Tel 132 136), or Seratone Silverseal (Halifax Vogel tel 1300 558 882).
Covers: aluminium channel 40 x 20 U shaped, powdercoated
Note: painted FC sheet not acceptable.

Roof frame
All roof bracing in accordance with Code.

Hipped roof areas
Gang nail softwood trusses @ 900 centres or as required, to Timber Framing Code / engineers spec.
Roofing battens: 90 x 45 MGP on flat.
Ceiling battens: MGP @ 450 cts or Rondo furring channels.

Flat roof areas
Timber rafters (MGP or LVL or Hybeam are acceptable), to Timber Framing Code / engineers spec.
Roofing battens MGP Graded to falls.
Ceiling battens: MGP @ 450 cts or Rondo furring channels.

Roofing: Corrugated Colorbond Steel (CCS)
Blue Scope steel Colorbond Custom Orb profile 0.48 steel roofing. Refer colour schedule.
Sarking/Insulation: Astrofoil double sided anti glare insulation or ACI Permastop R1.5 Sisalation backed fibreglass.
Fascia: Brake pressed Colorbond steel, 100 x 100 angle colour to match roof, no round edges> No timber fascias.
Flashings: as per MI, Colorbond steel, colour to match roof.
Valley gutters: 0.6 Colorbond Armour Grey steel.

Roof plumbing + Rainwater Drainage
Outboard gutters: 100 quad gutter, Colorbond to match roof.
Inboard (box) gutters: custom fold in 0.48 Colorbond.
Downpipes: 100 dia Colorbond to match roof.
Drainage: 100 dia uPVC pipe to rainwater collection tank.

Internal walls: Timber frame
90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggins, lintels, bracing in accordance with Code.

Internal Linings
Rooms: 10 mm plasterboard. Tape and set to MI
Wet areas: 6.5 mm Villaboard with recessed edges .

Skirtings + Architraves
Skirtings: 90 x 20 finger jointed RP, paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.

Ceilings
10 mm plasterboard ceiling equal to Supacell.
Insulation: R3.0 polyester insulation above all ceilings.
Cornice: living areas: square set.
Cornice: all other areas: standard 90 cove .

Windows: aluminium
Frame/sash: fixed and sliding aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series, refer elevations.
Finish: powdercoat / natural anodised, refer colour schedule
Glazing: in accordance with Aust. Standards.
Louvres (L): Breezeway 150, clear 6.38 laminated glazing.

Sliding doors: aluminium
Frame/sash: sliding aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series.
Note multiple sliding sashes as shown on elevations.
Sash: multiple sliding and fixed (F) as shown
Finish: powdercoated aluminium in Dulux Slate Grey
Glazing: in accordance with Aust. Standards, min 6.38 laminated to all doors.
Hardware: Integral handles/keyed locks, centre of door.

Front door: Solid core
Frame: aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series.

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE G, LOTS 317, 318

Finish: to match sliding doors.
Sash: solid core masonite faced door, paint finish.
Hardware: Lockwood 591 series, latch and deadlock

Internal doors: swing solid core
Frame: 135 x 45 RP rebated frames.
Doors: Hollow core, masonite faced for paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.
Hardware: tubular latch and SC lever passage set, privacy latch to bathroom and guest WC.

Garage Door
Colorbond panelift door, motorised remote control.

Sunshade
Main frame: ex 125 x 65 Channel, refer detail drawing
Battens: 45 x 45 CCA treated battens @ 60 centres .

Pergolas
Main frame: 200 HDG PFC bolt fix to columns paint finish
Rafters: 20 x 50 CCA, connect to walls, PFC frame
Battens: 45 x 45 CCA treated battens @ 100 centres.

Stairs: timber
Timber framed stairs: boxed risers and treads in RP on RP stringers, screw fixed to walls, 20 x 20 trims to stringers.
Finish: carpet.
Balustrade: ex 100 x 100 timber rail, steel brackets to wall.

Joinery: Bathroom
Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: 20 reconstituted stone, polished edges.
Splashbacks: tile to match wall tile.

Joinery: Wardrobes
Carcass: Paint finished MDF.
Top shelf @ 1800, sides as required, CP hanging rail.
Doors: sliding aluminium, mirror finish.

Joinery: Kitchen
Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: mid range select light coloured granite.
Splashbacks: colour backed glass.

Kitchen Appliances
Oven: Smeg, SS, SA410X
Cooktop: Smeg, SS, SAR64X
Exhaust hood: Slim Jim 60
Dishwasher: Smeg, SS, SA623X
Excluded: Fridge, microwave, washing machine, clothes dryer

Tiling: Bathrooms and Laundries
Refer Di Lorenzo Ceramics, contact David Isola tel 8818 2999.
Wall: select 100 x 100 ceramic tiles, stack bond, white grout, allow $50/sqm supply
Floor tiles: select 50 x 50 mosaic tiles, square bond, cement grout, allow $50/sqm supply

Floor finishes Schedule
Living room: Carpet, allow $80/sqm supply and lay.
Entry,Hall, Dining, Family, kitchen: floating timber floor, refer Bell's Carpet, Geoff Arnold 9602 5184, Allow $120/sqm
Bedrooms, corridors: Carpet, allow $80/sqm supply and lay.

Fittings and Fixtures Schedule
All equal in specification and quality to items listed:

Sanitaryware
Toilet Suite: Fowler Newport Close Coupled WC (3 off)
Bath: Caroma Stirling 1675 x 770 x 330 (1 off)
Joinery basins: Caroma Liano square semi recessed (2 off)
Wall hung basin : Caroma Flora 500 with shroud (1 off)
Kitchen Sink: Franke 1.5 bowl u'mount ARX 110-33/35 (1 off)
Laundry tub: Clark 45 L Single Inset Flushline, (1 off)

Tapware
Shower: Caroma Liano AAA rated/head with mixer
Basin: Caroma Liano AAA rated basin mixer
Bath: Caroma Liano AAA rated bath spout + mixer
Kitchen: Caroma Liano sink mixer
Laundry: Tub: Irwell Retro, WM taps: Irwell Retro tapset
Floor wastes: 100 square CP to laundry + bathrooms.

Accessories
Towel rails: Industrial Expressions Conquest
Hand Towel rail: Industrial Expressions Conquest
TRH: Industrial Expressions Conquest
Mirrors: wall mounted mirror over vanity units (2 off)
Shower Screens: Semi frameless, anodised aluminium frame

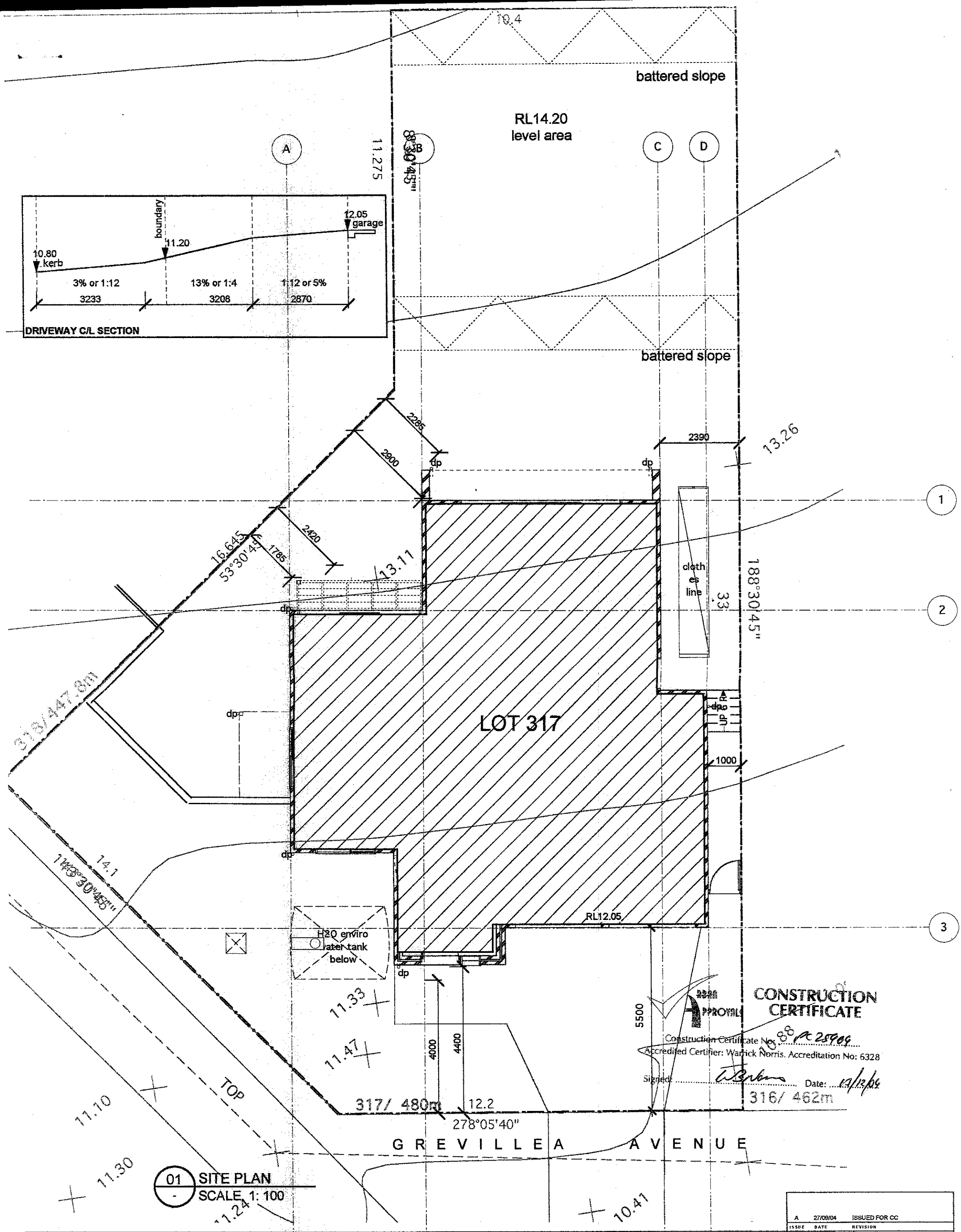
Hydraulics
Sewer: 100 uPVC pipe to connect all fixtures to sewer.
Water supply: 19 dia copper pipe, insulate for hot lines.
External taps: 3 external taps
Hot Water Supply: Rinnai 26 instantaneous gas
Gas line: gas supply to HWS cooktop, bayonet outlet (2 off).
Stormwater: roof water connected to tank, see below.
Ground drains and sumps connected to stormwater system.

Rainwater tank
Min 6300 Litre underground rainwater tank located as shown, Rain-masta or Halgan tanks, with leaf and dirt screening and fitted with internal pump. Overflow to stormwater system.

Electrical
Underground power supply.
Meter Box: gal. steel top hinged, including ELCB all circuits.
Refer electrical plan. generally as follows:
GPO's + Switches: Clipsal / HPM Excel range
Lights: living: T5 electronic fluorescent in pelmets
Bedrooms: ceiling mounted oyster fitting
Kitchen;Bath: 6 off fluorescent downlights.
Smoke detectors: to BCA code requirements
Telephone: category 5 line 3 outlets.
TV aerial/cable TV not included.

Painting
Wattyl paints throughout.
Externally: 2 coats external grade, satin finish.
Harditex (HTP): Granosite texture coat
External metalwork: 1 coat metal primer, 2 coats gloss enamel
External WRC or HW: 2 coats oil based stain.
Internal plasterboard walls: 2 coats acrylic,wash and wear
Ceilings: 2 coats acrylic flat
Internal doors: 1 coat primer, 1 coat gloss enamel
Skirtings etc.: 1 coat primer, 1 coat gloss enamel

External works
Refer landscape plan



01 SITE PLAN
SCALE 1: 100

ISSUE	DATE	REVISION
A	27/09/04	ISSUED FOR CC

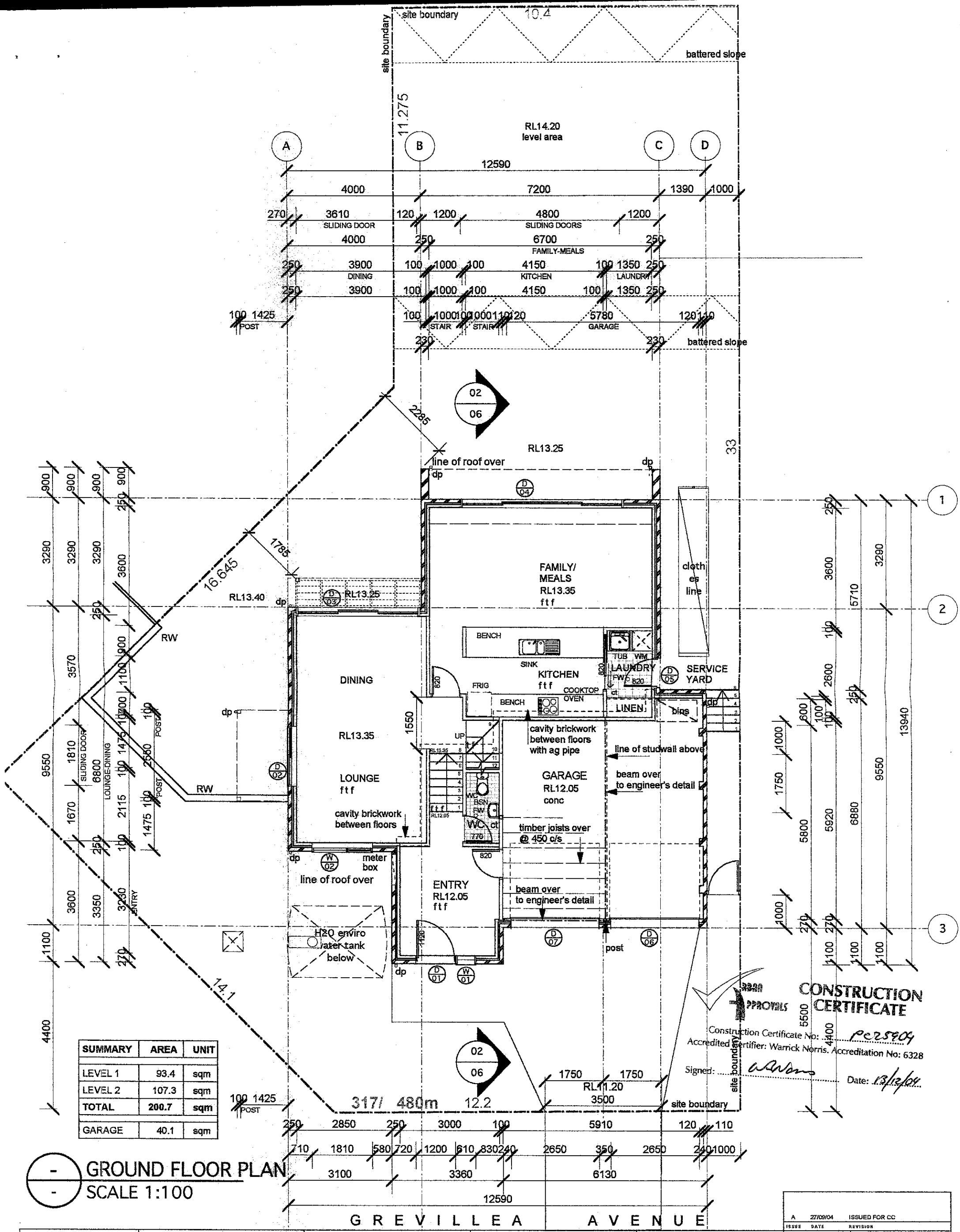
NOTES
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

Stockland

maincom
Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 3200
E enquires@maincom.net

north
0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 project	1704 job no.	Construction Certificate stage.
SITE PLAN drawing	WL drawn/checked.	A101 - 317 dwg no.
1:100 scale	27.9.04 date.	A issue.



SUMMARY	AREA	UNIT
LEVEL 1	93.4	sqm
LEVEL 2	107.3	sqm
TOTAL	200.7	sqm
GARAGE	40.1	sqm

CONSTRUCTION CERTIFICATE

Construction Certificate No: PC25904

Accredited Certifier: Warrick Norris. Accreditation No: 6328

Signed: WNorris

Date: 13/12/04

GROUND FLOOR PLAN
SCALE 1:100

ISSUE	DATE	REVISION
A	27/09/04	ISSUED FOR CC

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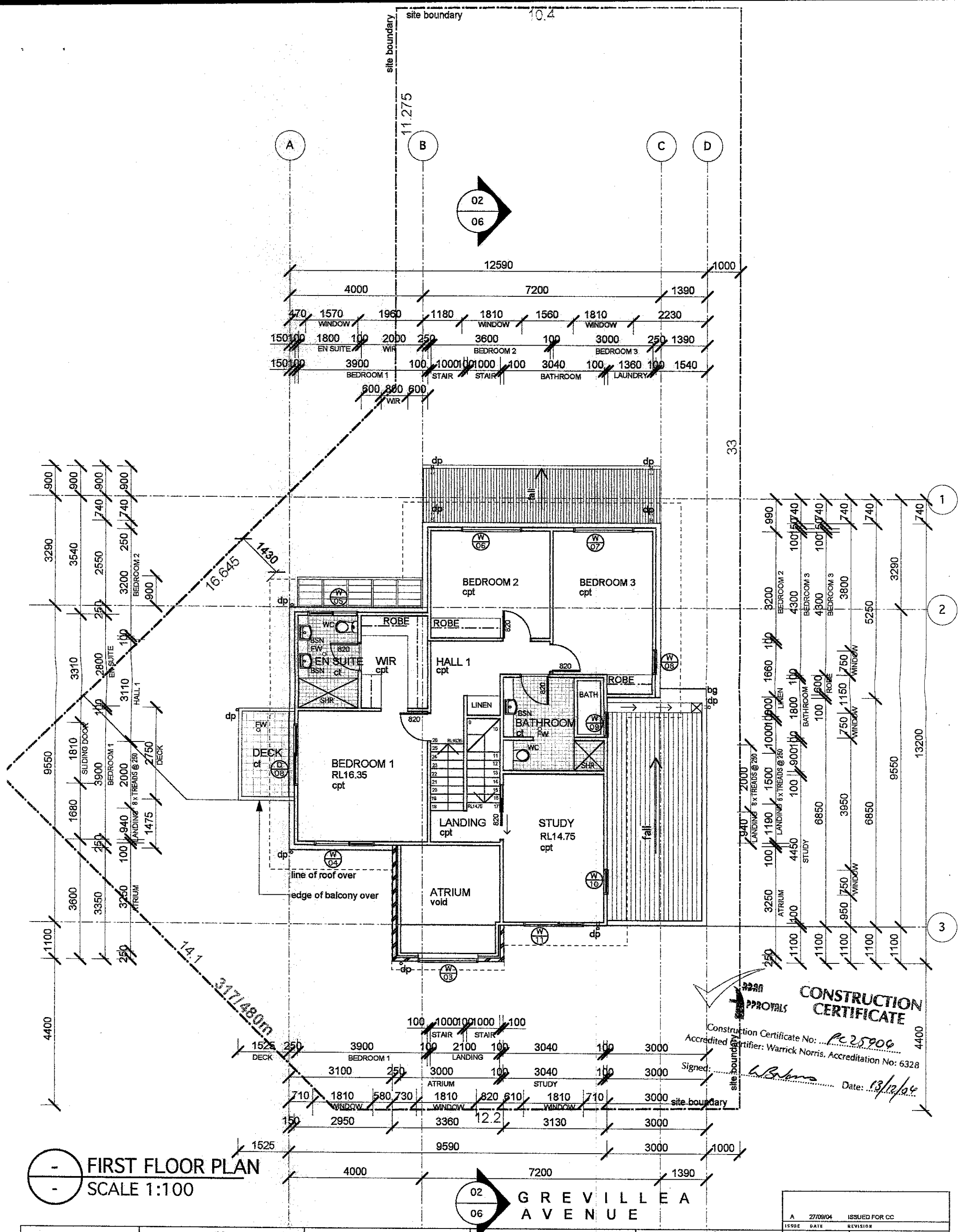
E enquires@maincom.net

north
0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 project	1704 job no.	Construction Certificate stage.
GROUND FLOOR PLAN drawing	WL drawn/checked.	A102 - 317 dwg no.
1:100 scale	27.9.04 date.	A issue.



CONSTRUCTION CERTIFICATE
APPROVALS
Construction Certificate No: PC 25906
Accredited Certifier: Warrick Norris, Accreditation No: 6328
Signed:
Date: 13/12/04

FIRST FLOOR PLAN
SCALE 1:100

ISSUE	DATE	REVISION
A	27/09/04	ISSUED FOR CC

NOTES
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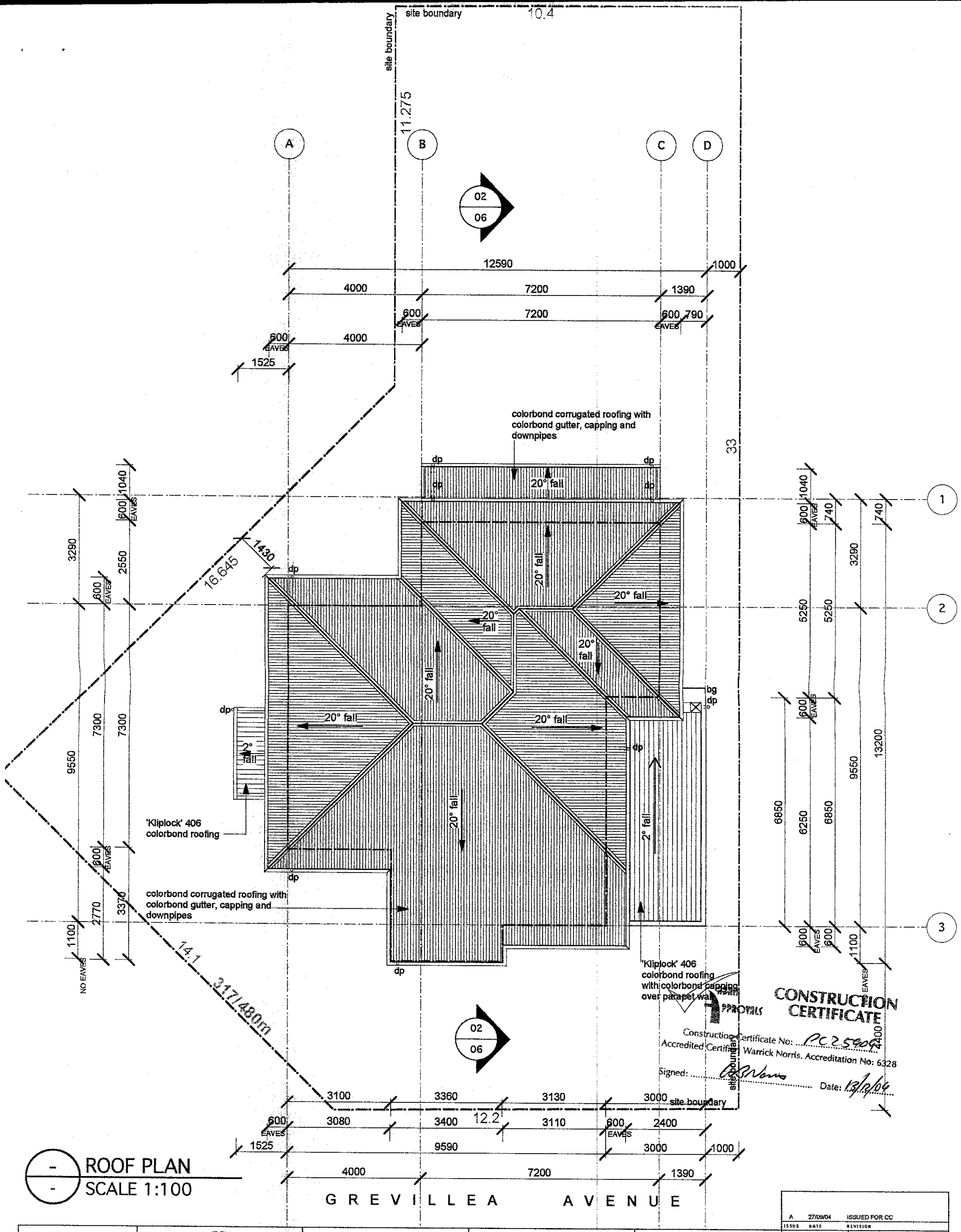
Stockland

maincom
Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 3200
E enquires@maincom.net

north
0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 project	1704 job no.	Construction Certificate stage.
LEVEL 1 FLOOR PLAN drawing	WL drawn/checked.	A103 - 317 dwg no.
1:100 scale	27.9.04 date.	A issue.



ROOF PLAN
SCALE 1:100

ISSUE	DATE	REVISION
A	27/09/04	ISSUED FOR CC

NOTES
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

Stockland

maincom
Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 3200
E enquires@maincom.net

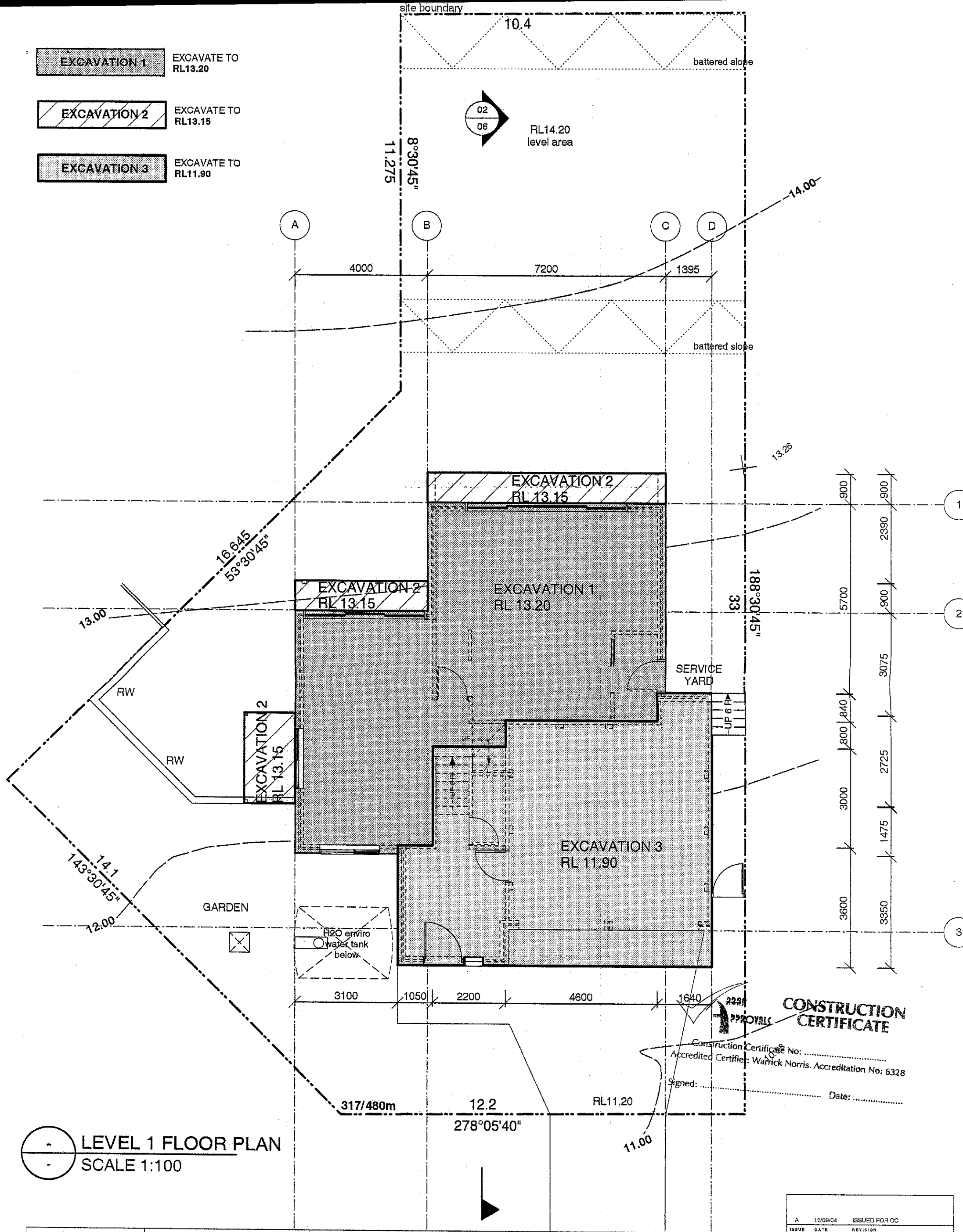
north
0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 (project)	1704 (job no.)	Construction Certificate (stage.)
ROOF PLAN (drawing)	WL (drawn/checked.)	A104 - 317 (dwg no.)
1:100 (scale)	27.9.04 (date.)	A (issue.)

EXCAVATION 1 — EXCAVATE TO **RL13.20**

EXCAVATION 2 — EXCAVATE TO **RL13.15**

EXCAVATION 3 — EXCAVATE TO **RL11.90**



CONSTRUCTION CERTIFICATE

Construction Certificate No: .....

Accredited Certifier: Warrick Norris. Accreditation No: 6328

Signed: ..... Date: .....

- / - LEVEL 1 FLOOR PLAN
SCALE 1:100

ISSUE	DATE	REVISION
A	13/09/04	ISSUED FOR CC

NOTES
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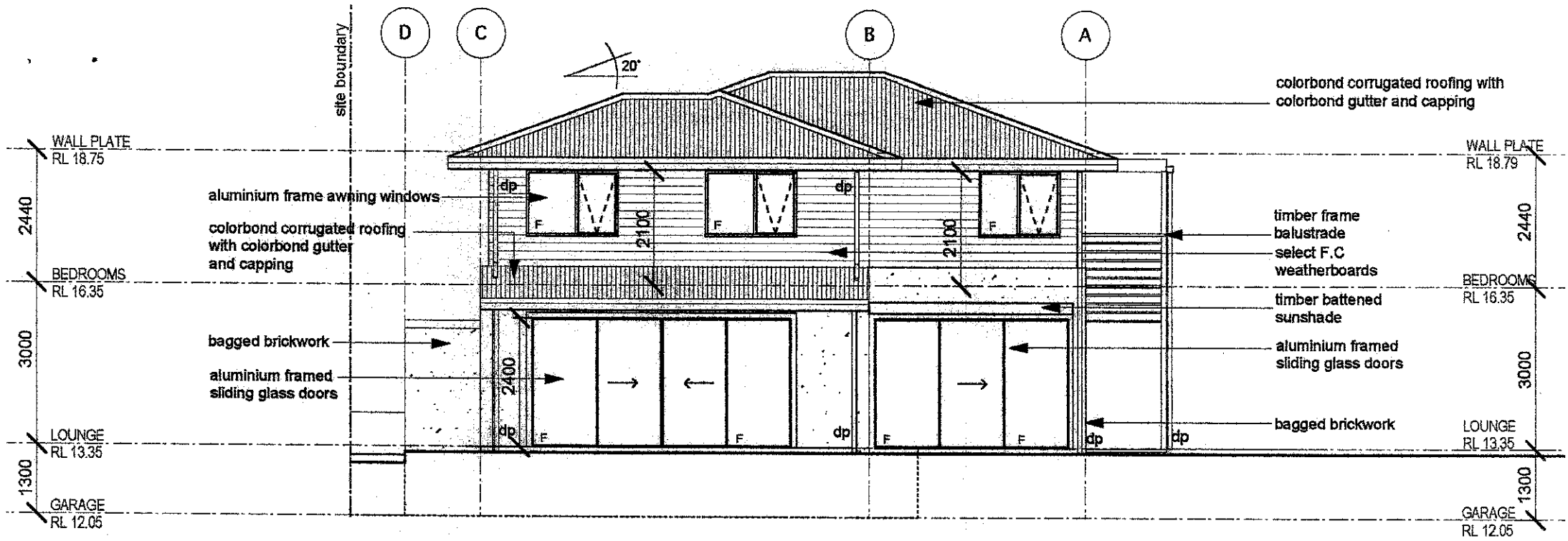
Stockland

maincom
Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 9200
E enquires@maincom.net

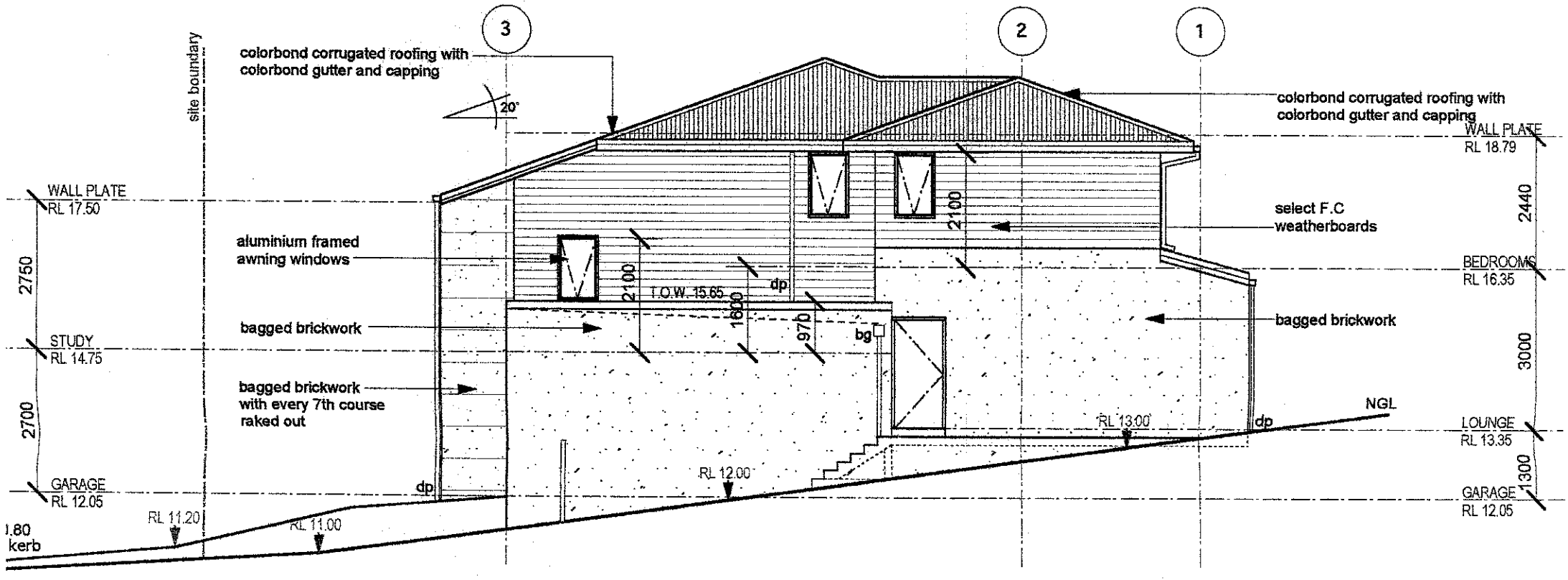
north

0m 1m 3m 4m

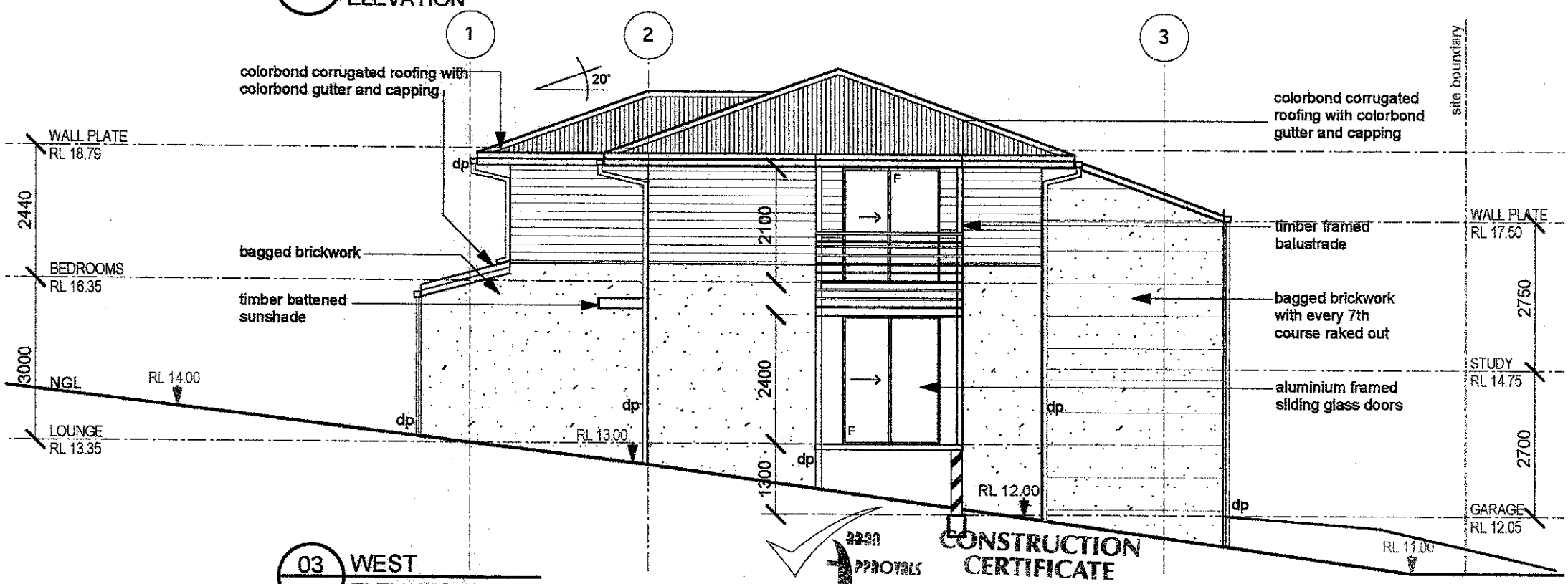
FERNBROOK WARRIEWOOD LOT 317 project	03945 job no.	Construction Certificate stage.
BULK EXCAVATION drawing	TW/TH drawn/checked.	A105 - 317 dwg no.
1:100 scale	13.09.04 date.	A issue.



01 - NORTH ELEVATION



02 - EAST ELEVATION



03 - WEST ELEVATION

APPROVALS CONSTRUCTION CERTIFICATE

Construction Certificate No: PC25904

Accredited Certifier: Warrick Norris. Accreditation No: 6328

Signed: ..... Date: 13/12/04

ISSUE	DATE	REVISION
A	27/09/04	ISSUED FOR CC

NOTES

all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

Stockland

maincom

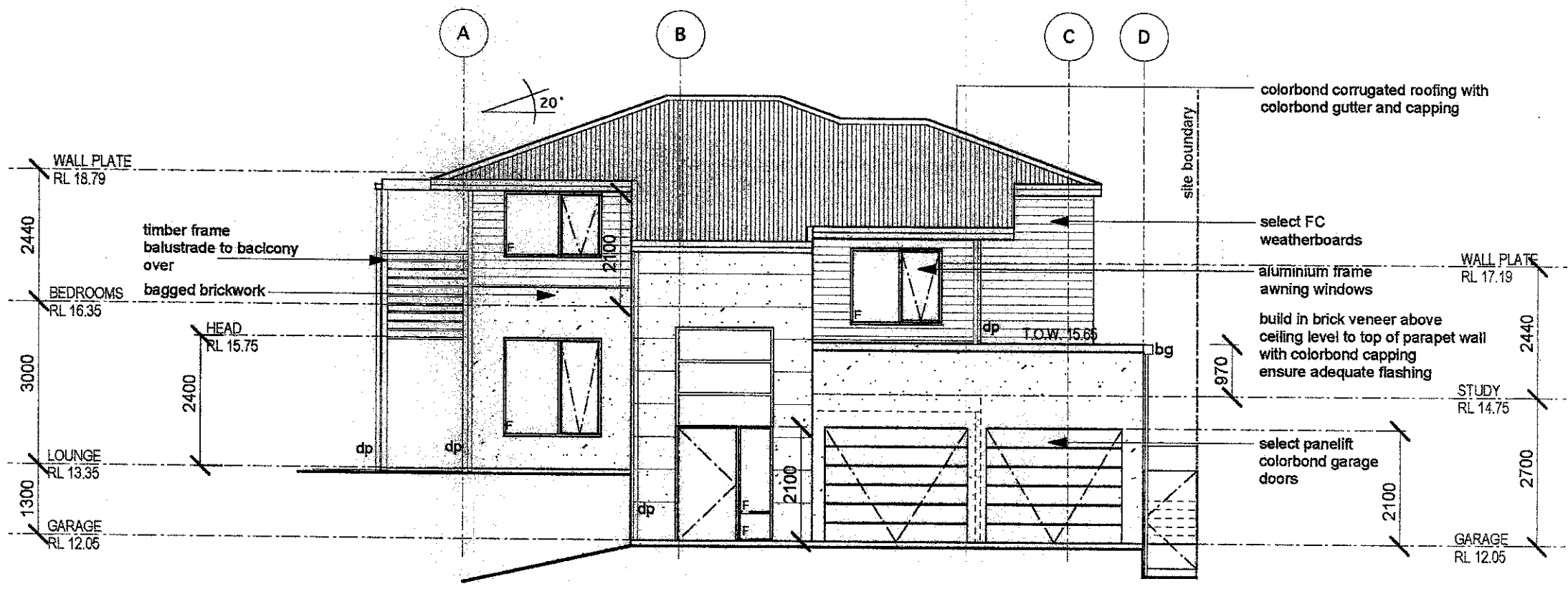
Unit 6, 119 COREEN AVE. PENRITH NSW 2750

P (02) 4722 5900 F (02) 4722 3200

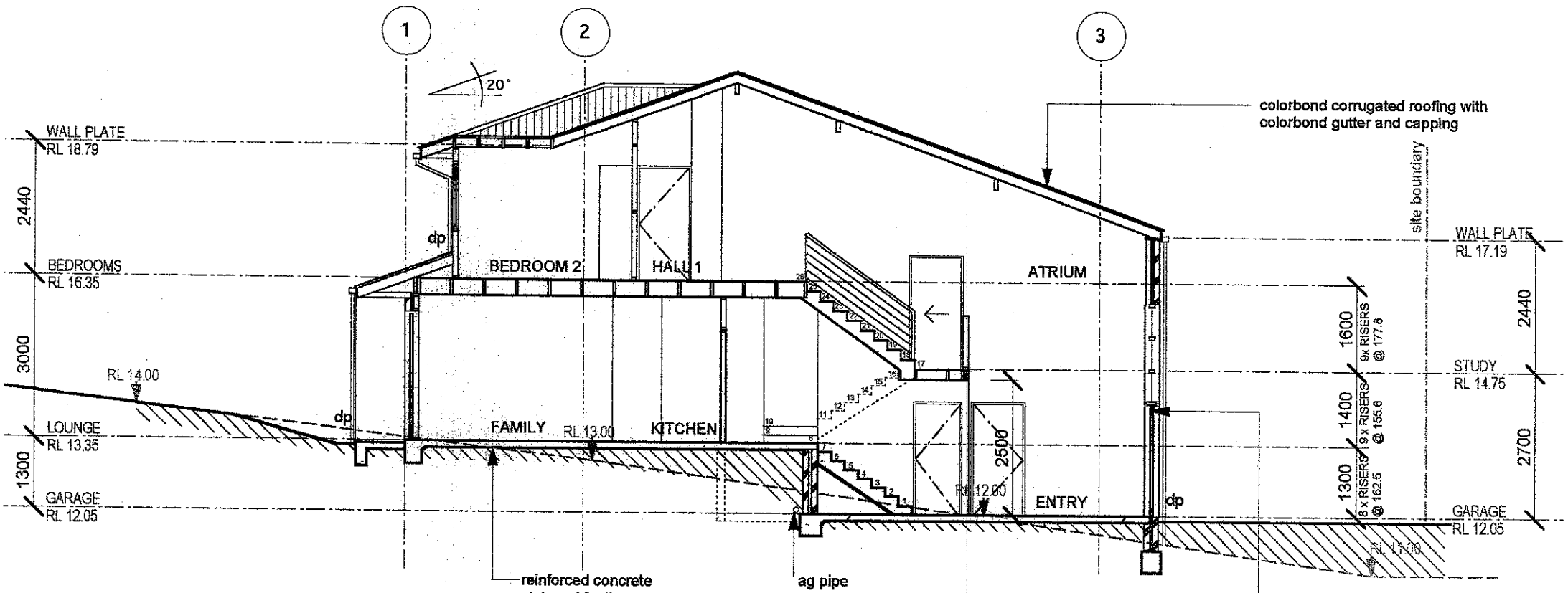
E enquiries@maincom.net

0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 project	1704 job no.	Construction Certificate stage.
NORTH, EAST, WEST ELEVATIONS drawing	WL drawn/checked.	A201 - 317 dwg no.
1:100 scale	27.9.04 date.	A issue.



01 - SOUTH ELEVATION



02 - SECTION LONGITUDINAL

2000 APPROVALS CONSTRUCTION CERTIFICATE

Construction Certificate No: PC25904

Accredited Certifier: Warrick Norris. Accreditation No: 6328

Signed: ..... Date: 13/12/04

ISSUE	DATE	REVISION
	27/09/04	ISSUED FOR CC

NOTES

all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

Stockland

maincom

Unit 6, 119 COREEN AVE. PENRITH NSW 2750

P (02) 4722 5900 F (02) 4722 3200
E enquires@maincom.net

0m 1m 3m 4m

FERNBROOK -WARRIEWOOD Lot 317 project	1704 job no.	Construction Certificate stage.
SOUTH ELEVATION + LONGITUDINAL SECTION drawing	WL drawn/checked.	A202 - 317 dwg no.
1:100 scale	27.9.04 date.	A issue.

URBAN APPROVALS

Principle Certifying Authority. Accredited Certifiers. BCA Consultant. NatHERS.

13th December 2004

General Manager
Pittwater Council
PO Box 882
MONA VALE 1660

Dear Sir or Madam,

RE: Lot 317 (No 25) Grevillea Ave, Warriewood

Please find enclosed *Construction Certificate* issued in respect of the subject premises and associated development consent.

Should you have further enquires do not hesitate to contact me on **1300 30 44 20**.

Yours faithfully

Warrick Norris

Enclosure:

1300 30 44 20 Private BOX 39, SOUTHLANDS CENTRE, SOUTH PENRITH NSW 2750 1300 30 46 20
urbanapprovals@callaustralia.net.au ABN: 82 096 508 842

158612

[illegible] Council

[illegible]

TAX INVOICE

OFFICIAL RECEIPT

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible] References	Amount
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
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[illegible]	[illegible]
[illegible]	[illegible]

[illegible]

[illegible]

Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

1. Location and Title Description of the Property/Land:

Street No & Street:	25 Grevillea Ave
Suburb:	WARRIEWOOD
Lot(s):	317
Section:	
Deposited Plan(s):	1065723
Strata Plan:	
Other:	

2. Applicant:

Family/Company Name:	Maincom Pty Ltd
Given Names/ACN:	
Postal Address:	6/119 Coreen Ave PENRITH 2750

3. Principal Certifying Authority:

Name:	Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.:	# 6328
Accreditation Body:	Department of Infrastructure Planning and Natural Resources (NSW)
PCA's Signature:	.....

Certification Details

4. Particulars

Determination:	☒ Approved ☐ Refused
Construction Certificate Determination Date:	13th December 2004
Construction Certificate No.:	PC25904
Building Code of Australia Classifications:	1a
DA Consent No. and Date:	N018904 - 20th May 2004
Building Details:	Detached two storey dwelling

5. PCA's Certification Statement

I, Warrick Norris, certify, that building work completed in accordance with the documentation accompanying the Construction Certificate Application made by the Applicant named in this certificate (with such modifications verified by me and Urban Approvals as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Act Regulation 2000, as required by section 81A (5) of the Environmental Planning and Assessment Act 1979.

PCA's Signature & Date: ..... 13 December 2004

6. Construction Certificate Attachments

- ☐ Structural Engineer's Plans by Palitha S. Wijesena & Associates Pty Ltd 6915/01- 02, 6915/23A-26
- ☐ ACE Hydraulic Engineer's Plans drawing number 0405-36 (Sheets 1-2) dated 17/11/04
- ☐ Signed Urban Approvals Pty Ltd Application Forms
- ☐ Plans by Maincom Pty Ltd A101/317- A202/317 Issue A dated 27/09/04

URBAN APPROVALS

Construction Certificate Application

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

Receipt of Application

Date: 1/12/04

Delivery by: ☐ Hand ☑ Post ☐ Electronic Transmission

(Must not be by facsimile)

Signed by Urban Approvals:

Application & Site Details

1. **DA, Consent Details:**

(You may only make this application if you already have development consent)

DA No.: N0189/04

Consent No.:

Consent Date:

Building Code of Australia

Classification:

(As specified on the Consent)

2. **Applicant:**

Family/Company Name: MAINCOM P/L

Given Names/ACN:

Postal Address: 6/119 COREEN AVE PENRITH 2750

Phone: 4722 5900

Facsimile: 4722 3200

Contact Person: JIMMY DAABOUL

DECLARATION

I apply for a Construction Certificate to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

(a) If incomplete, the application may be delayed or rejected, and

(b) More information may be requested by Urban Approvals prior to determination.

Signature of Applicant:

3. **Owner(s) of Property:**

Family/Company Name: STOCKLAND

Given Names/ACN:

Postal Address: 167 LIVERPOOL ST
SYDNEY 2000

Phone: (02) 9020 8330

4. **Owner's Consent:**
(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s: ..... Date: .....

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence *(eg power of attorney, executor, trustee, director)*.

Signature on behalf of Owner/s: ..... Date: .....

5. **Location and Title Description of the Property/Land:**

Street No & Street: 25, GREVILLEA AVE

Suburb: WARRIE WOOD

Lot(s): 317

Section:

Deposited Plan(s):

Strata Plan:

Other:

6. **Description of Building Work:**

Detailed Description: PROPOSED CONSTRUCTION OF TWO STOREY HOUSE.

7. **If required, have you provided:**

- ☑ 4 copies of the detailed building plans
- ☑ 4 copies of the specifications
- ☑ 2 copies of certified engineering details
- ☐ Other.....
- ☐ 2 copies of any compliance certificates to be relied upon
- ☐ proposed/existing fire safety measures
- ☐ design verification statement (certain residential flat buildings)

8. **Estimated Cost of the Development**

$ .....

9. **Builder/Owner Builder**

Name: MAINCOM P/L

Contact Phone No.: 4722 5900

Contractor Licence No.: 51707C

OR

Owner Builder Permit No.: —

(Required for residential building over exceeding $5,000)

10. **Do you need:**
(If YES, please attach proof of payment and/or compliance)

(a) to pay the Building Industry Long Service Levy?

(Required if development involves building work which exceeds $24,999)

☑ Yes
☐ Not Applicable

(b) Home Building Act Insurance?

(Required if using builder for residential building work which exceeds $12,000. A certificate of insurance must be provided with this Application)

☑ Yes
☐ Not Applicable

(c) to register with the Australian Taxation Office under the prescribed payments scheme?

☐ Yes
☑ Not Applicable

11. **Have you complied with all the conditions of development consent that require specific matters to be completed or satisfied before a construction certificate may be issued?**

(eg. Landscape & drainage plans, drainage calculations, section 94 contributions)

☑ Yes
☐ Not Applicable

12. **List of documents accompanying this Application:**

☐ ARCHITECTURAL
☐ STRUCTURAL
☐ HYDRAULIC
☐ PHOTOS.

13. **Schedule**
(The attached schedule is to be completed for the purpose of providing information to the Australian Bureau of Statistics.)

14. **BASIX Certificate attached?**

☐ Yes

☑ Not Applicable

Payment of Fees

15. **Fees and Charges:**

The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule, as updated and/or amended from time to time.

Execution

16. **Owner's Consent:**
(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s: ..... Date: .....

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence *(eg power of attorney, executor, trustee, director)*.

Signature on behalf of Owner/s: ..... Date: .....

17. **Applicant's Declaration**

DECLARATION

I declare that all the information given is true and correct. I also understand that:

(a) If incomplete, the application may be delayed or rejected, and

(b) More information may be requested within 21 days of lodgement.

Signature of Applicant:.....

Notes for Construction Certificate Applications

In accordance with Schedule 1 Part 3 of the Environmental Planning and Assessment Regulation 2000 ("Regulations"), the following documents must accompany ALL applications for a construction certificate.

(1) **An application for a construction certificate must be accompanied by the following documents:**

(a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house):

(i) a detailed description of the development, and

(ii) appropriate building work plans and specifications,

(b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion):

(i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and

(ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work,

(c) if the development involves subdivision work, appropriate subdivision work plans and specifications,

(d) in the case of development to which clause 6A of Schedule 1 to the Regulations applies, such other documents as any BASIX certificate for the development requires to accompany the application.

(2) **A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters:**

(a) for each proposed new building:

(i) the number of storeys (including underground storeys) in the building,

(ii) the gross floor area of the building (in square metres),

(iii) the gross site area of the land on which the building is to be erected (in square metres),

(b) for each proposed new residential building:

(i) the number of existing dwellings on the land on which the new building is to be erected,

(ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building,

(iii) the number of dwellings to be included in the new building,

(iv) whether the new building is to be attached to any existing building,

(v) whether the new building is to be attached to any other new building,

(vi) whether the land contains a dual occupancy,

(vii) the materials to be used in the construction of the new building (using the abbreviations set out in clause 7 of Schedule 1 of the Regulations).

(3) **Appropriate building work plans and specifications referred to in subclause (1) (a) (ii) include the following:**

(a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:

(i) a plan of each floor section, and

(ii) a plan of each elevation of the building, and

(iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and

(iv) the height, design, construction and provision for fire safety and fire resistance (if any),

(b) specifications for the development:

(i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and

(ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,

(c) a statement as to how the performance requirements of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),

(d) a description of any accredited components, processes or design sought to be relied on,

(e) copies of any compliance certificate to be relied on,

(f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,

(g) in the case of development to which clause 6A applies, such other matters as any BASIX certificate for the development requires to be included in the plans and specifications.

(3A) An application for a construction certificate that relates only to fire link conversion need only be accompanied by a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.

(4) Appropriate subdivision work plans and specifications referred to in subclause (1) (c) include the following:

(a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),

(b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,

(c) detailed engineering plans as to the following matters:

(i) earthworks,

(ii) roadworks,

(iii) road pavement,

(iv) road furnishings,

(v) stormwater drainage,

(vi) water supply works,

(vii) sewerage works,

(viii) landscaping works,

(ix) erosion control works,

(d) copies of any compliance certificates to be relied on.

Building & Construction Industry

LONG SERVICE PAYMENTS CORPORATION

Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250
Telephone: 13 14 41 Facsimile: (02) 9287 5685
All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FORM

0233603

PLEASE PRINT ALL DETAILS USING CAPITALS

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE TO PAY LEVY

Surname (if person) or Company/Organisation Name: MAINCOM P/L

Given Names (if person):

ABN (if applicable): 23 080 619 174

POSTAL ADDRESS No. and Street or P.O. Box: LOCKED BAG 89

Town/Suburb: PENRITH

State: NSW Postcode: 2751 Business Hours Phone No.: 47225900

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street: 25 GREVILLEA

Town / Suburb: WARRIEWOOD

State: NSW Postcode: 2102

Estimated Start Date: 01/01/2005 Estimated Finish Date: 30/07/2005

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area: PITTWATER COUNCIL

D.A./C.C./C.D.C. No. (circle which): PC25A04

Estimated value of work: $,343,764.00 Levy Payable: $,687.00

Signature of Officer/Private Certifier: [signature] Date: 6/12/04

Name of Officer/Private Certifier: Warrick Norris Business Hours Phone No. (Private Certifier): 1300304620

NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept./authority where applicable - see reverse

Dept./Authority:

Contract No.: Contract Amount: $, , , .00

Levy Payable: $, , .00

Contact Person (Print): Signature:

Contact Phone Number: Date: / /

Part E - DECLARATION - (To be signed by person liable to pay levy - or authorised officer if Company)

I declare that the information provided on this form is true and correct to the best of my knowledge

NOTE: Any false or misleading information provided on this form may result in prosecution under Section 58A

Signature: [signature] Date: 6/12/04

Print name: Warrick Norris

Part F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No.

Form 0211180

DESIGN STATEMENT

Pursuant to the provisions of Part 4A of the Environmental Planning and Assessment Regulations 2000

Project Description:	Residential Dwelling
Project Address	Lot 317 – 25 Grevillea Avenue Warriewood
Name of person providing statement:	Paul Arraj
Qualifications:	B.E. (CIVIL), Grad E, P. Eng
Firm:	ACE Civil & Hydraulic Engineers
Address of firm:	8 Leighdon Street Bass Hill, NSW, 2197
Contact details:	Ph 9790 7921 or Mobile: 0412 331 151

Hereby certify:

That the hydraulic plan (Job No 0405-36) prepared by ACE Civil & Hydraulic Engineers, is based on the architectural details listed below and has been designed to comply with the Australian Standards, conditions of development consent, Councils Policies, as listed below and the Building Code of Australia.

Architectural details prepared by:	edko architecture
Australian Standards:	AS/NZ 3500.3.2:1998
Conditions of Development Consent:	NO189/04 - (Conditions B20, B23b, B26a, B27a, B29 and B29a)
Council Policy:	Pittwater Council

Signature: Paul Arraj Date: 18/11/04

Lot 317

Residential Construction Warranty

vero
construction and engineering

Certificate of Insurance

Maincom Pty Ltd
Locked Bag 39
PENRITH NEW SOUTH WALES 2751

Form 1
Section 92
Home Building Act 1989

Builder's Copy
Issue Date: 10/11/2004
Certificate No: RCW71621910

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: October 29, 2004
Declared Building Contract Value: $331,875.00
(Refer policy for indemnity limit)

Carried Out By: Maincom Pty Ltd
ABN: 23080619174
Licence No: 51707C

For: Stockland Development Pty Ltd

In Respect Of: Single Dwelling
At: House No. 25
Grevillea Ave
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

INVOICE
Total Price: $4,126.87

N MJAIBLB9H1TG Printed 10/11/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

Vero Construction and Engineering is a division of Vero Insurance Limited.
V4684 RTK 11/03

URBAN APPROVALS

Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

1. Location and Title Description of the Property/Land:

Street No & Street:	25 Grevillea Ave
Suburb:	WARRIEWOOD
Lot(s):	317
Section:	
Deposited Plan(s):	1065723
Strata Plan:	
Other:	

2. Applicant:

Family/Company Name:	Maincom Pty Ltd
Given Names/ACN:	
Postal Address:	6/119 Coreen Ave PENRITH 2750

3. Principal Certifying Authority:

Name:	Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.:	# 6328
Accreditation Body:	Department of Infrastructure Planning and Natural Resources (NSW)
PCA's Signature:	.....

Certification Details

4. Particulars

Determination:	☒ Approved ☐ Refused
Construction Certificate Determination Date:	13th December 2004
Construction Certificate No.:	PC25904
Building Code of Australia Classifications:	1a
DA Consent No. and Date:	N018904 - 20th May 2004
Building Details:	Detached two storey dwelling

5. PCA's Certification Statement

I, Warrick Norris, certify, that building work completed in accordance with the documentation accompanying the Construction Certificate Application made by the Applicant named in this certificate (with such modifications verified by me and Urban Approvals as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Act Regulation 2000, as required by section 81A (5) of the Environmental Planning and Assessment Act 1979.

PCA's Signature & Date: ..... 13 December 2004

6. Construction Certificate Attachments

- ☐ Structural Engineer's Plans by Palitha S. Wijesena & Associates Pty Ltd 6915/01- 02, 6915/23A-26
- ☐ ACE Hydraulic Engineer's Plans drawing number 0405-36 (Sheets 1-2) dated 17/11/04
- ☐ Signed Urban Approvals Pty Ltd Application Forms
- ☐ Plans by Maincom Pty Ltd A101/317- A202/317 Issue A dated 27/09/04

PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 29-Oct-04
Receipt No: 184448
Amount: $165.00

Name: Maincom
Postal Address: Locked Bag 89
PENRITH NSW 2751

APPROVED ACCESS DRIVEWAY PROFILE AT:

25 Grevillea Avenue, Warriewood.

The future vehicular access profile will be as per the enclosed plan **NH.**

WORK REQUIRED:

Construct: Vehicular access slab 3.8m long x 3.5m wide at gutter crossing to 3.5m wide at the boundary.

Contact Council before forming up.

Type of Construction: Domestic

VEHICULAR ACCESS

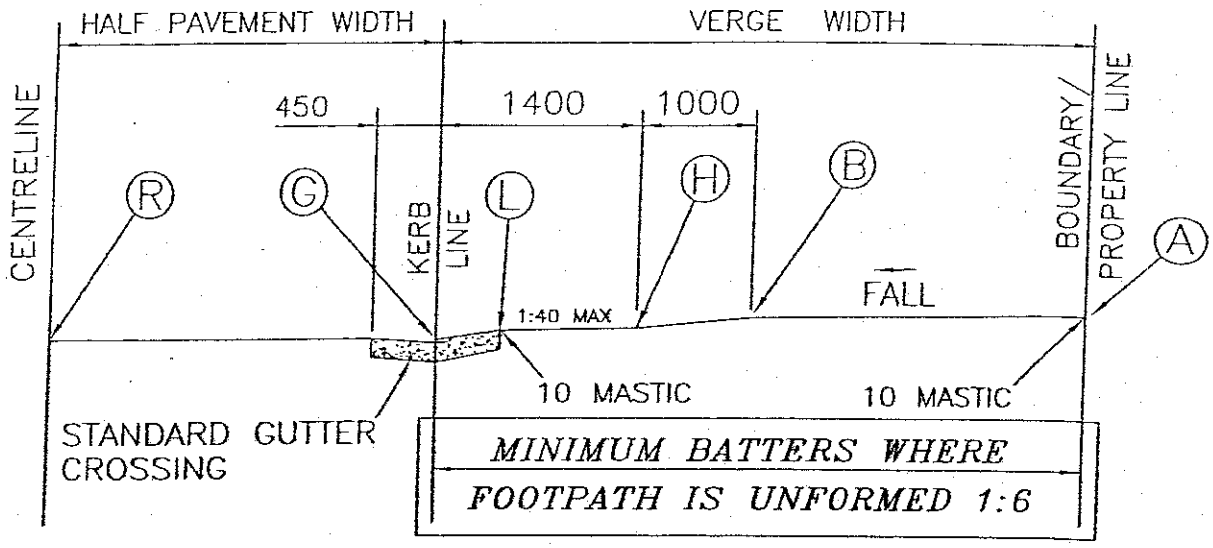
(a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
(b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
(c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

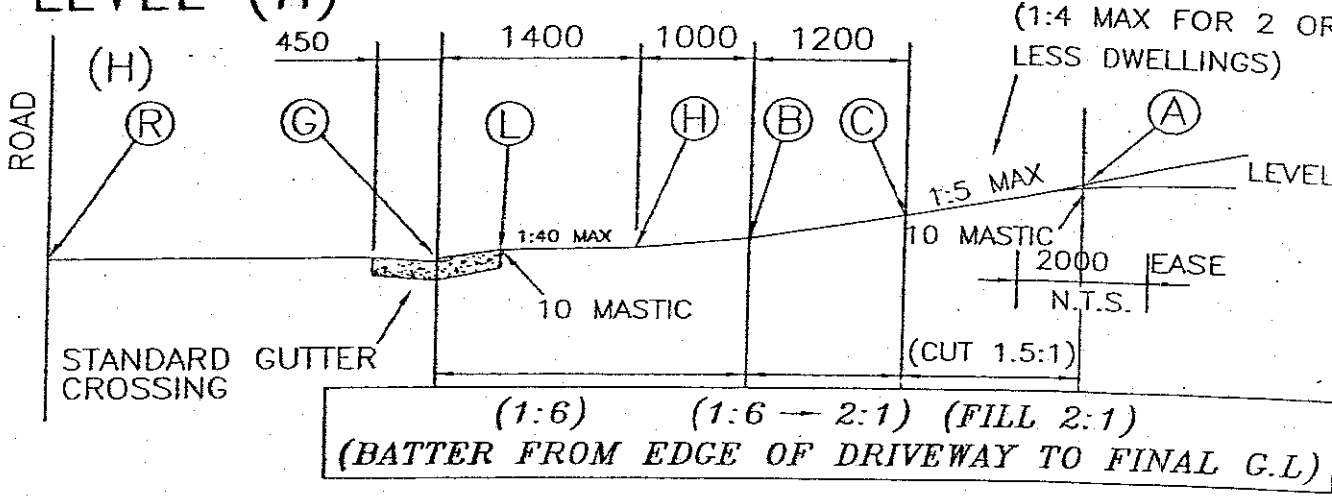
Sigi Melderis
ASSETS / RESTORATIONS OFFICER

STANDARD DRIVEWAY PROFILES FOR ALL DEVELOPME

NORMAL (N)



HIGH LEVEL (H)



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
H	1000 FROM BACK OF LAYBACK	130 ABOVE "G"
B	2400 FROM KERB LINE	MAX 200 ABOVE "G"
C	3600 FROM KERB LINE	MAX 400 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

1. All construction within the road reserve to be in plain uncoloured 20MPa concrete unless otherwise approved by Council.
2. Single dwellings – 20Mpa concrete 130mm thick.
   – Dual occupancies where the crossing services both dwellings – 20Mpa concrete 150mm thick with F72 reinforcement.
3. The Vehicular crossing and the driveway to 2400 behind the kerbline is to be graded parallel with the road centre line grading.
4. Driveway pavers to be laid on a 100mm concrete base.

PITTWATER COUNCIL

Standard Driveway Profiles

NORMAL TO HIGH

PLAN No.

NH–

SHEET No. | No. of SHE

PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 29-Oct-04
Receipt No: 184448
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