

Project details

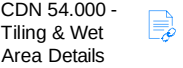
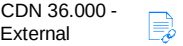
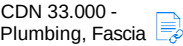
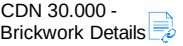
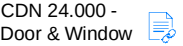
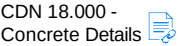
Thermal Comfort

Skylights	N/A
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Energy

ABN: 77 614 736 284

CHN - CONSTRUCTION DETAILS



SITE:	559.30 m ²
GROUND FLOOR:	147.99 m ²
FIRST FLOOR:	171.23 m ²
GARAGE:	33.98 m ²
PORCH:	3.18 m ²
BALCONY:	N/A m ²
ALFRESCO:	N/A m ²
PATIO SLAB	3.82 m ²
TOTAL:	360.20 m ²

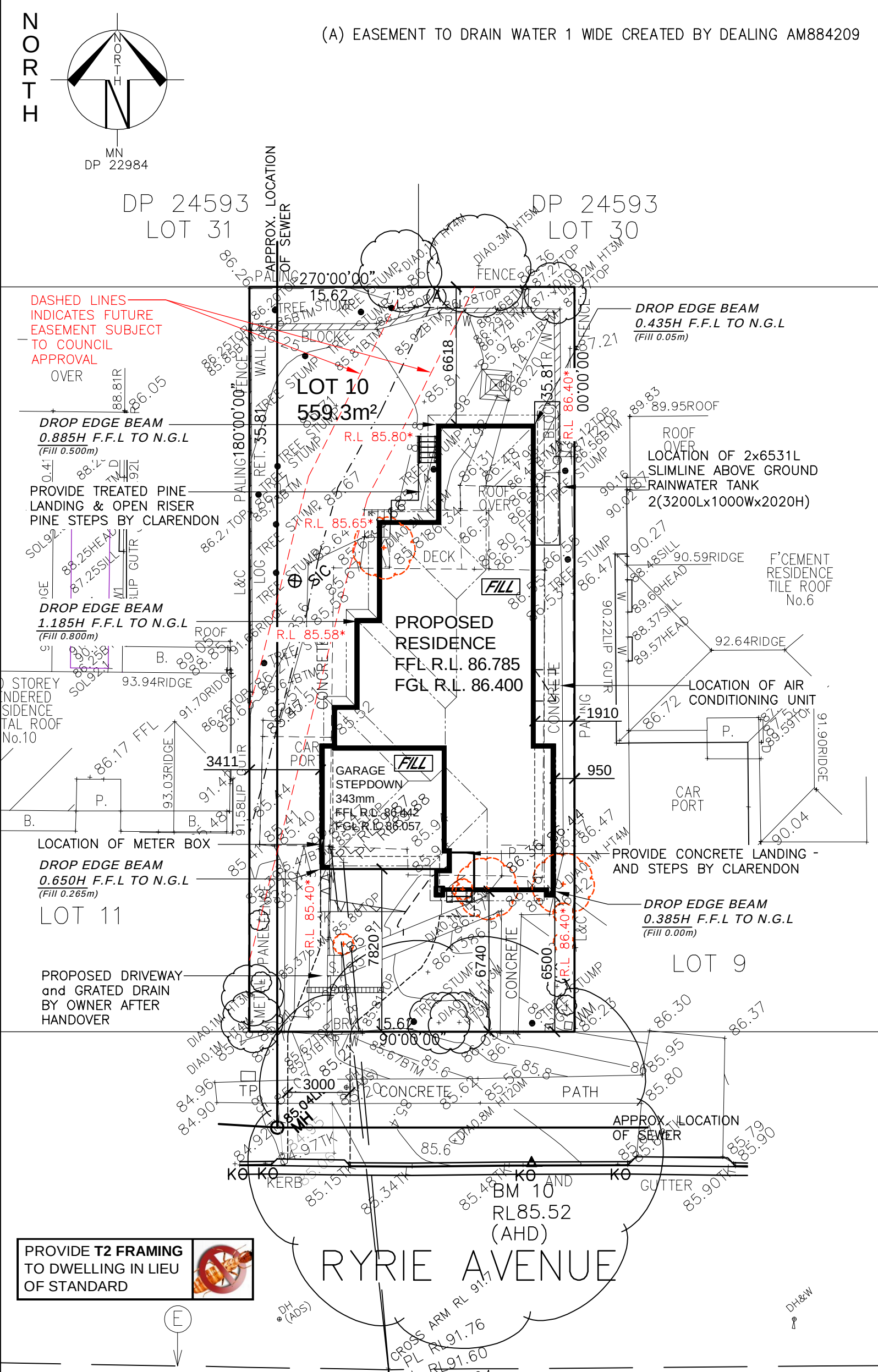
2.5	ELEVATION SHADOWS
2.4	SHADOW DIAGRAMS
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS
2.1	CONSTRUCTION MANAGEMENT
11	SLAB PLAN
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

REV	DATE	AMENDMENTS
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LUXE

Master Issued: 11.12.24 Revision: A

D.A. DRAWING		
DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: NA	CHECKED: CY.	
SHEET: 1	JOB No: 29917225	NSW



LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	559.3 m ²
ROOF AREA	209.93 m ²

LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	290.6 m ² 52 %
MIN. REQUIRED BY COUNCIL:	40 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	138.4 m ² 60 m ²
MIN. REQUIRED BY COUNCIL:	60 m ²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	210.1m ²
DRIVEWAY/ PAVED AREAS:	41m ²
TOTAL:	251.1m ² 44.9 %
MAX SITE COVERAGE FOR OSD:	40%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	317.2 m ² 56.7 %

 DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	H1	ZONE 5

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

**RETAINING WALLS TO BE CONSTRUCTED
WHOLLY WITHIN PROPERTY BOUNDARY
INCLUDING DRAINAGE AND FOOTINGS**

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS

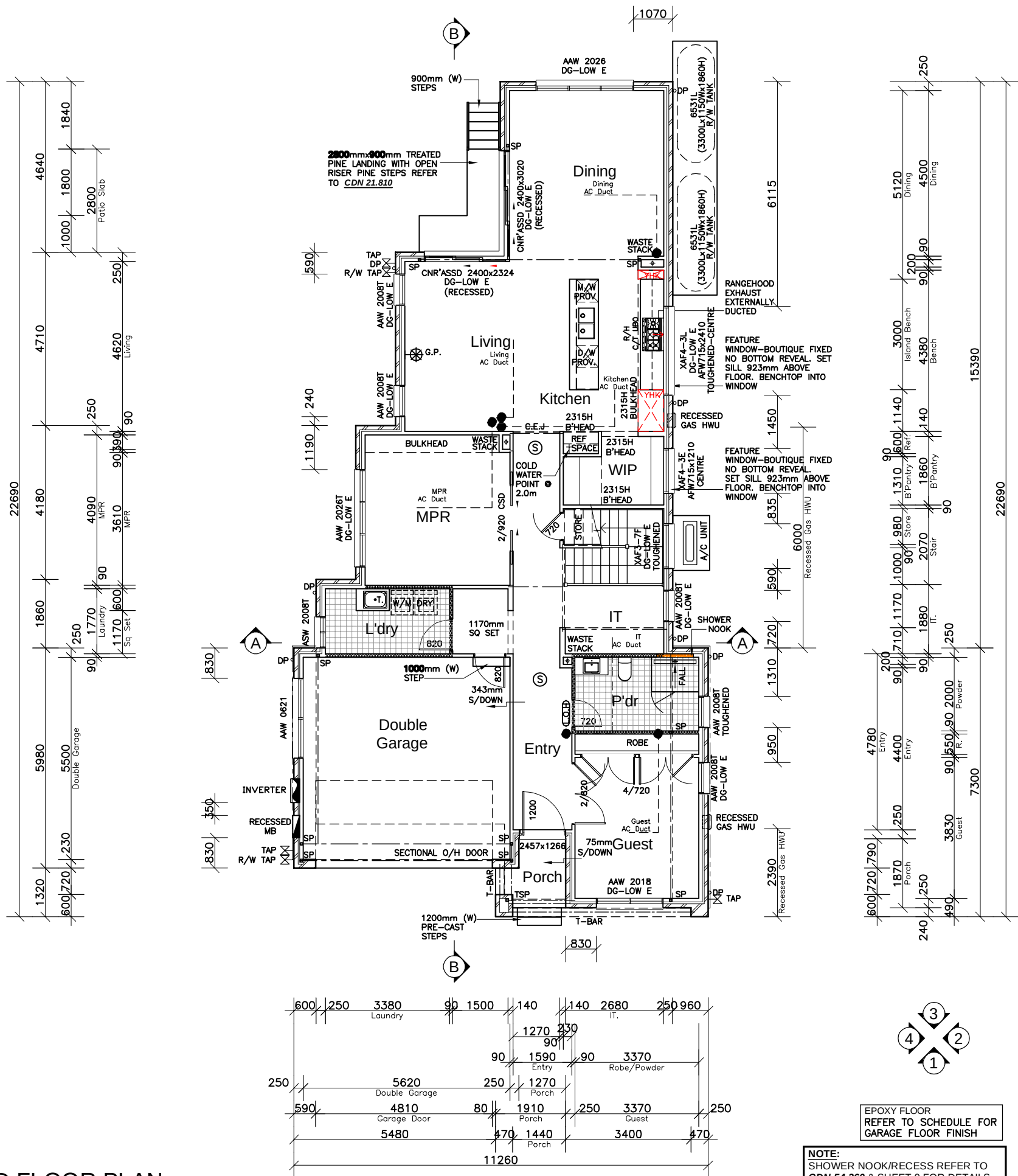
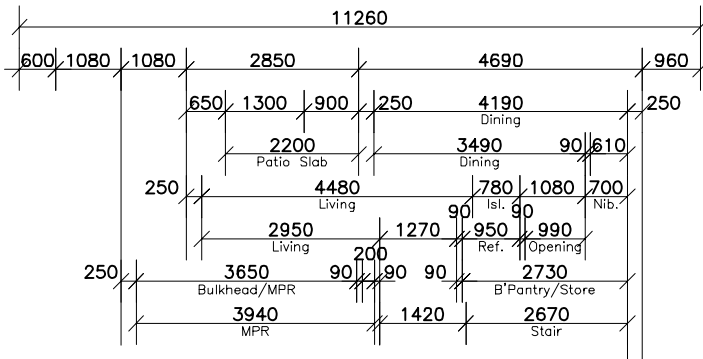
SITE PLAN
SCALE 1:200
GENERAL NOTES
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLARENDOHOMES
BROOKLYN 36
Southport
L/H Garage
LUXE

**REFER TO PAGE 7 FOR
DRIVEWAY PROFILE**
**LEVELS TO BE STRICTLY ADHERED
TO AS SHOWN ON SITE PLAN
NO + OR - 100mm
TOLERANCE TO LEVELS**

NOTE -
CLIENT TO INSTALL CEILING FANS TO LIVING,
MPR, GUEST, LEISURE, STUDY, BED 1, BED 2,
BED 3, and BED 4 AFTER HANDOVER TO
COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS
INSTALLED

NOTES
• SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB • WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS, (NCC 2022) • EXHAUST AIR DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2, (NCC 2022) • PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC • 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE) • INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



SCALE: 1:125

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 9 FOR DETAILS

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

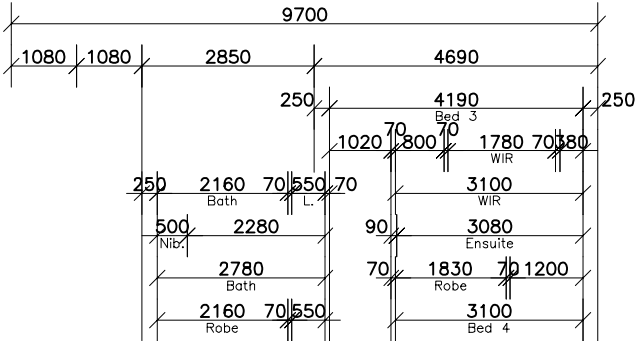
 PROVIDE R2.0 INSULATION
WALL BATTS TO INTERNAL
WALLS OF LAUNDRY, P'DR,
and BATHROOM (ONLY)



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BROOKLYN 36 Southport L/H Garage LUXE	CLIENT: Mr HUANG Ms JIANG	D.A. DRAWING		
			SITE ADDRESS: Lot 10 No.8 Ryrie Avenue Forestville 2087	DRAWN: MTK	DATE: 19.12.24	Rev: E
				RATIO @ A3: 1:125	CHECKED: CY.	
				SHEET: 3	JOB No: 29917225	NSW

---	STRUCTURAL BEAM
Ⓢ	SMOKE ALARM
⊗	EXHAUST FAN
DP ○	DOWN PIPE
TAP ⊗	GARDEN TAP
⊔	LIFT OFF HINGES
MUA	MAKE-UP AIR VENT
↻	EAVE VENTS
⊗→	EXHAUST FAN WITH RUN-ON TIMER
FWG ⊗	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
⊕	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT



- NOTES
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY

•

WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS (NCC 2022)

•

BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.

•

WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC

•

WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC

•

EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)

•

PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC

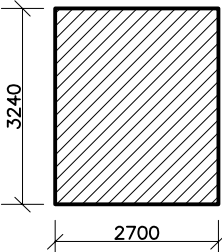
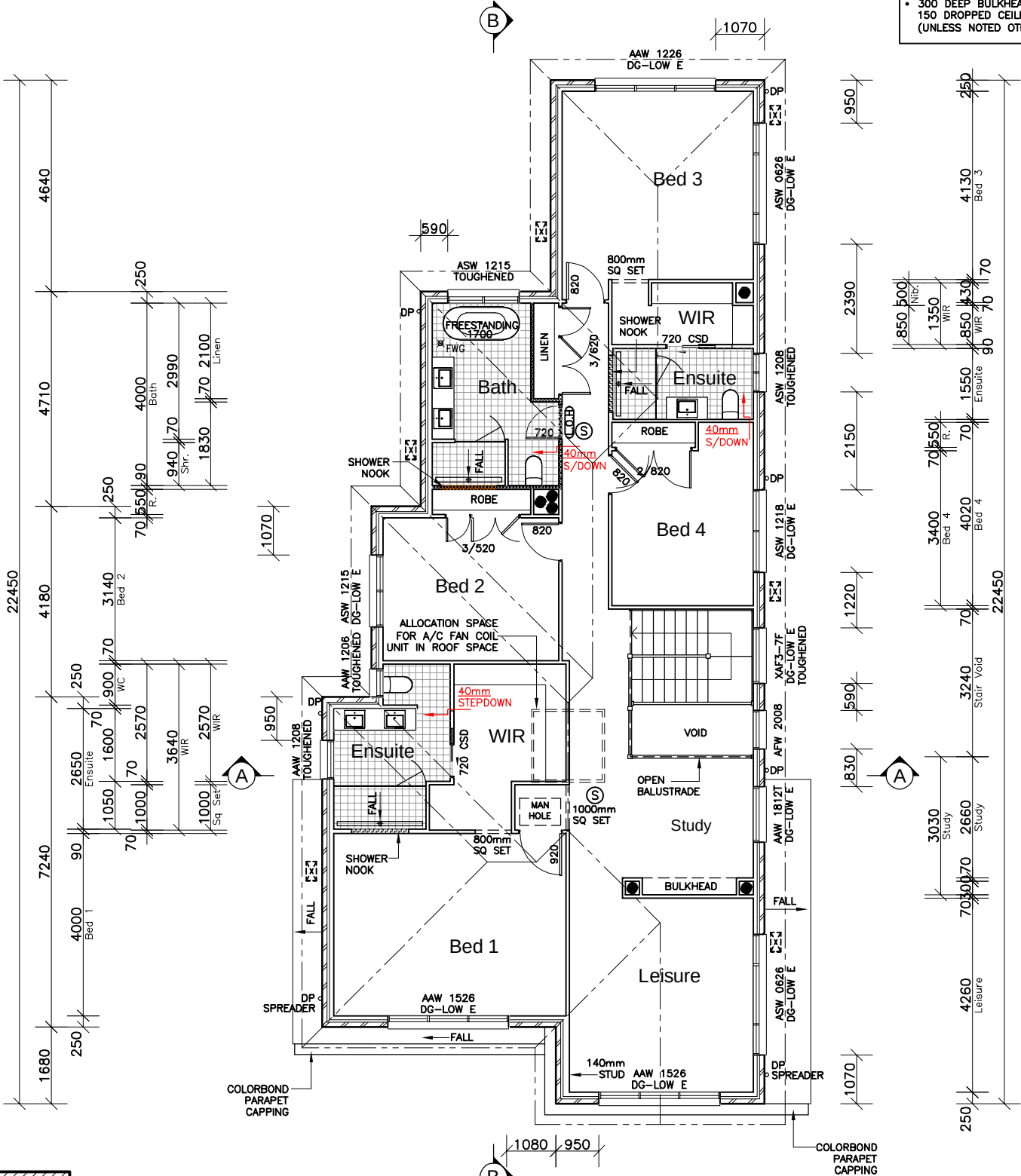
•

300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)

NOTE -

CLIENT TO INSTALL CEILING FANS TO LIVING, MPR, GUEST,LEISURE, STUDY, BED 1, BED 2, BED 3, and BED 4 AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS

O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED

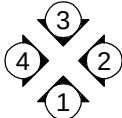
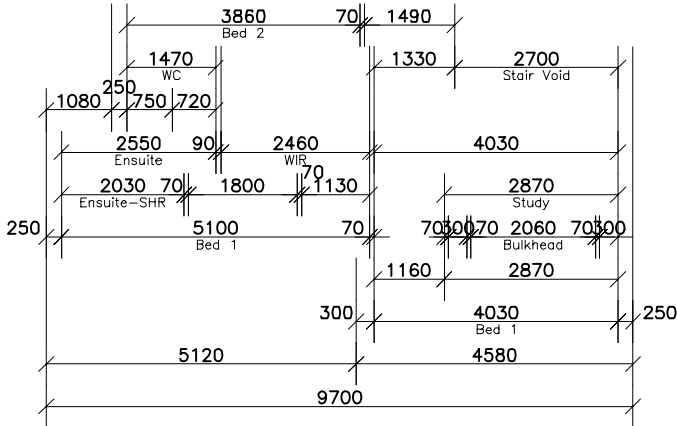


STAIR CUTOUT

SCALE 1:100

FIRST FLOOR PLAN

SCALE: 1:125



- NOTE:
- INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)
- NOTE:
- SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS
- SOLAR INCLUSION
- * 3.3 KW SMART SOLAR SYSTEM
- * INVERTER
- PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY, P'DR, and BATHROOM (ONLY)



CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C

ABN 18 003 892 706

Clarendon Homes (NSW) P/L

21 Solent Circuit, Baulkham Hills NSW 2153

T: (02) 8851 5300

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PRODUCT:

BROOKLYN 36

Southport

L/H Garage

LUXE

CLIENT:

Mr HUANG

Ms JIANG

SITE ADDRESS:

Lot 10 No.8

Ryrie Avenue

Forestville 2087

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: 1:125	CHECKED: CY.	
SHEET: 4	JOB No: 29917225	

NSW

HEBEL FLOORING
CONSTRUCTION
(EXCLUDES WET AREAS)

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
LOW 'E' GLAZING

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD

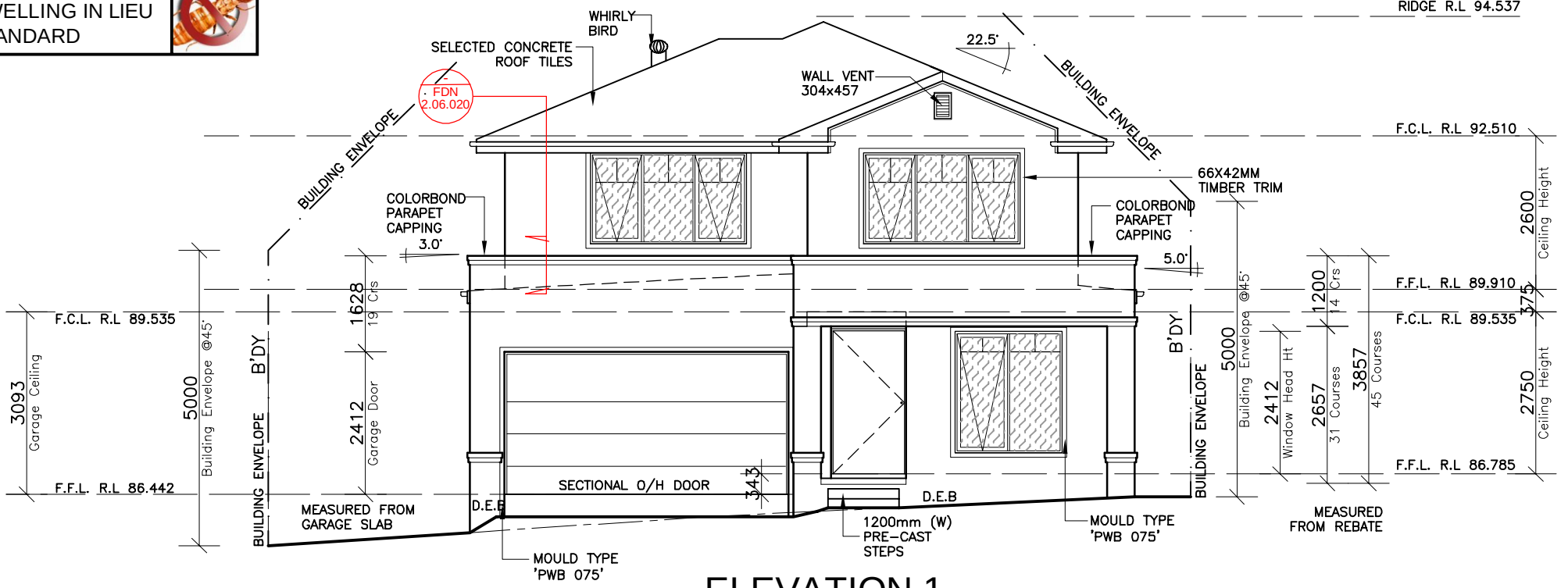


Selected Render Coating

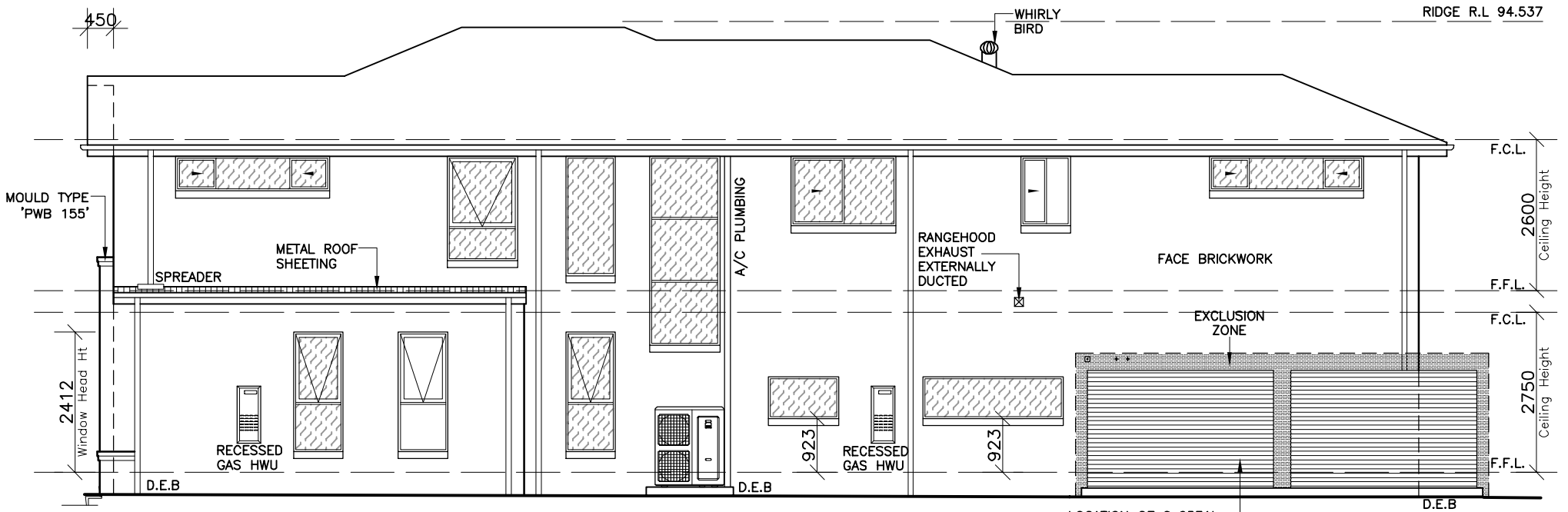
NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-



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BROOKLYN 36
Southport
L/H Garage

LUXE

CLIENT:
Mr HUANG
Ms JIANG
SITE ADDRESS:
Lot 10 No.8
Ryrie Avenue
Forestville 2087

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 5	JOB No: 29917225	NSW

HEBEL FLOORING
CONSTRUCTION
(EXCLUDES WET AREAS)

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



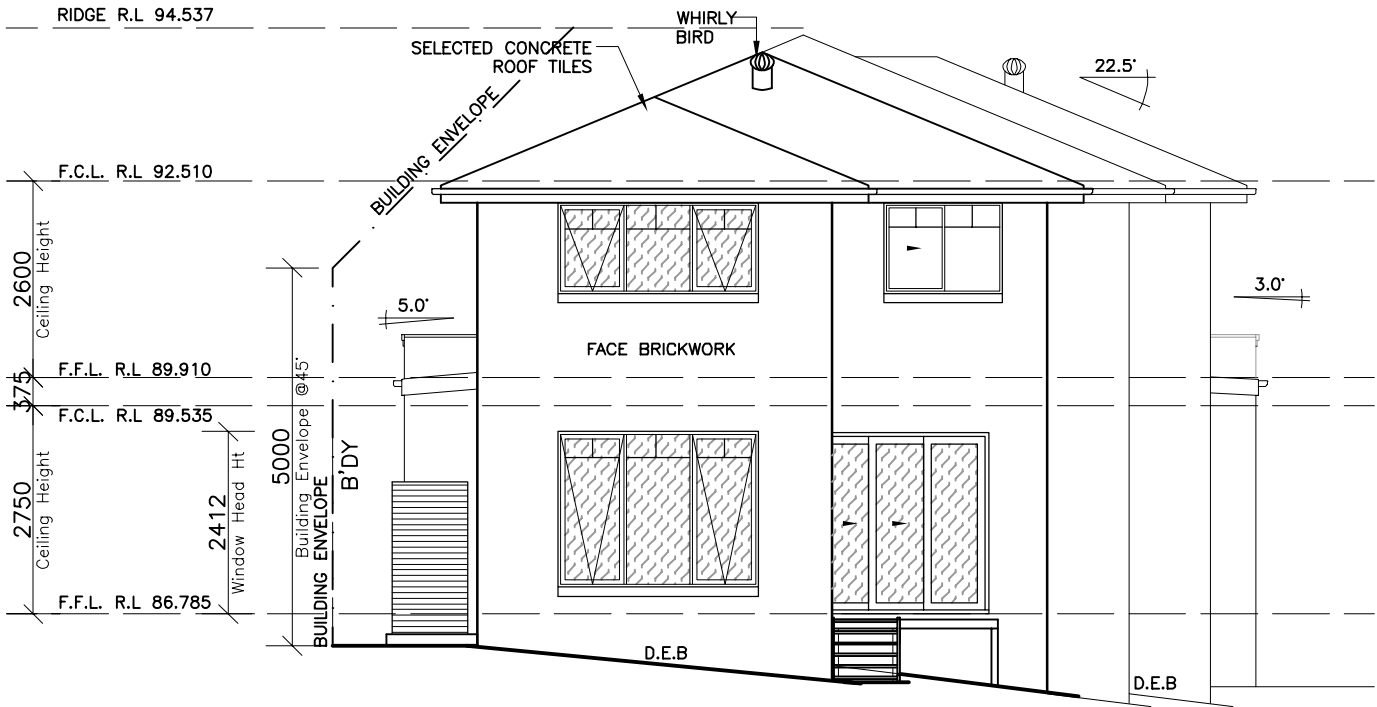
Selected Render Coating

NOTES:
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CDN 21.010-21.080

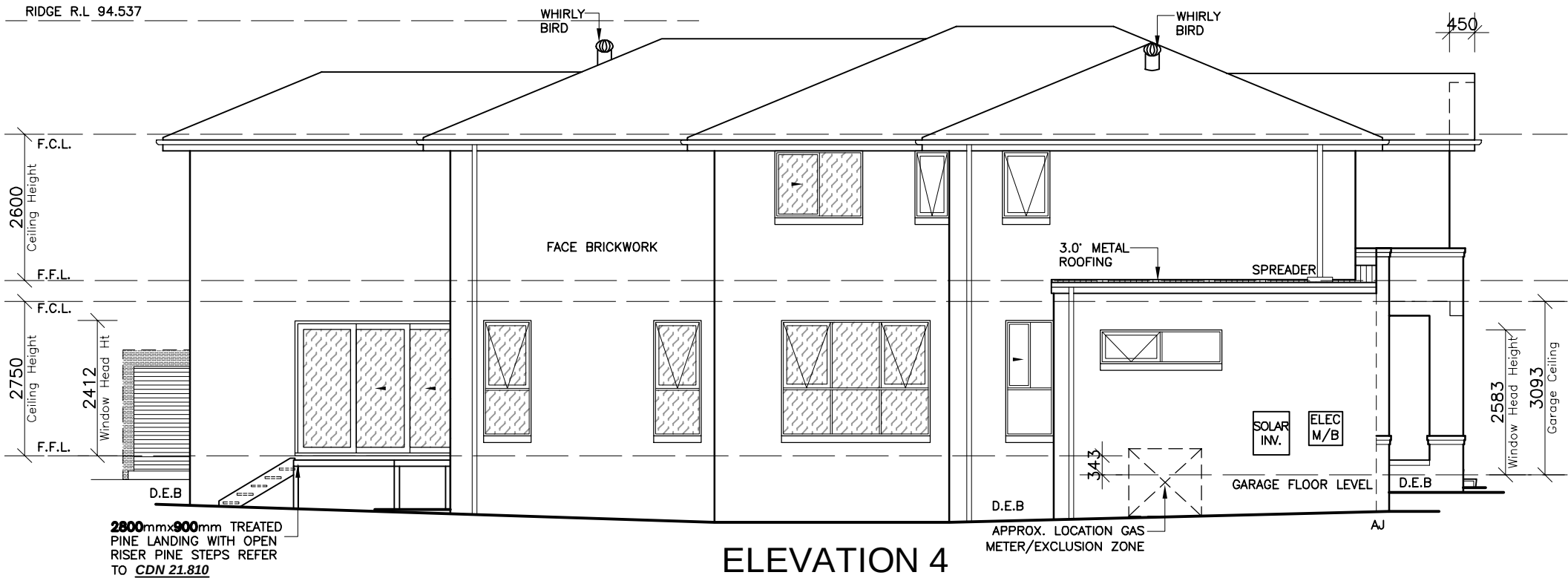
NOTE:
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NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
LOW 'E' GLAZING



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
BROOKLYN 36
Southport
L/H Garage

LUXE

CLIENT:
**Mr HUANG
Ms JIANG**

SITE ADDRESS:
**Lot 10 No.8
Ryrie Avenue
Forestville 2087**

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 6	JOB No: 29917225	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

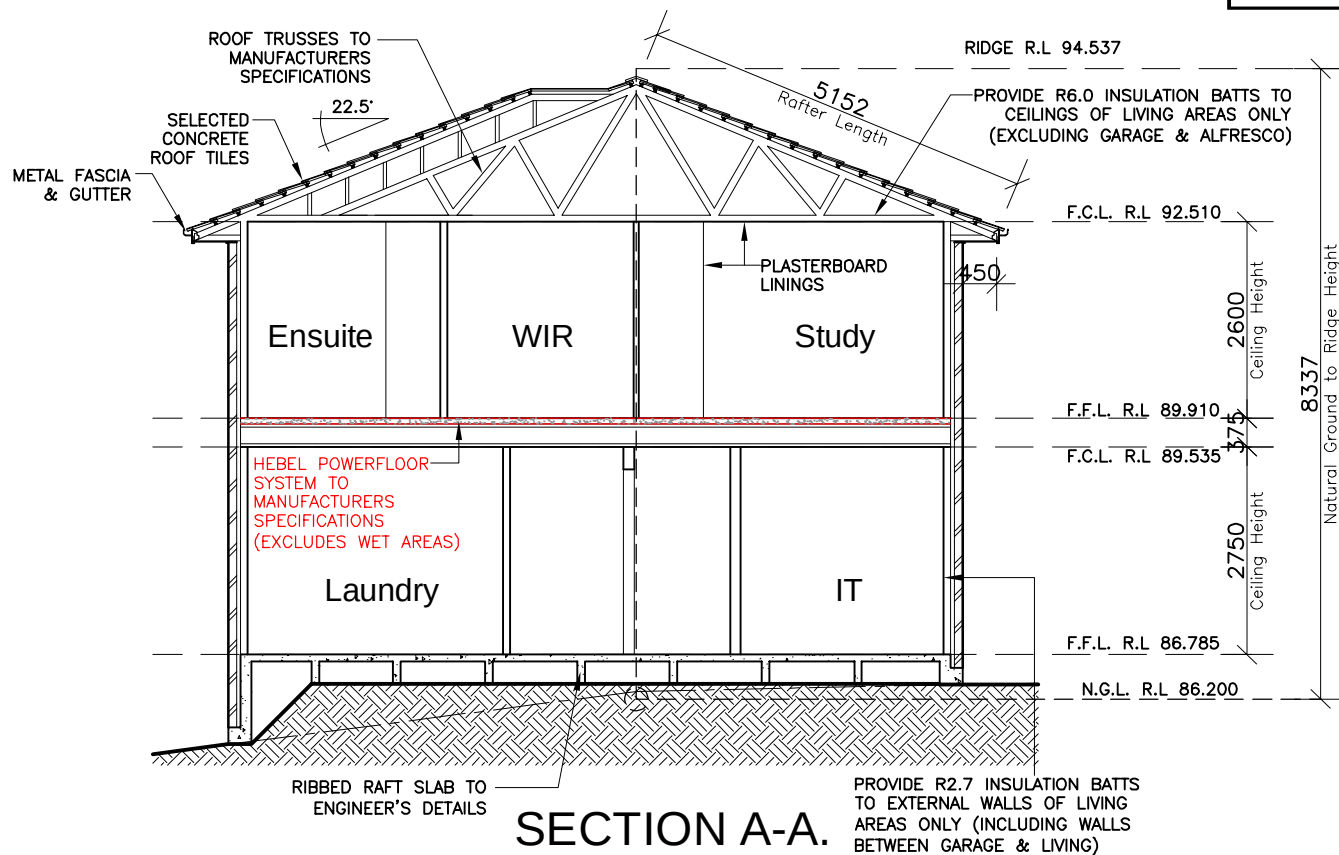
PROVIDE R5.0 INSULATION BATTS TO
CEILING JOISTS BETWEEN GARAGE
& FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS
TO CEILING JOISTS BETWEEN PORCH
& FIRST FLOOR
(R3.5 INSULATION INSTALLED AS
PART OF CONSTRUCTION METHOD)

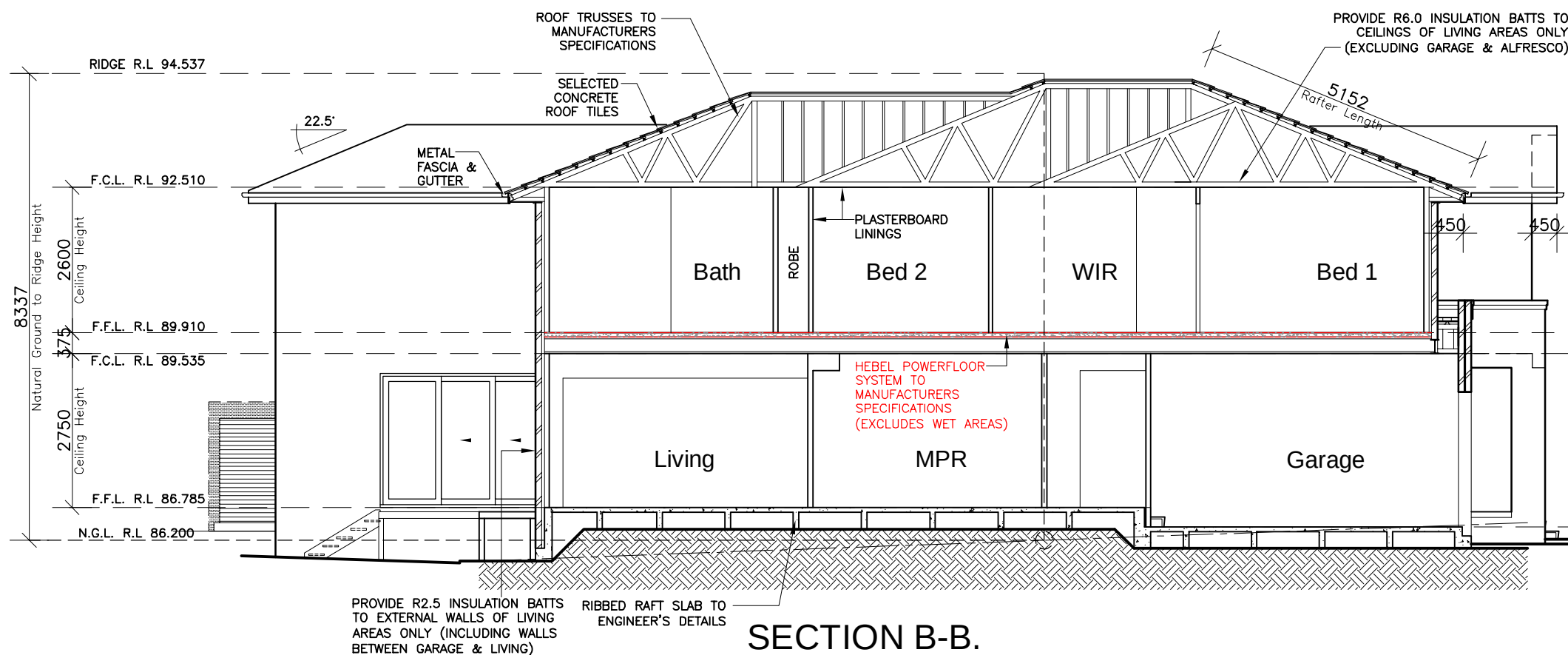
PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



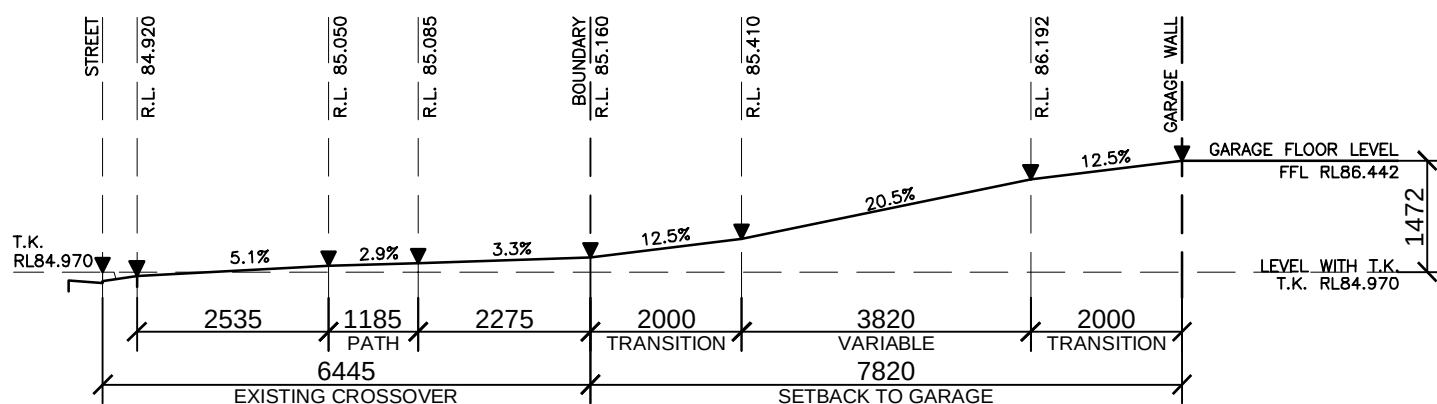
**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)



SECTION A-A.



SECTION B-B.



DRIVEWAY GRADIENT PROFILE

SCALE-1:100



CLIENT'S SIGNATURE: _____ DATE: _____

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LUXE

CLIENT:
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SITE ADDRESS:
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Forestville 2087**

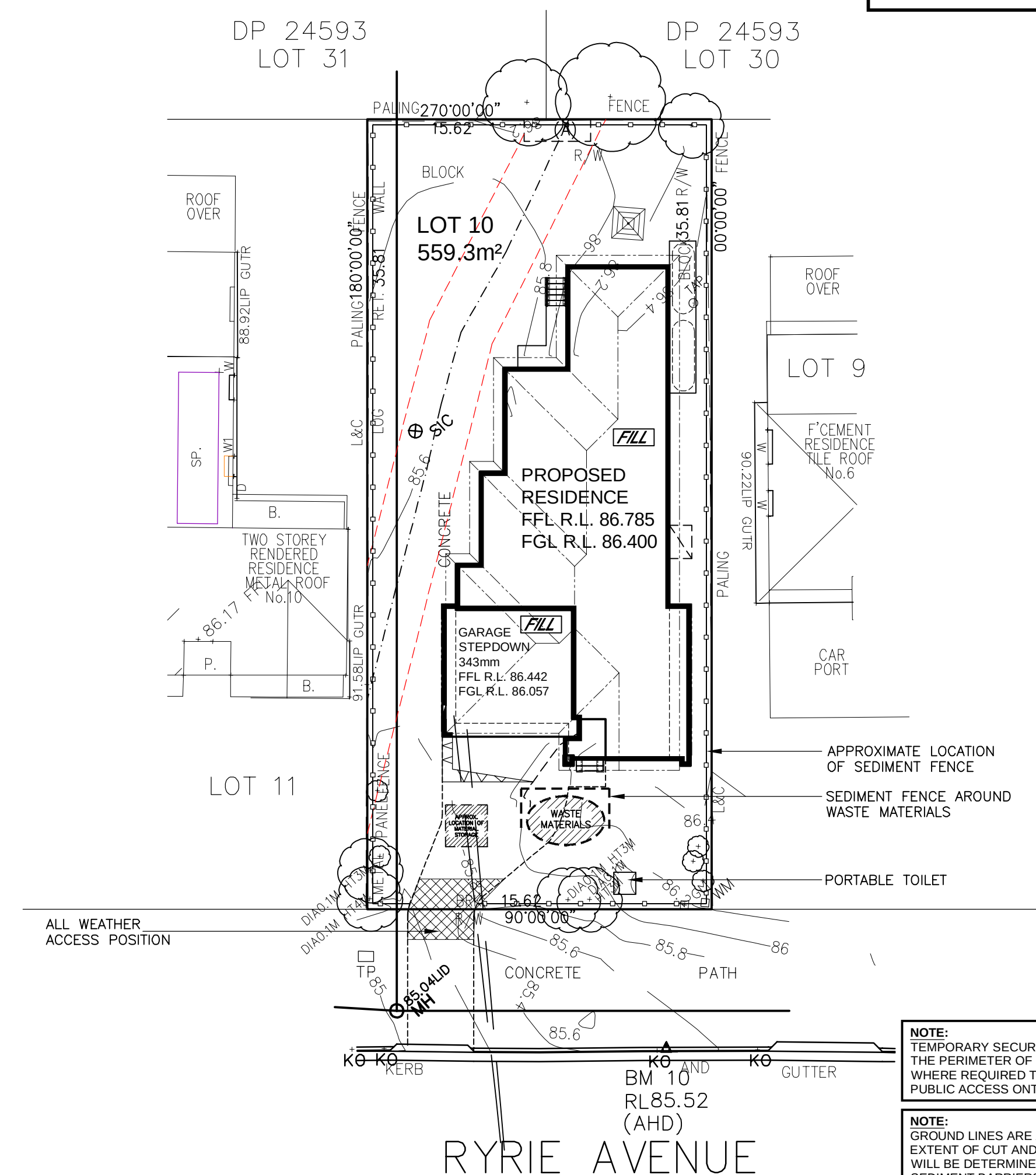
D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 7	JOB No: 29917225	NSW

LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

DP 24593
LOT 30

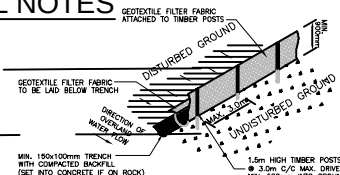


NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND COMPLETED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAIN DRAINAGE TRENCH.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED OFF-ROAD AND COVERED WITH A THICK LAYER OF CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE MAINTAINED.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED UNDER THE ROAD SURFACE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED.



SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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PRODUCT:
BROOKLYN 36
Southport
L/H Garage

LUXE

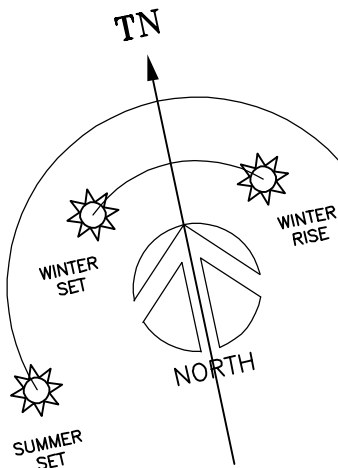
CLIENT:
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SHEET: 2.1	JOB No: 29917225	NSW

NORTH

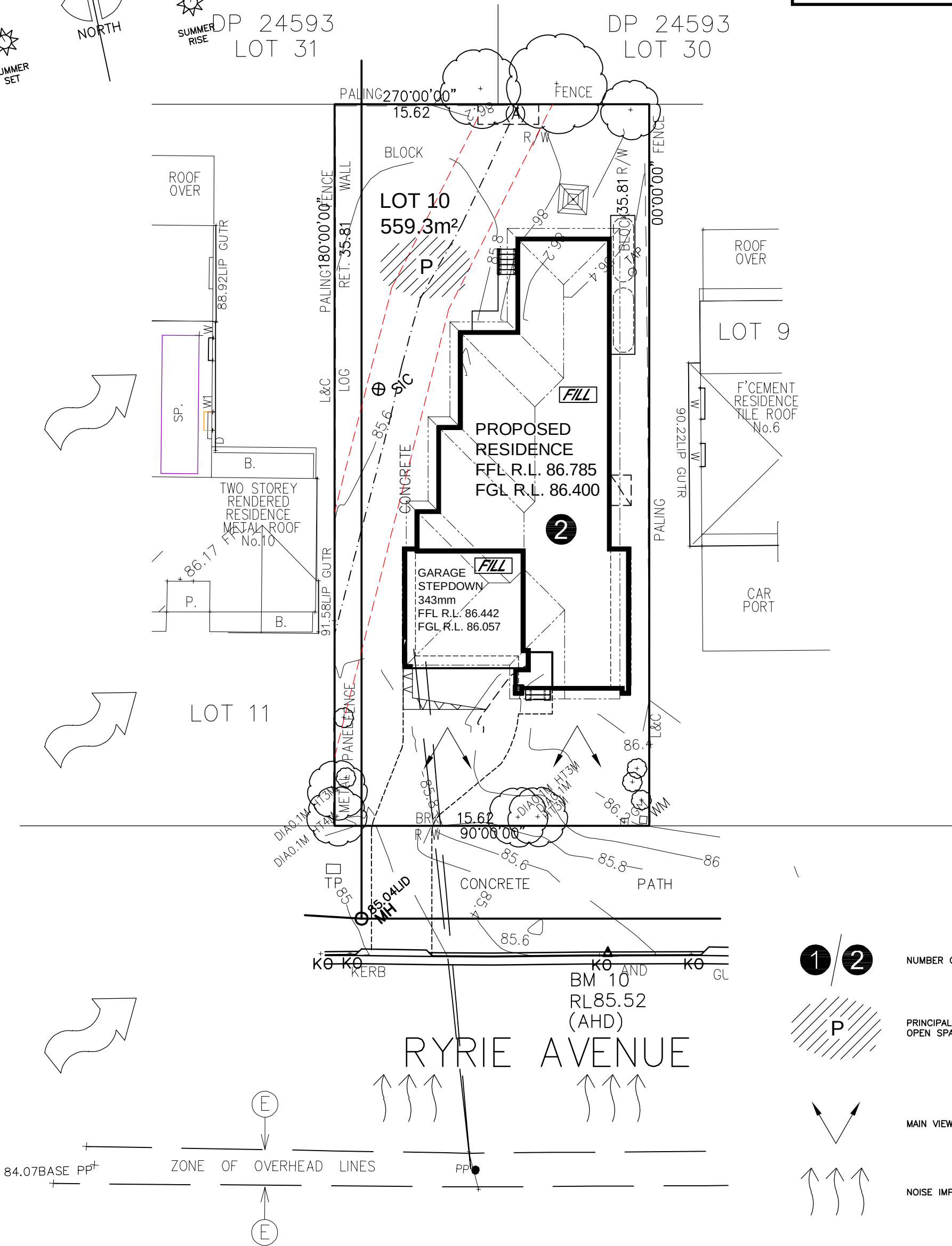


DP 24593
LOT 31

DP 24593
LOT 30

LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

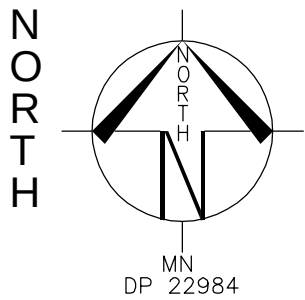
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



- 1/2 NUMBER OF STOREYS
- P PRINCIPAL PRIVATE OPEN SPACE
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: BROOKLYN 36 Southport L/H Garage LUXE		CLIENT: Mr HUANG Ms JIANG SITE ADDRESS: Lot 10 No.8 Ryrie Avenue Forestville 2087		D.A. DRAWING		
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.				DRAWN: MTK	DATE: 19.12.24	Rev: E
						RATIO @ A3: 1:100	CHECKED: CY.	
						SHEET: 2.2	JOB No: 29917225	NSW



LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

DP 24593 LOT 31
ELEVATION 1 -SOUTH-
DP 24593 LOT 30



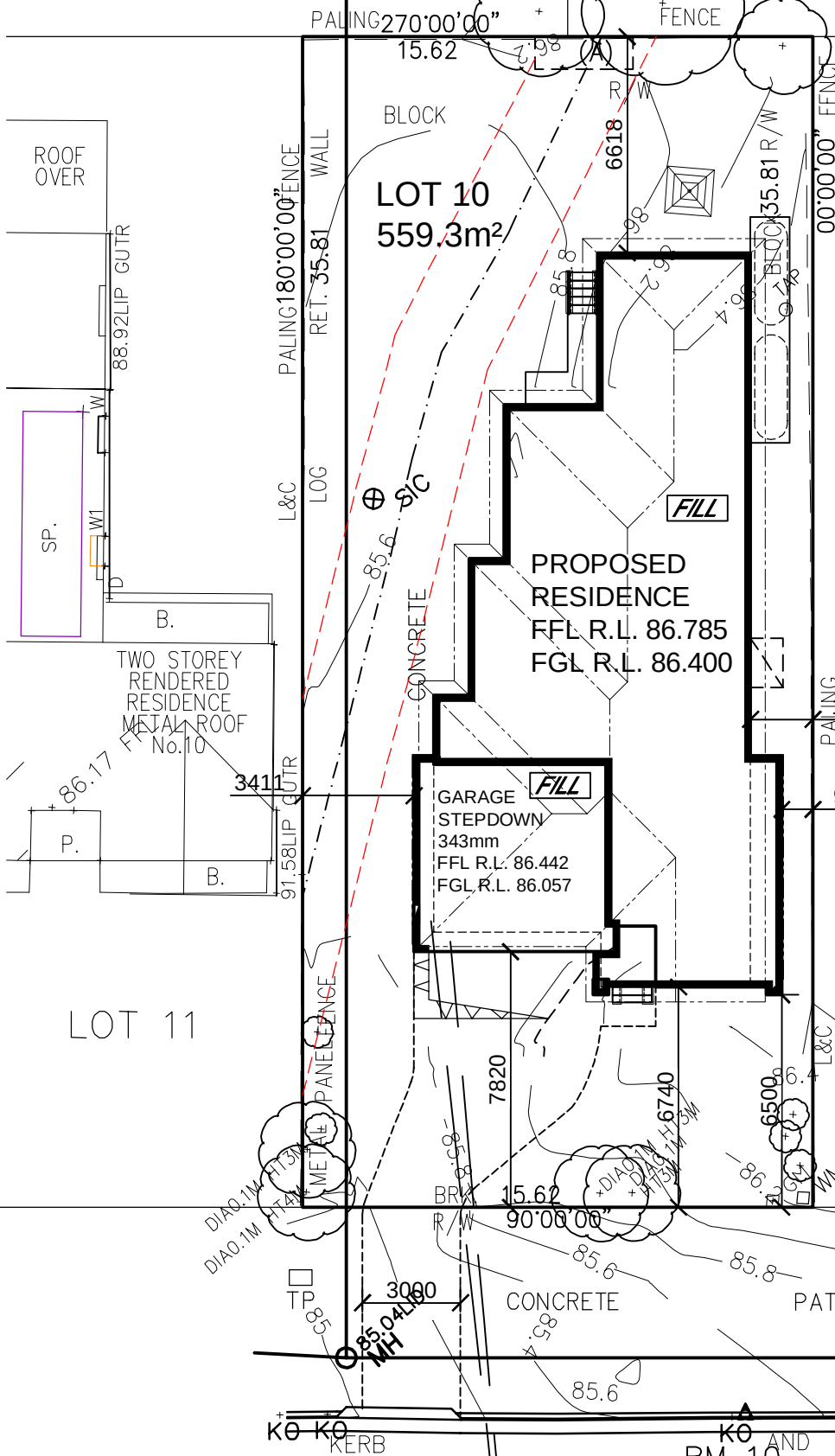
ELEVATION 2
-EAST-



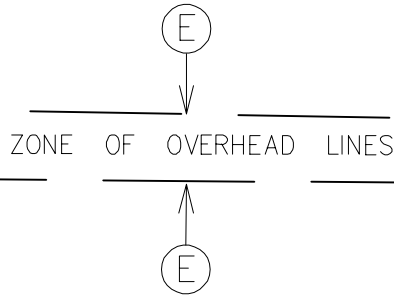
ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-



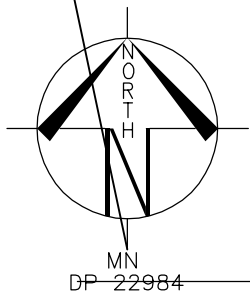
RYRIE AVENUE



NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____		DATE: _____								
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.		PRODUCT: BROOKLYN 36 Southport L/H Garage LUXE		CLIENT: Mr HUANG Ms JIANG SITE ADDRESS: Lot 10 No.8 Ryrie Avenue Forestville 2087		D.A. DRAWING		
								DRAWN: MTK	DATE: 19.12.24	Rev: E
								RATIO @ A3: 1:100	CHECKED: CY.	
								SHEET: 2.3	JOB No: 29917225	

NORTH

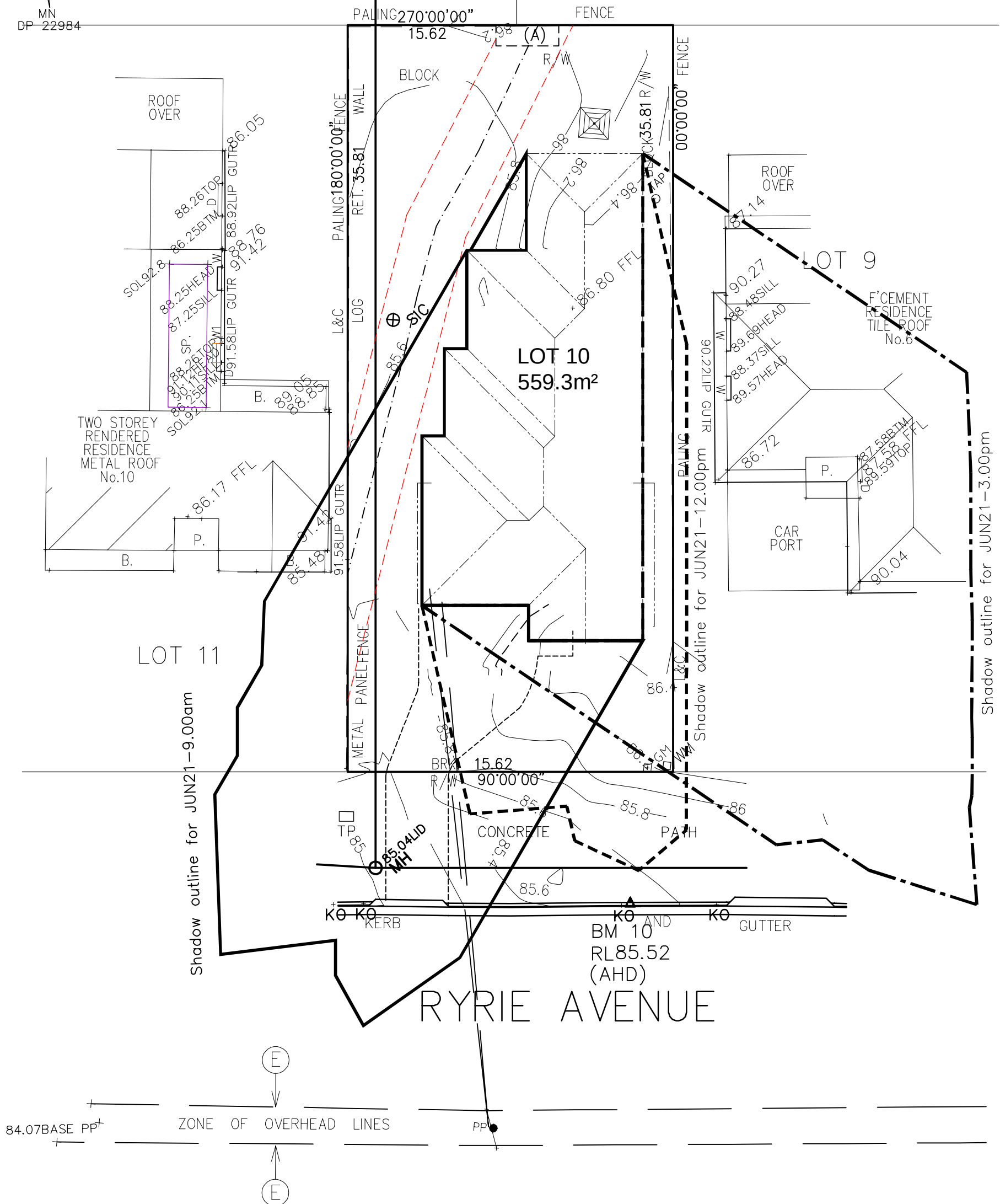


LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

DP 24593
LOT 31

DP 24593
LOT 30



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
BROOKLYN 36
Southport
L/H Garage

LUXE

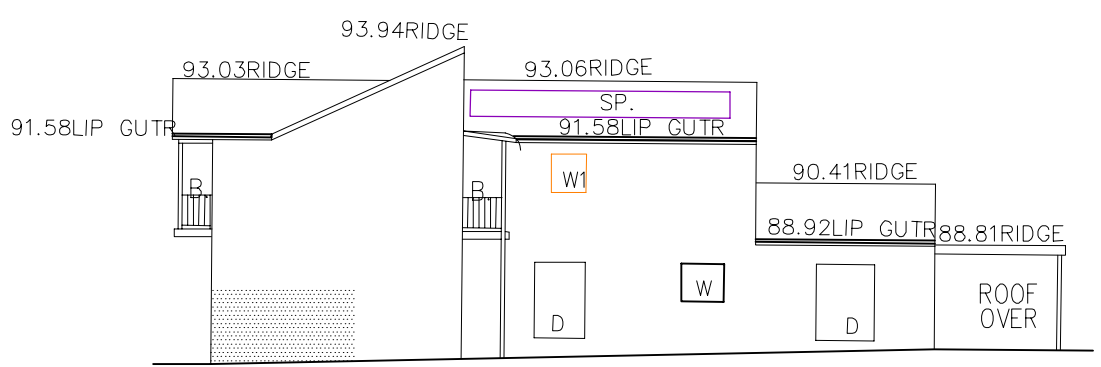
CLIENT:
Mr HUANG
Ms JIANG
SITE ADDRESS:
Lot 10 No.8
Ryrie Avenue
Forestville 2087

D.A. DRAWING

DRAWN: MTK	DATE: 19.12.24	Rev: E
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 2.4	JOB No: 29917225	NSW

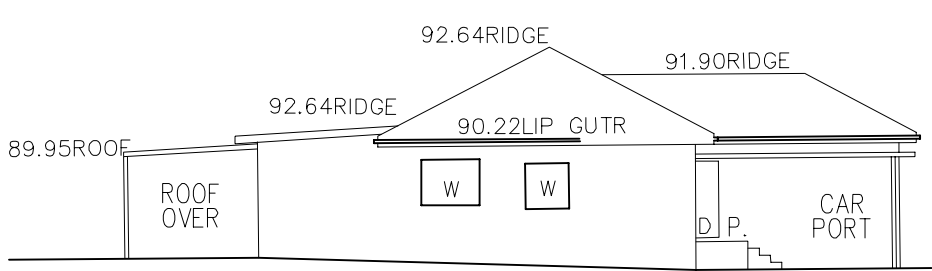
LOT 10
D.P: 22984
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

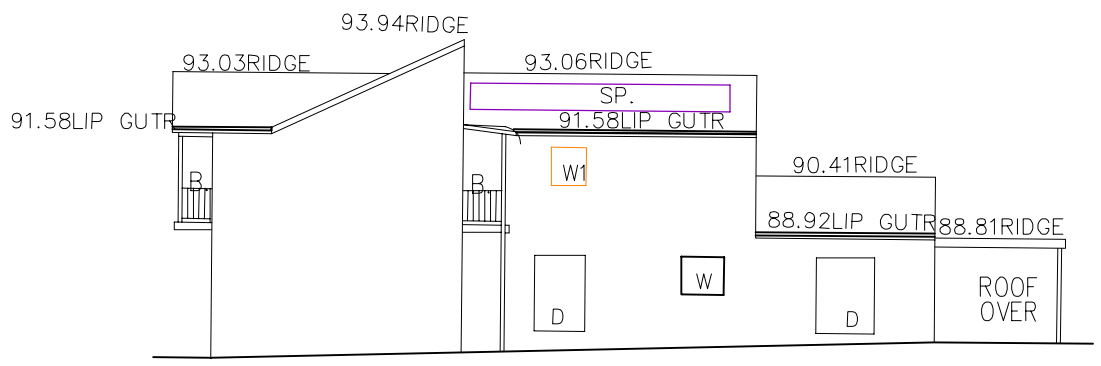


LOT 11 ELEVATION

Shadow outline for JUN21-9.00am

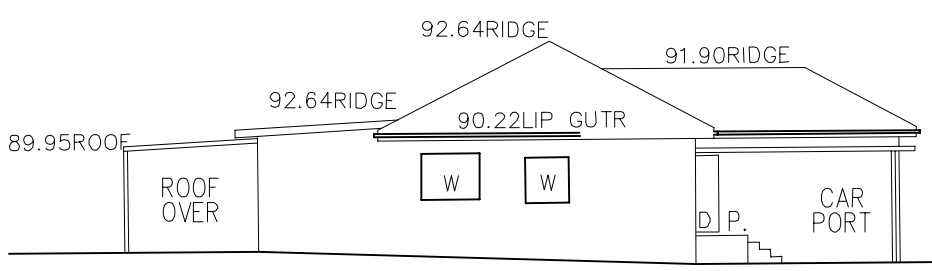


LOT 9 ELEVATION

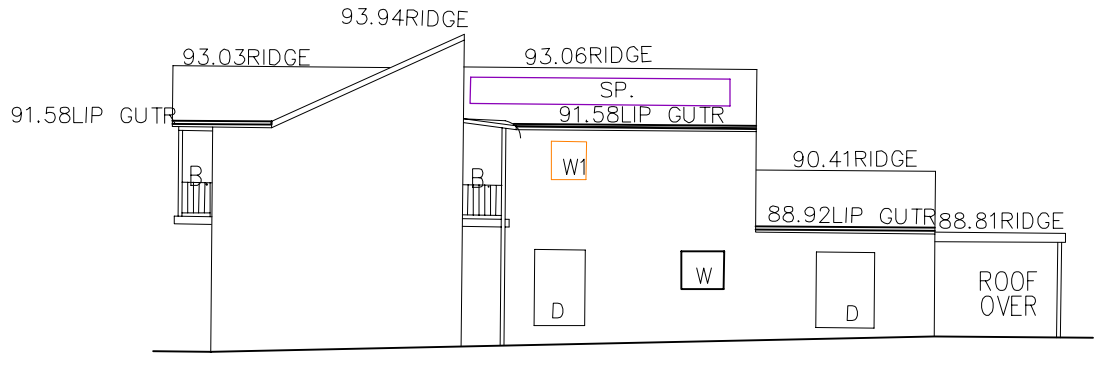


LOT 11 ELEVATION

Shadow outline for JUN21-12.00pm

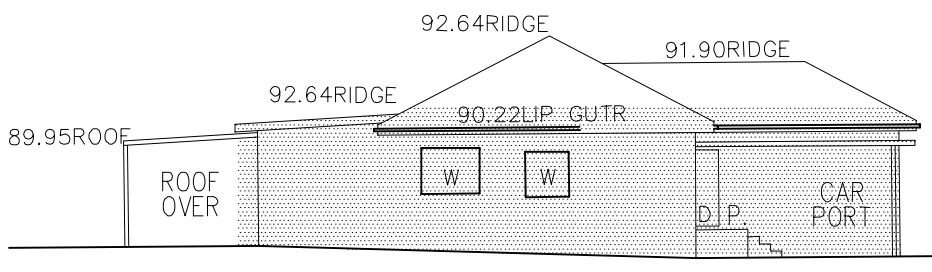


LOT 9 ELEVATION



LOT 11 ELEVATION

Shadow outline for JUN21-3.00pm



LOT 9 ELEVATION

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

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				DRAWN: MTK	DATE: 19.12.24	Rev: E
				RATIO @ A3: 1:100	CHECKED: CY.	
				SHEET: 2.5	JOB No: 29917225	NSW

Lifestyle Studio External Colour Board

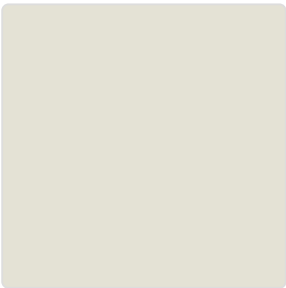
LIFESTYLE
- STUDIO -
BY CLARENDON HOMES

Date: 14/03/2025
Job Number: 29917225
Customer: Ms Li Wen Jiang & Mr Yi Fei Hunter Huang
Address: Lot 10 8 Ryrie Avenue FORESTVILLE NSW 2087
House Type - Elevation: Boston 44 Luxe - Riviera (Face Brick)
Roof BASIX Rating: Light
Wall BASIX Rating: Light
Developer: Not Applicable

YOUR EXTERNAL COLOUR SELECTIONS



Roof Tile Selection
Monier - Atura - Seashell



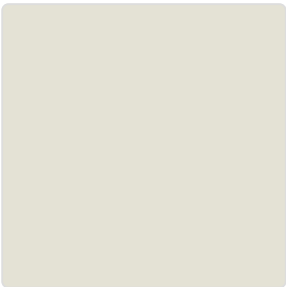
Sectional Metal Roof
Colorbond - Custom Orb - Surfmist



Brick
Austral Bricks - Neutrals Range - Linen



Main Render Colour
Taubmans - Foxtail
T15 33.4



Gutter Colour
Fascia Colour
Watertank
Garage Door Colour
Colorbond - Surfmist



PVC Downpipes
Taubmans - Colorbond Dune
CB 04

Builder: * Close Colour Match to
Render Colour - Taubmans Foxtail

Signed by:

Hunter Huang

C330F63C8F6C4D7...

Customer Signature: _____

22 March 2025 | 10:06 PM AEDT

Date Signed: _____



EPS Mouldings
Taubmans - Colorbond Surfmist
CB 23



**Aluminium Window and Door
Frame Colour**
Wideline - Surfmist Matt



Front Door Profile
Corinthian Doors - Peninsula -
PPEN 2G - Narrow Reeded
Entry



Front Door Colour
Taubmans - Colorbond Monument
CB 66
Entry

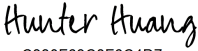


Garage Door Profile
Dynamic Garage Doors - Ranch
Garage

IMPORTANT:

Clarendon Homes cannot guarantee that the colour you see accurately portrays the true colour of the product. Actual product colour may vary from the images shown. Every monitor or mobile display has a different capability to display colours, and every individual may see these colours differently. In addition, lighting conditions at the time the photo was taken can also affect the image's colour.

Screen and print images are intended as a guide only and should not be regarded as absolutely correct. Refer back to the actual samples shown at the time of your Lifestyle Studio appointment for a true representation of the product and colour.

Signed by:

C330F63C8F6C4D7...

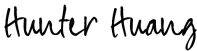
Customer 1

22 March 2025 | 10:06 PM AEDT

Date

Customer 2

Date

Signed by:

C330F63C8F6C4D7...

Customer Signature: _____

22 March 2025 | 10:06 PM AEDT

Date Signed: _____