

Site Analysis

1. Where to locate the New Dwelling?

The decision to locate the new dwelling in the area of the existing dwelling (proposed for demolition) was not taken lightly or without due thought. By locating the new dwelling where proposed, the existing and substantial equine infrastructure can remain and continue throughout the construction works and into the future. Additionally, the existing building services can be re-used and supplemented as required. The views enjoyed by the existing dwelling will remain.

2. Solar access

The proposed dwelling has located its primary living spaces to the North-East which coincides with the primary views over the paddocks below and the bushland beyond. These spaces will enjoy wonderful solar gain through the morning even in winter. The provision of covered external areas, and trellised areas will provide shielding from the summer sun.

3. Prevailing winds

The proposed dwelling has been located to capture the predominant Northern Beaches north-easterlies. These will be enjoyed by occupants both on the external terrace spaces as well as within the dwelling. The proposed garage building is located to the south of the proposed building works and will provide a buffer to the harsh southerlies.

4. Bushfire

The Bushfire Report captures the recommendations for the site. We have set the northern facade of the Games Room 10m back from the boundary and also located the pool to this boundary to aid potential bushfire threat.

5. Site Area untouched

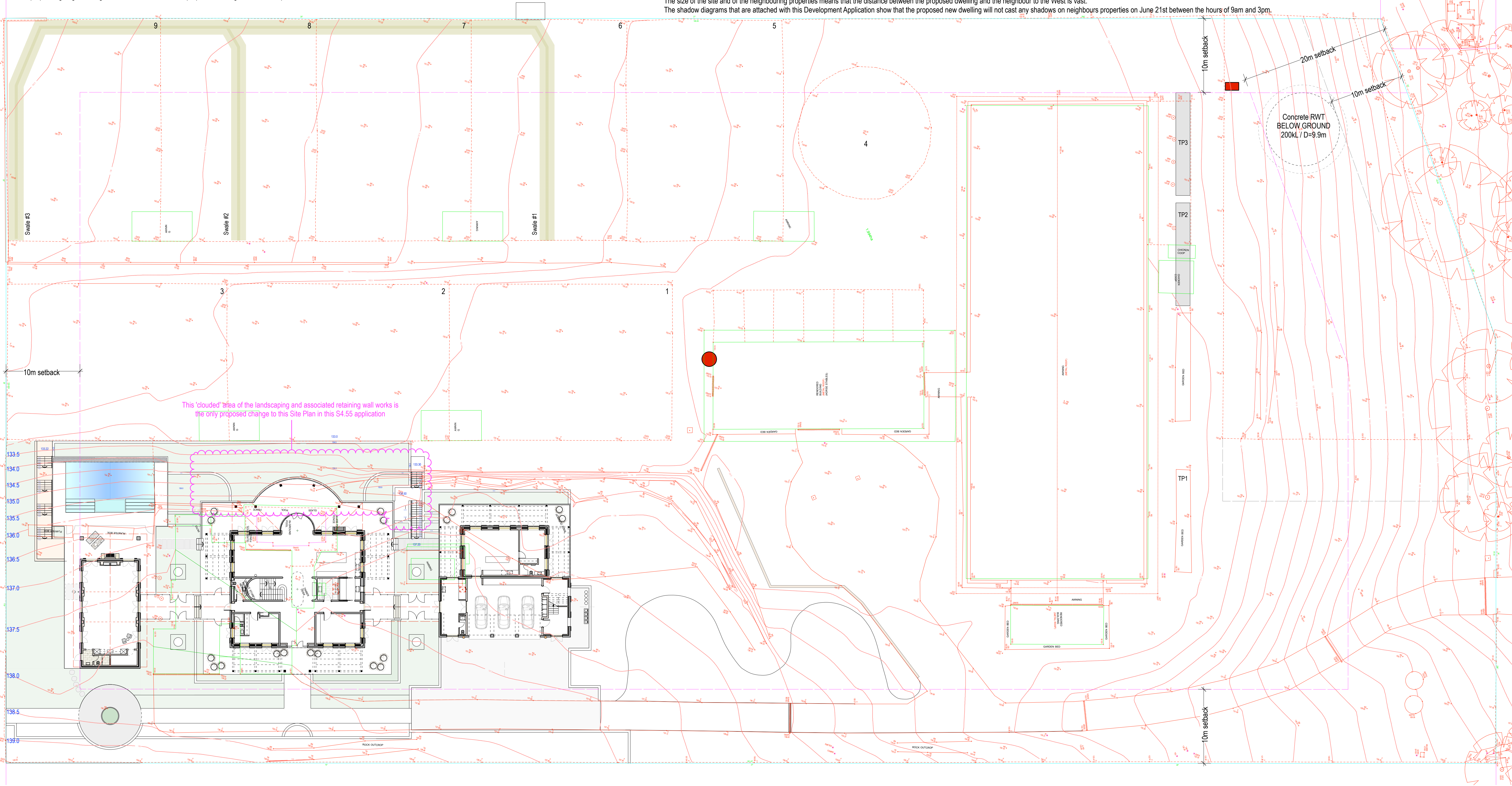
The proposed works effect approximately 20% of the site area. The vast majority of the site will remain untouched and operational. This is an intentional decision based on the owner's request to respect the natural beauty of the existing landscape. An example of an action that demonstrates the owner's desire to 'not clutter their land with stuff' is their decision to commit resources to the burying of the proposed 200KL rain water tank. To bury a tank costs around 3 times the cost of an above ground tank. However, once buried, the land above can be returned to its pre-constructed state as if the tank was not there. Better for the land. Better for the animals. Better for the views both of the owners, the neighbours and the public.

6. Landscape

The site is devoid of any significant trees. A studied effort has been made by the design team, lead by the Landscape Architect Paul Bangay, to enhance the site via a considered and delicate garden design. The use of rock retaining walls, to visually echo and reflect the existing rock escarpment will soften the eastern facade of the building as it addresses the paddocks below. The goal of the landscape works is to create a beautiful natural environment that will be a 'work of art' in itself. We refer you to the significant body of work created by Paul Bangay which can be easily accessed online. It is our view that the proposed gardens will enhance and compliment the natural beauty of the site.

7. Neighbours

The size of the site and of the neighbouring properties means that the distance between the proposed dwelling and the neighbour to the West is vast. The shadow diagrams that are attached with this Development Application show that the proposed new dwelling will not cast any shadows on neighbours properties on June 21st between the hours of 9am and 3pm.



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Jonathon Peterson NSW ARB 5776

Drawing Notes

Revision Control

B 31/3/22 S4.55 Application
A 10/2/22 CC Application

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Site Plan

Scale

1:250 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

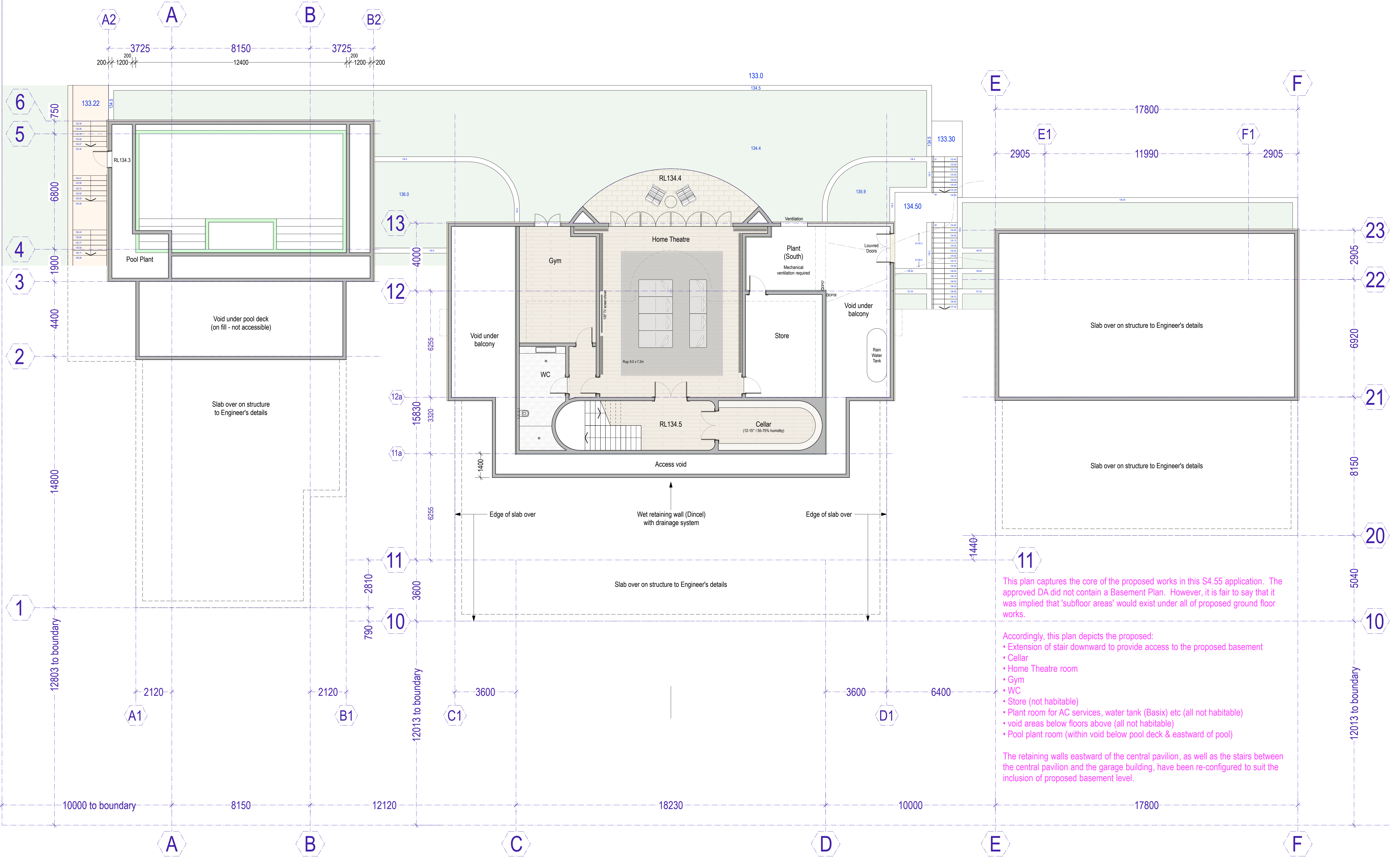
JLP

Drawing Number

A01

Revision

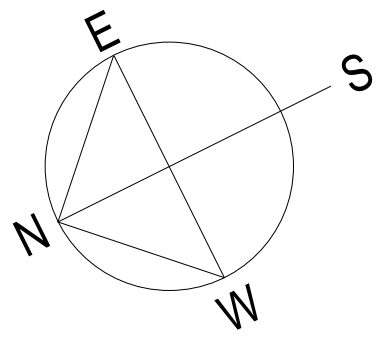
B



This plan captures the core of the proposed works in this S4.55 application. The approved DA did not contain a Basement Plan. However, it is fair to say that it was implied that 'subfloor areas' would exist under all of proposed ground floor works.

- Accordingly, this plan depicts the proposed:
- Extension of stair downward to provide access to the proposed basement
 - Cellar
 - Home Theatre room
 - Gym
 - WC
 - Store (not habitable)
 - Plant room for AC services, water tank (Basix) etc (all not habitable)
 - void areas below floors above (all not habitable)
 - Pool plant room (within void below pool deck & eastward of pool)

The retaining walls eastward of the central pavilion, as well as the stairs between the central pavilion and the garage building, have been re-configured to suit the inclusion of proposed basement level.



Drawing Notes

Revision Control

A 31/3/2022 S4.55 Application

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Basement Plan

Scale

1:100 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

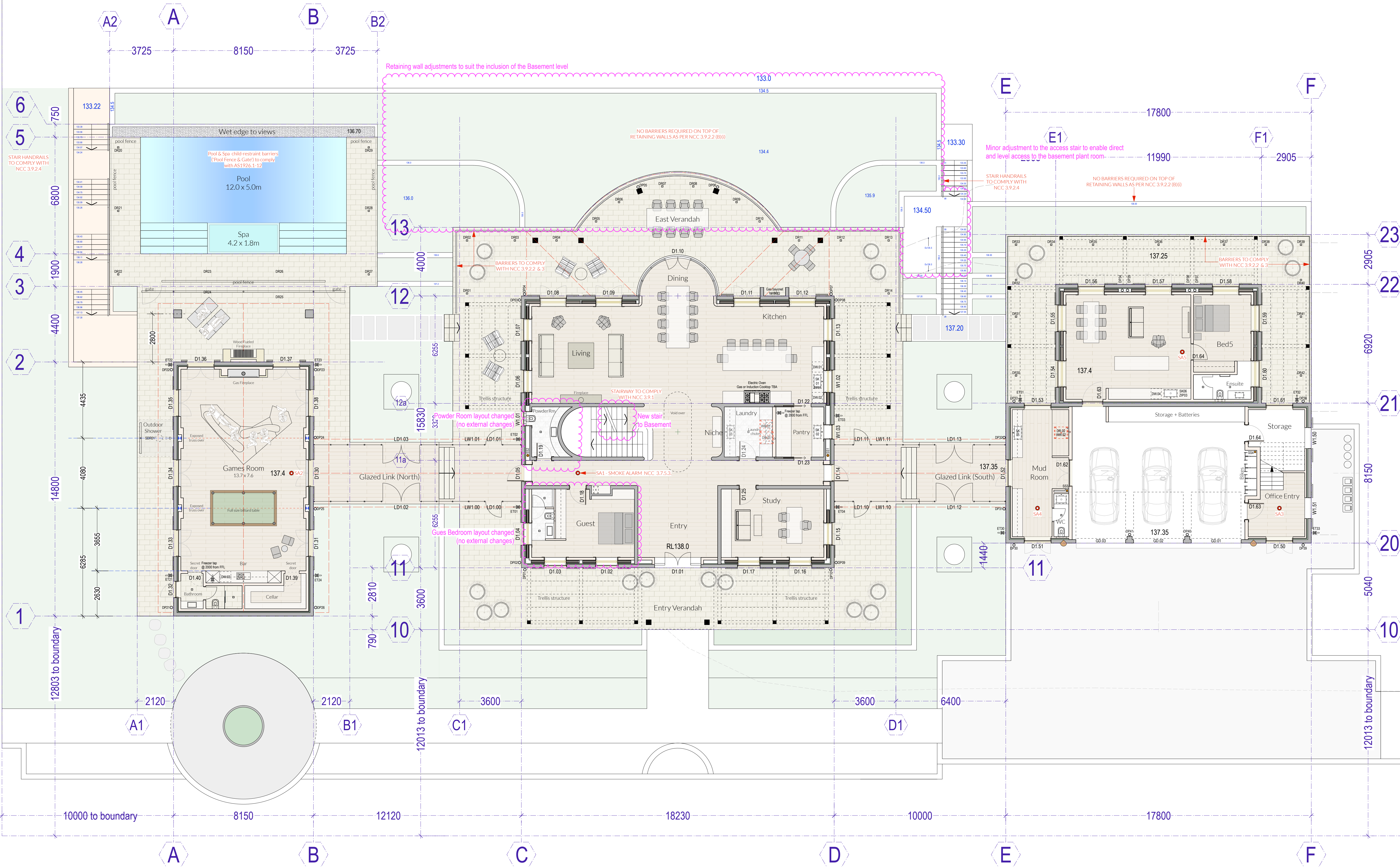
JLP

Drawing Number

A02

Revision

A

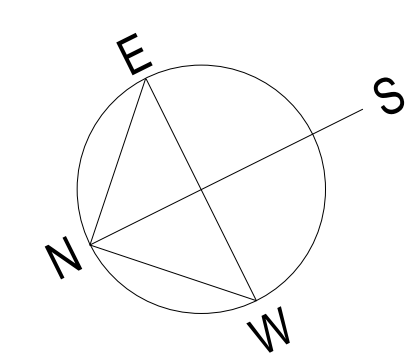
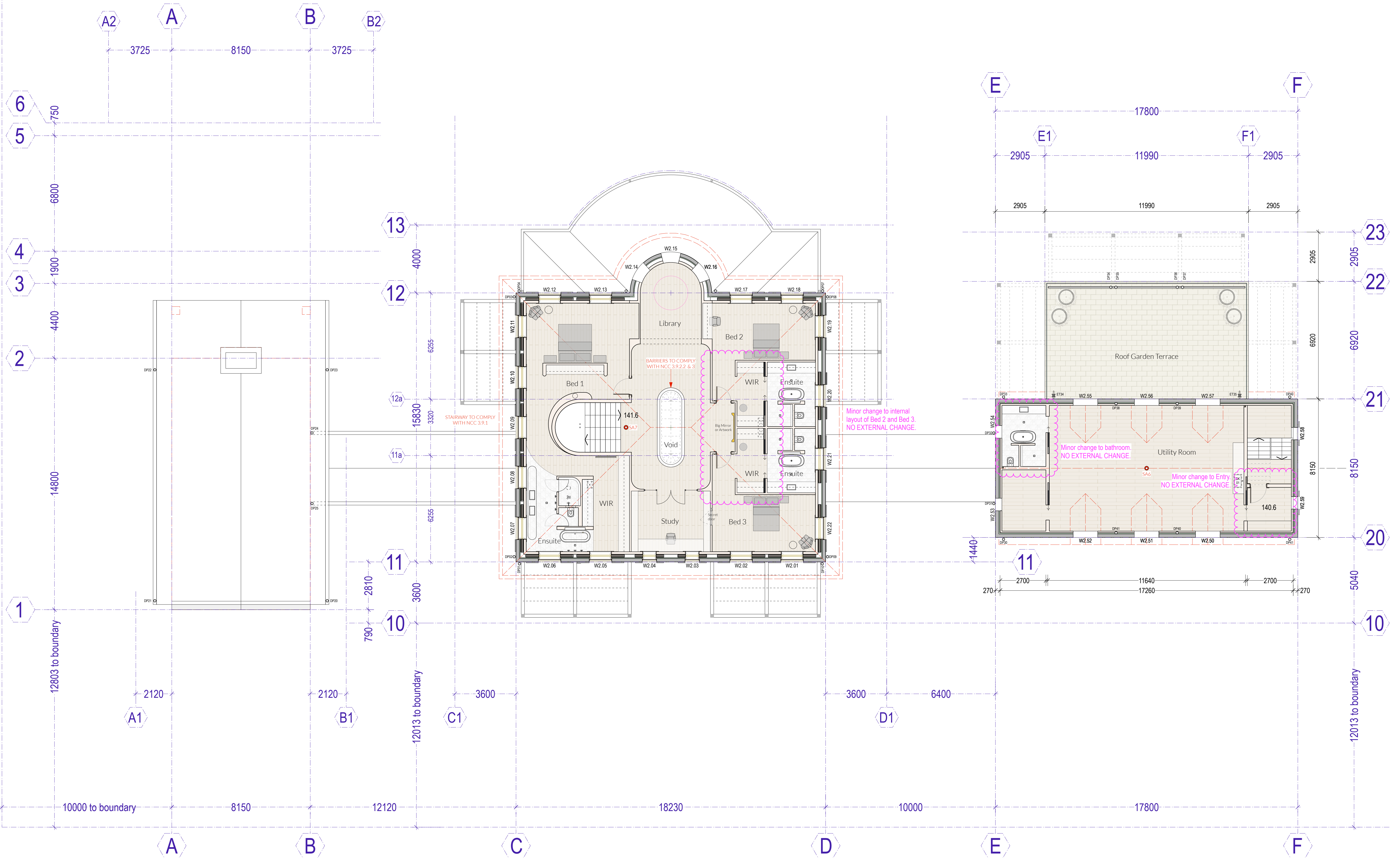


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Drawing Notes		Revision Control		Client		Drawing	
				Jenny and David Austin		Ground Floor Plan & Garden	
				Project		Scale	Drawing Number
				Taronnah		1:100 @ A1	A03
				Project Address		Rev Date	
				13 Morgan Road Belrose 2085		31/3/2022	Revision
				Project Code		Drawn by	
				AUST01		JDP	B
						Checked by	
						JLP	



Drawing Notes

Revision Control

B	31/3/22	Section 4.5.5 Application
A	11/2/22	CC Application

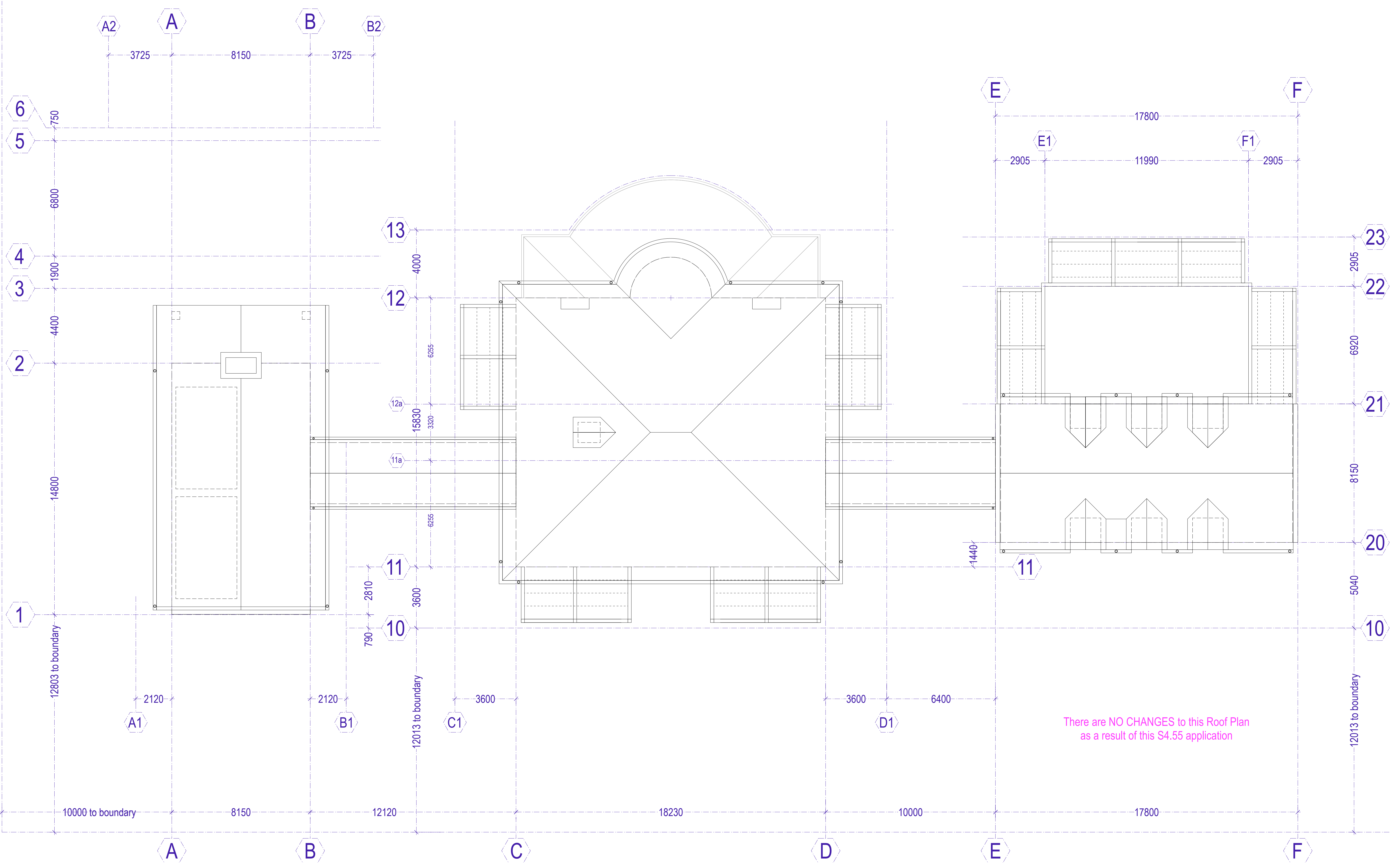
Client

Jenny and David Austin
Project
Taronnah
Project Address
13 Morgan Road Belrose 2085
Project Code
AUST01

Drawing

First Floor Plan
Scale
1:100 @ A1
Rev Date
31/3/2022
Drawn by
JDP

Drawing Number
A04
Revision
B



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Drawing Notes		Revision Control		Client		Drawing			
B 31/3/22 Section 4.55 Application A 11/2/22 CC Issue				Jenny and David Austin		Roof Plan			
				Project		Scale		Drawing Number	
				Taronnah		1:100 @ A1			
				Project Address		Rev Date			
				13 Morgan Road Belrose 2085		31/3/2022		A05	
				Project Code		Drawn by	Checked by	Revision	
				AUST01		JDP	JLP	B	



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Drawing Notes

Revision Control

A 31/3/22 Section 4.55 Application

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Elevation Sheet 1

Scale

1:100 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

JLP

Drawing Number

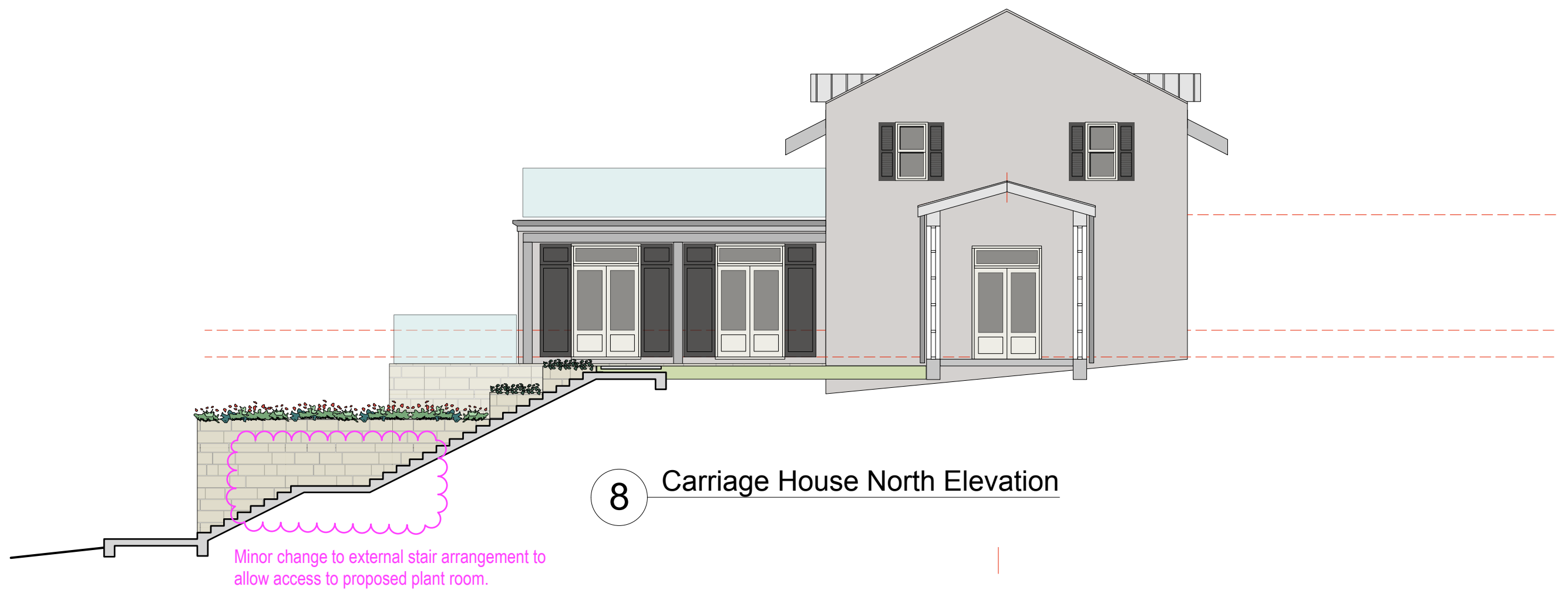
A06

Revision

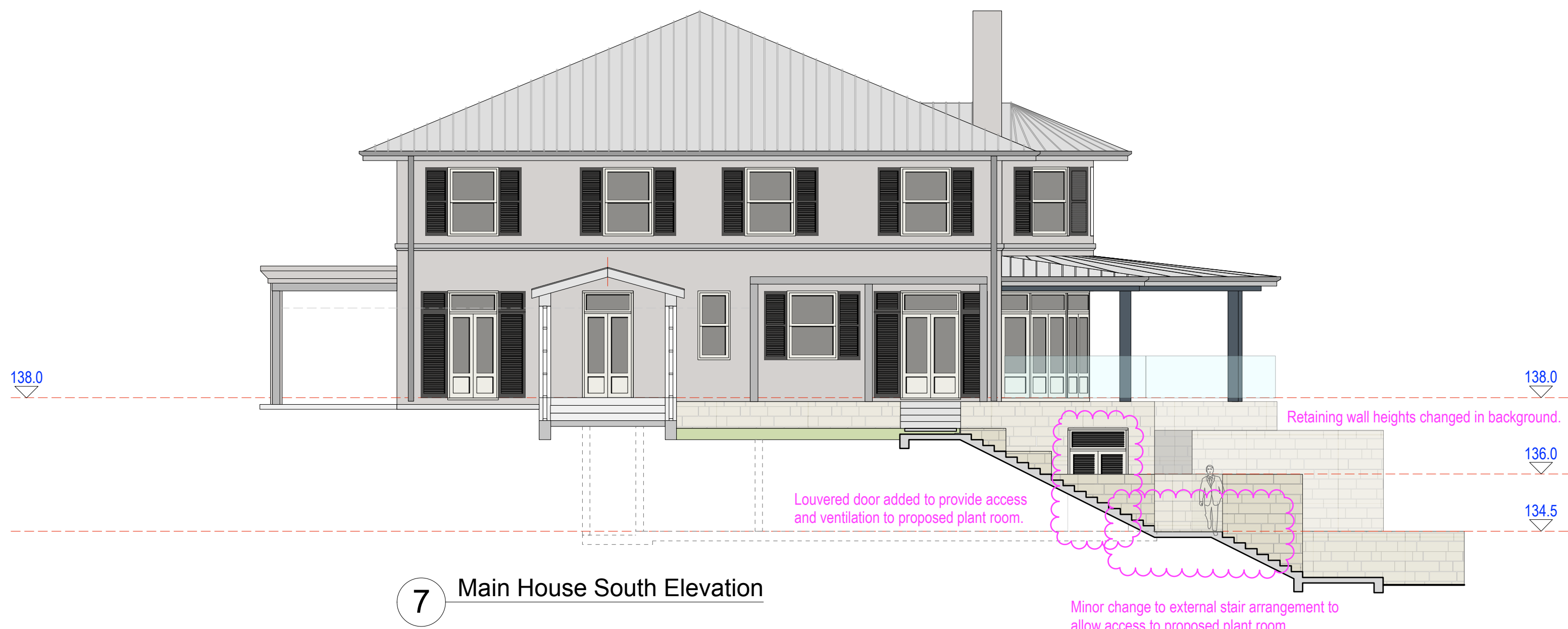
A



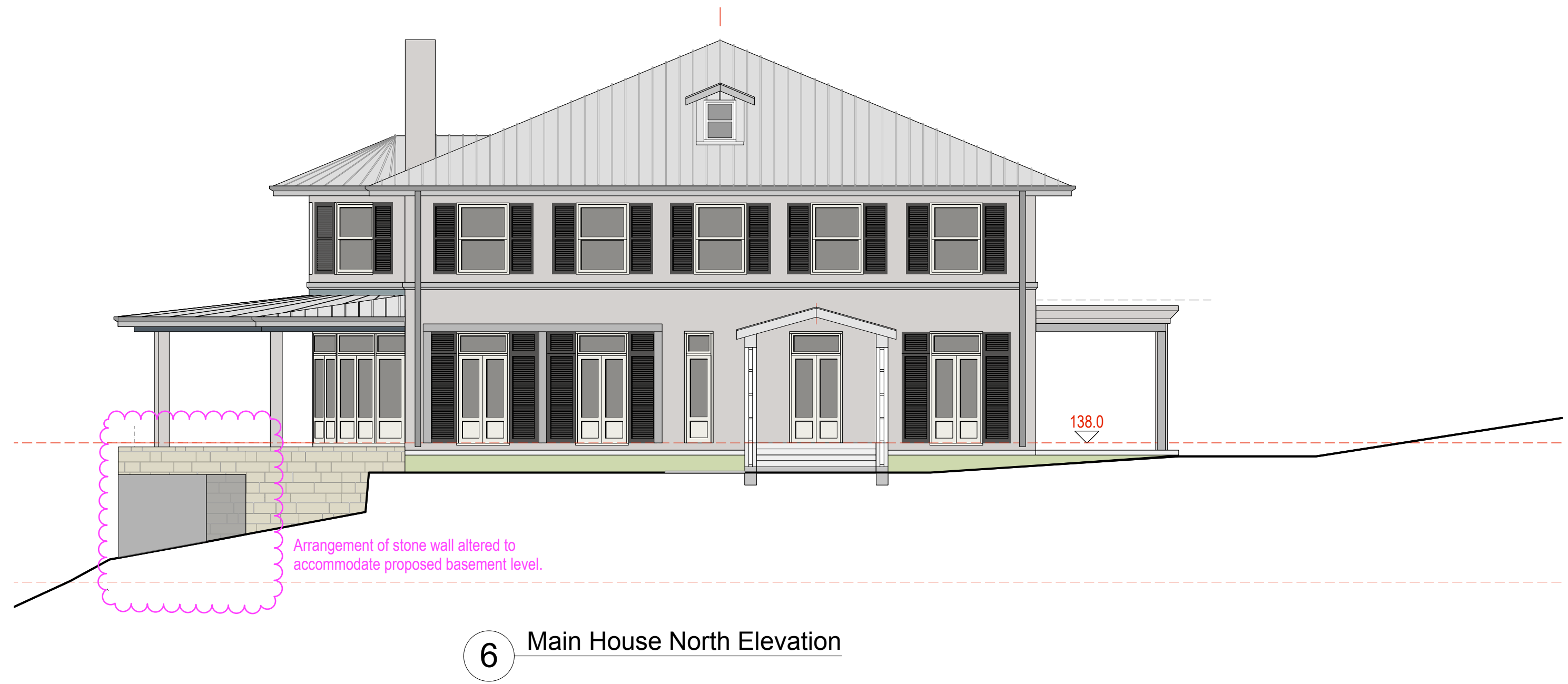
5 Games Room South Elevation



8 Carriage House North Elevation



7 Main House South Elevation



6 Main House North Elevation

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Revision Control

B 31/3/2022 \$4.55 Application
A 11/2/22 CC Application

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Elevation Sheet 2

Scale

1:100 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

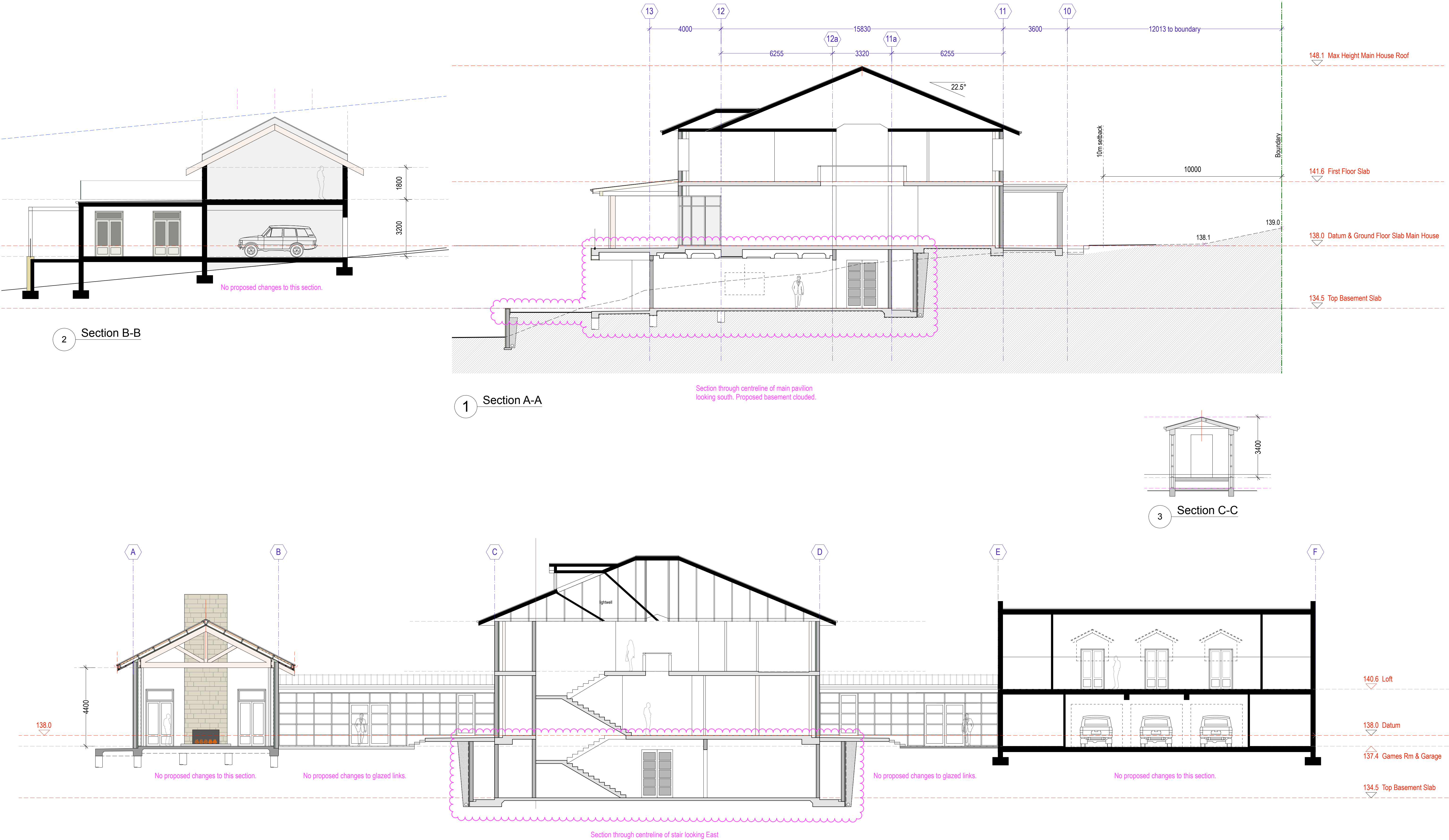
JLP

Drawing Number

A07

Revision

B



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Drawing Notes

Revision Control

A 31/3/2022 \$4.55 Application

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Sections

Scale

1:100 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

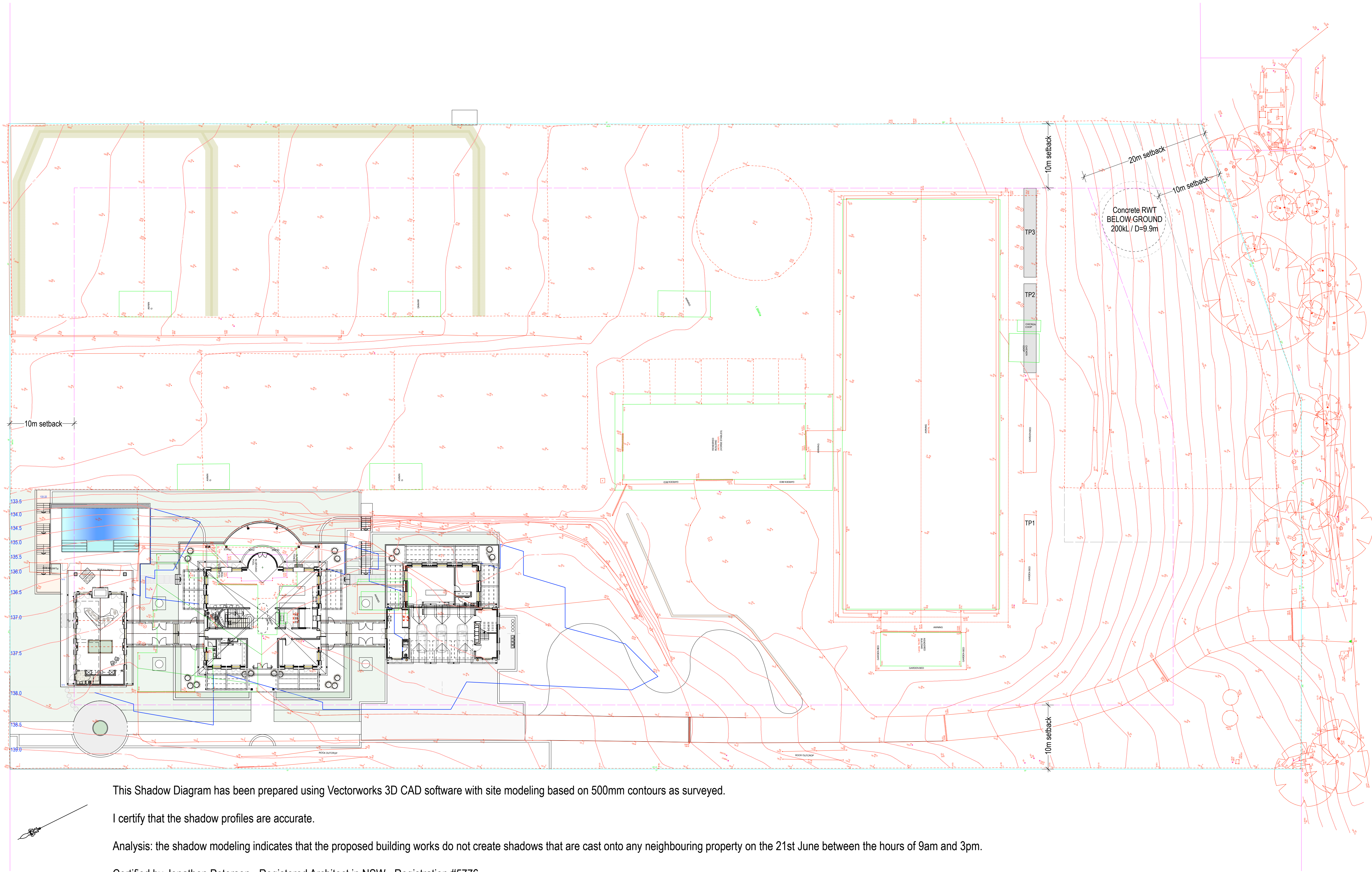
JLP

Drawing Number

A08

Revision

A



This Shadow Diagram has been prepared using Vectorworks 3D CAD software with site modeling based on 500mm contours as surveyed.

[Signature]

I certify that the shadow profiles are accurate.

Analysis: the shadow modeling indicates that the proposed building works do not create shadows that are cast onto any neighbouring property on the 21st June between the hours of 9am and 3pm.

Certified by Jonathon Peterson - Registered Architect in NSW - Registration #5776

[Signature]

NO CHANGE to shadows as a result of this S4.55 application

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Drawing Notes

Revision Control

B 31/3/2022 S4.55 Application
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Shadow - 9am 21st June

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

JLP

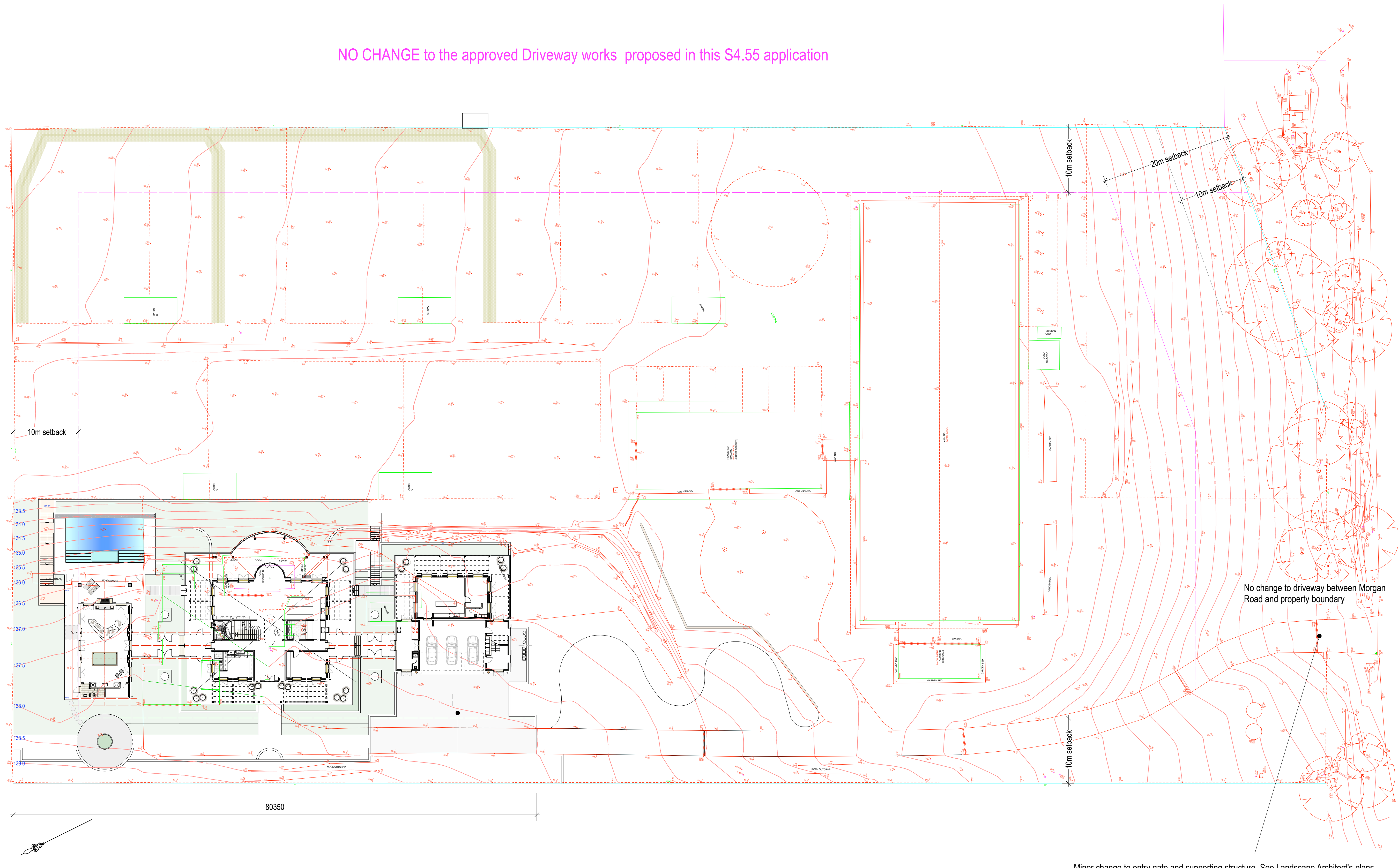
Drawing Number

SH_9am

Revision

B

NO CHANGE to the approved Driveway works proposed in this S4.55 application



It is proposed that approximately 341m² of existing concrete driveway be removed (see Demolition Plan DEM01). The Landscape Architect has proposed that the area westward of the proposed garage structure be surfaced in selected gravel. An image depicting a similar design solution is included in our architectural finishes plan FIN01. Drainage of this area has been considered by the project's hydraulic engineer and documented accordingly.

Minor change to entry gate and supporting structure. See Landscape Architect's plans. Reason: when entering the site, a car + trailer cannot fit between the closed gate and the road pavement. This has potential safety consequences as vehicles travelling eastward have little time to stop from the westward corner. Moving the gate further into the property as proposed will allow for a vehicle and trailer to be fully off the road whilst the gate is opened.

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Drawing Notes

Revision Control

B 31/3/2022 S4_55 Application
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Driveway Plan

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

JLP

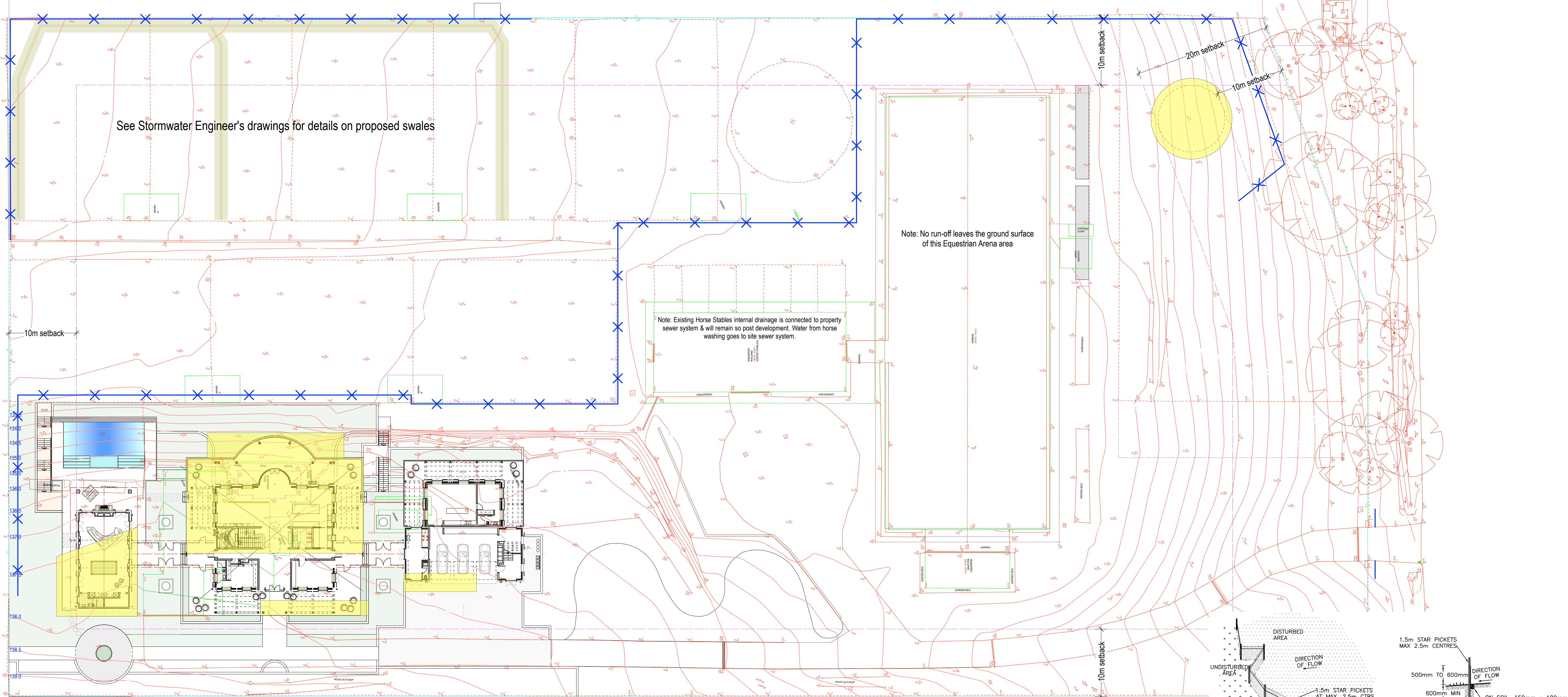
Drawing Number

DRV01

Revision

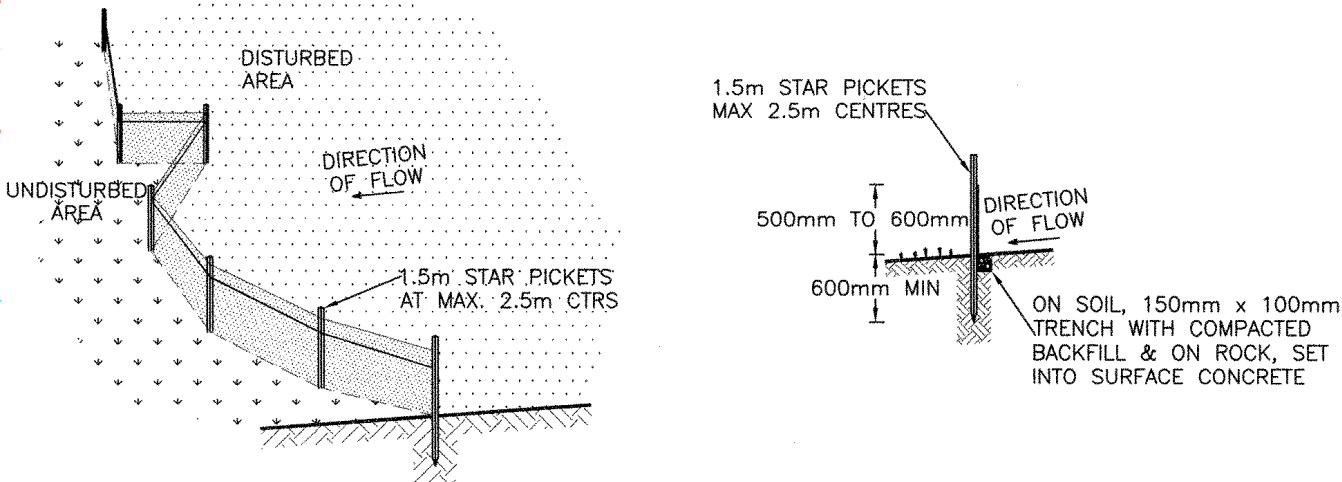
B

NO CHANGE to the proposed Sediment & Erosion Control in this S4.55 application



Location where Builder to provide **SEDIMENT FENCE** to cleanse any run-off in accordance with the following:

1. Temporary sediment and erosion control devices will be retained until after the lands they are protecting are completely rehabilitated.
2. The Contractor will inspect the site at least weekly or after any storm event and will:
 - ensure that drains operate properly and to effect any necessary repairs
 - remove spilled sand or other materials from hazard areas (eg: lands closer than five metres from areas of likely concentrated or high velocity flows especially drains, waterways and paved areas)
 - remove trapped sediment whenever less than design capacity remains within the structure
 - ensure rehabilitated lands have effectively reduced the erosion hazard and to initiate upgrading or repair as appropriate
 - construct additional erosion and/or sediment control works as required
 - maintain erosion and sediment control measures in a fully functioning condition until all earthwork activities are completed and the site is rehabilitated
 - remove temporary erosion and sediment control structures as the last activity in the rehabilitation program.



SEDIMENT CONTROL FENCE DETAIL
NTS

SEDIMENT FENCE CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10YR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO THE GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GOETEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GOETEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GOETEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GOETEXTILE.

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Drawing Notes

Revision Control

C 31/3/2022 S4.55 Application
B 28/9/21 Ammended
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Sediment & Erosion Control

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

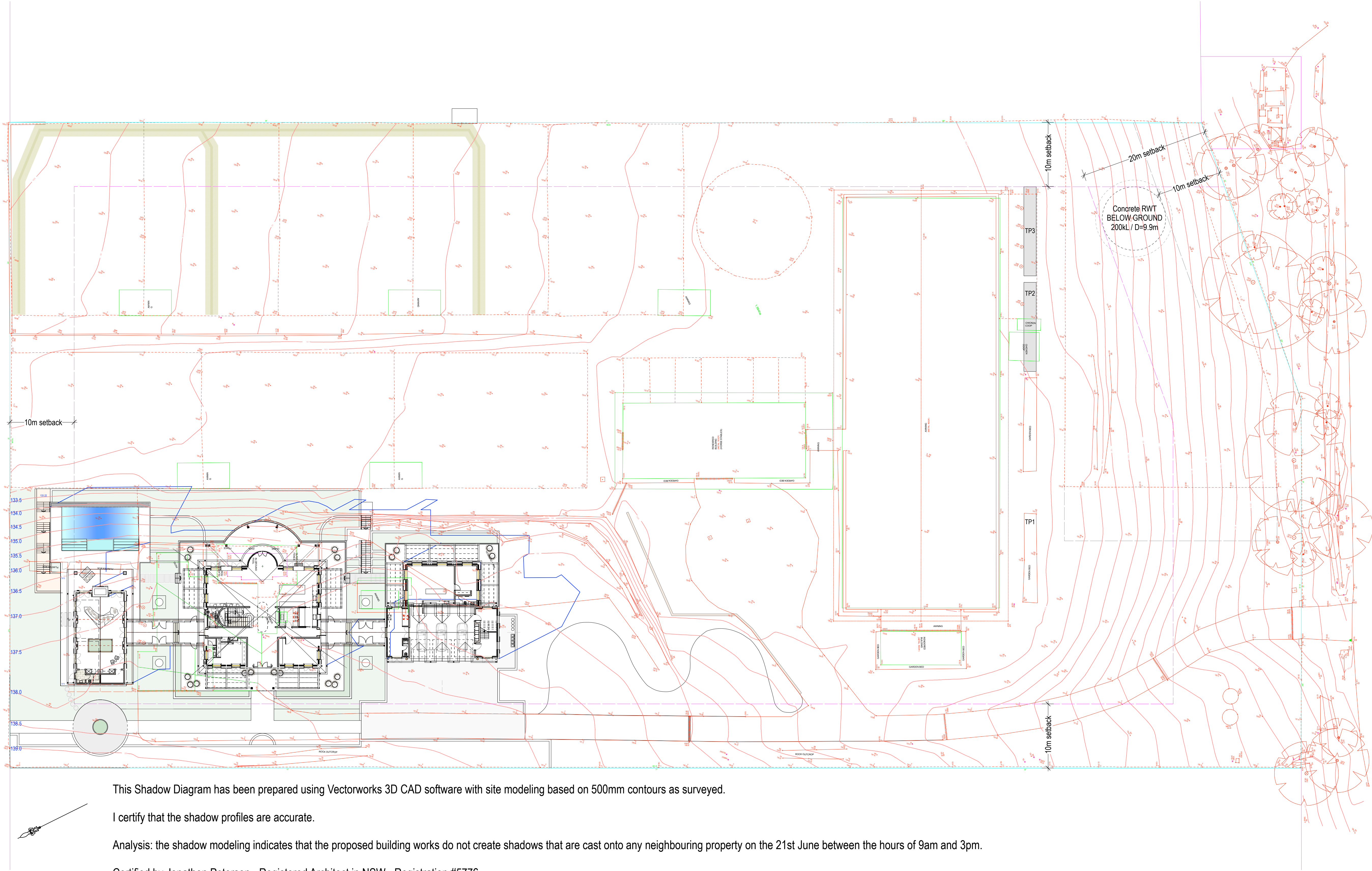
JLP

Drawing Number

SEC01

Revision

C



This Shadow Diagram has been prepared using Vectorworks 3D CAD software with site modeling based on 500mm contours as surveyed.

[Signature]

I certify that the shadow profiles are accurate.

Analysis: the shadow modeling indicates that the proposed building works do not create shadows that are cast onto any neighbouring property on the 21st June between the hours of 9am and 3pm.

Certified by Jonathon Peterson - Registered Architect in NSW - Registration #5776

[Signature]

NO CHANGE to shadows as a result of this S4.55 application

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Drawing Notes

Revision Control

B 31/3/2022 S4.55 Application
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Shadows Noon 21st June

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

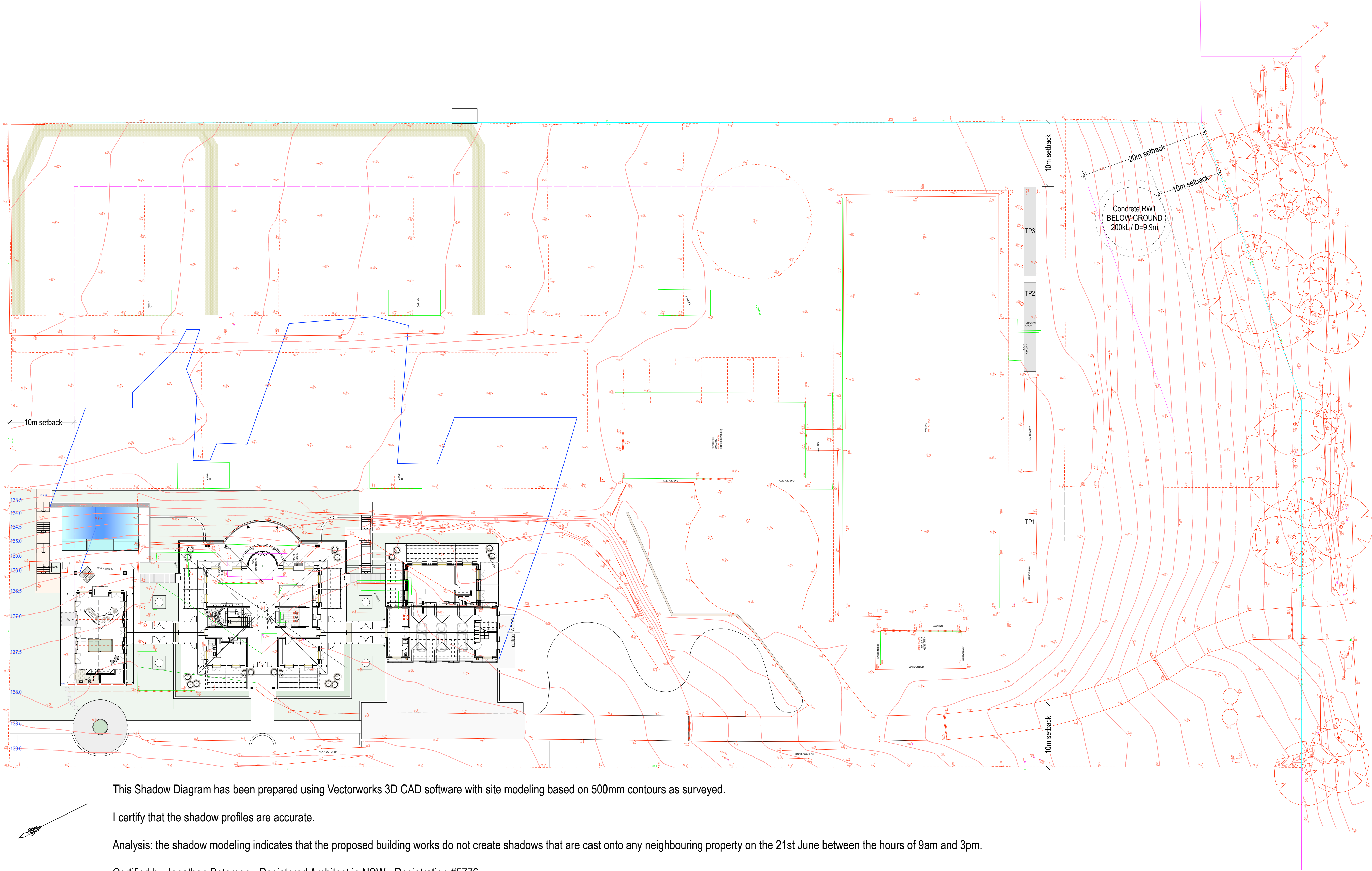
JLP

Drawing Number

SH_Noon

Revision

B



This Shadow Diagram has been prepared using Vectorworks 3D CAD software with site modeling based on 500mm contours as surveyed.

I certify that the shadow profiles are accurate.

Analysis: the shadow modeling indicates that the proposed building works do not create shadows that are cast onto any neighbouring property on the 21st June between the hours of 9am and 3pm.

Certified by Jonathon Peterson - Registered Architect in NSW - Registration #5776

NO CHANGE to shadows as a result of this S4.55 application

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Drawing Notes

Revision Control

B 31/3/2022 S4.55 Application
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Shadows 3pm 21st June

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

JLP

Drawing Number

SH_3pm

Revision

B

AS SUCH, THIS \$4.55 DOES NOT RE-REQUEST APPROVAL
TO DEMOLISH THE NOW DEMOLISHED HOUSE.

Demolish & remove 5 of existing below ground water tanks

Excavate & store below ground water tanks for potential re-use in future development

Max height above ground = 6.1m

Remove existing awning structure and store on site for re-use at future date. Location tba.
Remove existing slab.

Remove aprox 341m² of existing concrete driveway

Nature of Existing Dwelling to be Demolished

A. Site Location: 13 Morgan Road, Belrose, NSW, 2085

2. Height of Structure - see plan above. Locatio from boundaries - see plan above.

3. Type of Building: Class 1 single free standing residence. The building is a mixture of brick and lightweight cladding with metal colorbond roof.

4. All works to be undertaken in accordance with the Environmental & Safe Work Method Statement provided by Rick Davis Contracting dated 15/11/2021 and in accordance with AS2601.

Drawing Notes

Revision Control

Client

Jenny and David Austin

Project

Project Address
13 Morgan Road Belrose 2085

Project Code	AUST01
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Drawing

Demolition & Work Plan

Scale
1:300 @ A1

Rev Date	31/3/2
Drawn by	JDP

2	Checked by JLP
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Drawing Number

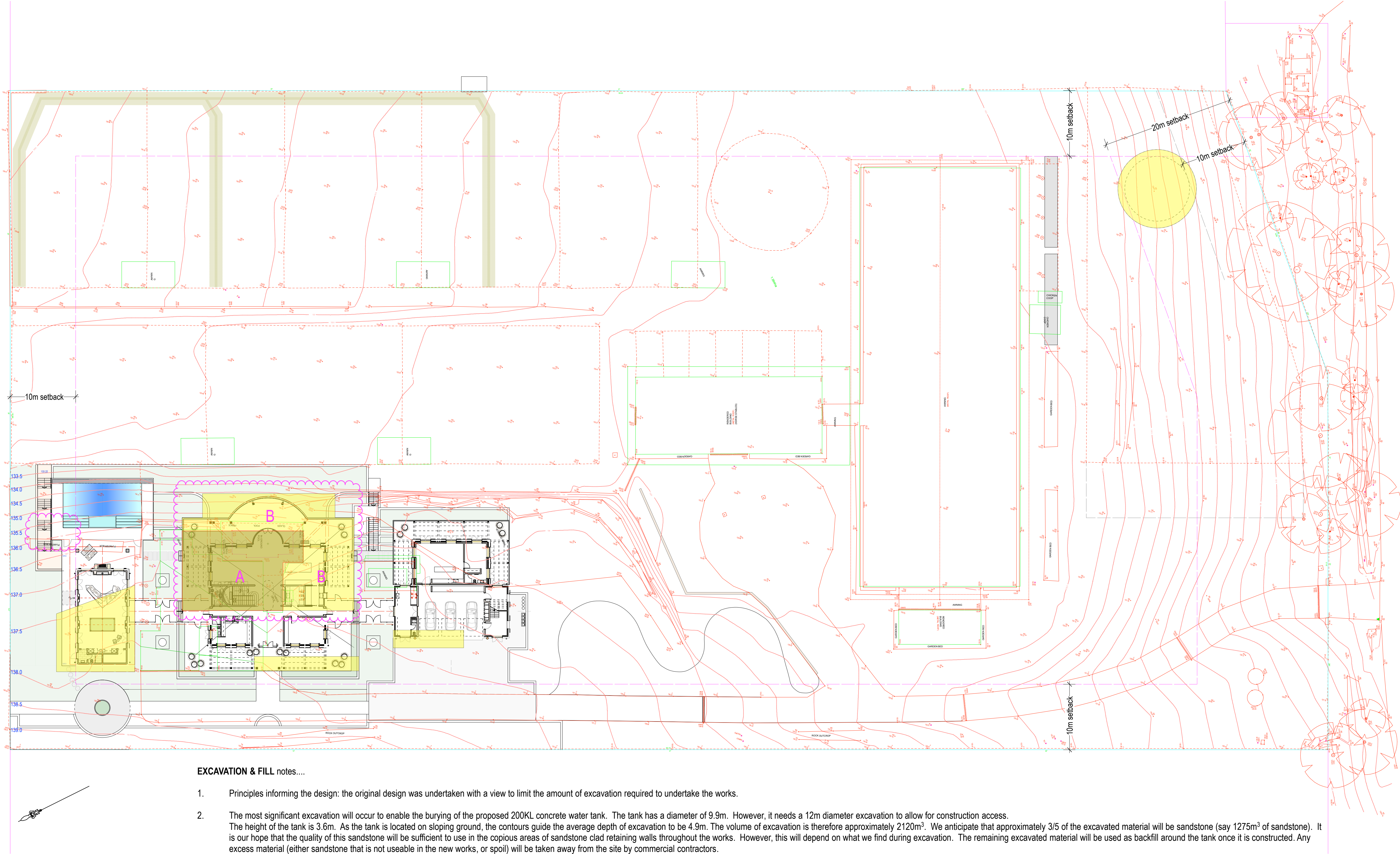
DEM01

Revision
D

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EXCAVATION & FILL notes....

- Principles informing the design: the original design was undertaken with a view to limit the amount of excavation required to undertake the works.
- The most significant excavation will occur to enable the burying of the proposed 200KL concrete water tank. The tank has a diameter of 9.9m. However, it needs a 12m diameter excavation to allow for construction access. The height of the tank is 3.6m. As the tank is located on sloping ground, the contours guide the average depth of excavation to be 4.9m. The volume of excavation is therefore approximately 2120m³. We anticipate that approximately 3/5 of the excavated material will be sandstone (say 1275m³ of sandstone). It is our hope that the quality of this sandstone will be sufficient to use in the copious areas of sandstone clad retaining walls throughout the works. However, this will depend on what we find during excavation. The remaining excavated material will be used as backfill around the tank once it is constructed. Any excess material (either sandstone that is not useable in the new works, or spoil) will be taken away from the site by commercial contractors.
- Games Room - the western end of the games room sits below the existing natural ground level. The land is around 700mm above ground at the south-western corner of the Games Room. This will require trimming of the site in this location. The depth of the underlying sandstone shelf in this location has been tested by the project's geotechnical engineer and it sits approximately 200-300mm below ground. Again, it is hoped that any sandstone excavated in this area can be re-used throughout the works but only time will tell as to the quality of what we find.
- Minor other areas to enable works - the project's structural engineer will develop the design of the building's footings as part of the design documentation phase of the works. It is hoped that the existence of rock as the underlying base material under the proposed building will result in very little excavation to enable the works.
- Swimming pool - it is noted that the swimming pool is unlikely to require any excavation as it has been designed to have a finished level similar to the Games Room, and therefore the floor of the pool will sit above the existing ground level.
- This S4.55 application seeks approval for the inclusion of a Basement Level under the central pavilion. This will required additional excavation to that proposed in the DA in the area noted as 'A'. However, the demolition of the existing house undertaken in late 2021 under a CDC (issued by Council) uncovered a significant excavation on the site which was backfilled (in the approximate area labelled 'B'. Hence, the actual quantum of excavation to be undertaken to allow for the construction of the proposed basement is not overly significant.

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Drawing Notes

Revision Control

B 31/3/2022 S4_55 Application
A 9/7/21 DA Issue

Client

Jenny and David Austin

Project

Taronnah

Project Address

13 Morgan Road Belrose 2085

Project Code

AUST01

Drawing

Excavation & Fill Plan

Scale

1:300 @ A1

Rev Date

31/3/2022

Drawn by

JDP

Checked by

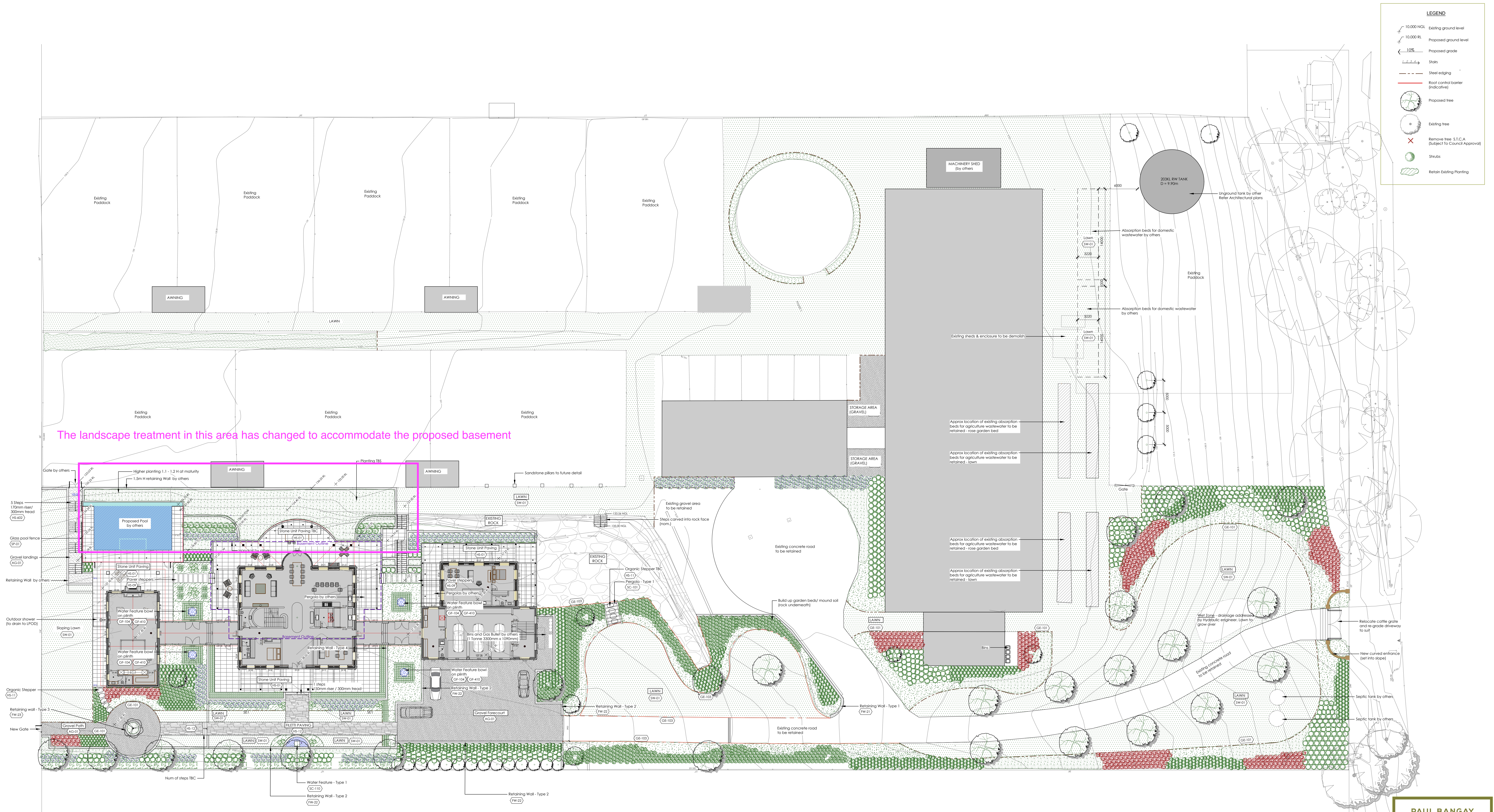
JLP

Drawing Number

EXF01

Revision

B



LEGEND

- 10,000 NGL Existing ground level
- 10,000 RL Proposed ground level
- 100% Proposed grade
- Stairs
- Steel edging
- Root control barrier (indicative)
- Proposed tree
- Existing tree
- Remove tree 3.T.C.A. (Subject to Council Approval)
- Shrubs
- Retain Existing Planting

SOFT WORKS SCHEDULE LANDSCAPE PLAN

SYMBOL	LAWN DESCRIPTION	QTY	TYPE	Supplier	State
(SW-01)	'Sp' Water	4,004 m ²	Soft Leaf Buffalo	Local Supplier	NSW

NOTE: Landscape Contractor to confirm area - Indicative quantities given only

HARDSTAND SCHEDULE LANDSCAPE PLAN

SYMBOL	DESCRIPTION	QTY	Material	Unit Size	Notes	Colour/Description	Pattern	Supplier	Supplier Contact
(HS-01)	Stone Unit Paving	561.6 m ²	T.B.C	T.B.C	T.B.C	T.B.C	T.B.C	T.B.C	T.B.C
(HS-02)	Paver Stepper 13x6	14	T.B.C	1350x600mm	T.B.C	T.B.C	As Shown	T.B.C	T.B.C
(HS-11)	Organic Stepper	9	Stone	Various x 30mm	T.B.C	T.B.C	As Shown	T.B.C	T.B.C
(HS-12)	Reinft T.B.C	13.2 m ²	T.B.C	30-80 x 30-50mm	T.B.C	T.B.C	As Shown	ECO OUTDOOR	Rob Lutton (Ph: 0412 066 446)

SYMBOL	OTHER DESCRIPTION	QTY	Material	Unit Size	Notes	Colour/Description	Pattern	Supplier	Supplier Contact
(HS-022)	Stair Treads	26.4 m ²	To match paving	various	To match paving				

NOTE: Please allow for 12-20 week lead time for certain items. Where P8B Design's preferred suppliers are not used, a sample of the product is to be provided for approval prior to ordering. It is the contractor's responsibility to ensure that the specified product is available before pouring any slabs. Should a supply issue arise P8B Design is to be contacted immediately for approval of change. P8B stone typically requires around 30% wastage allowance, dependent on preferred design aesthetic. Casing, Capping, Wall Cladding, Stair Treads and Risers are not included in quantity estimate. INDICATIVE QUANTITIES CONTRACTOR MUST VERIFY ALL QUANTITIES FROM SITE MEASURE PRIOR TO ORDERING STOCK

GARDEN EDGING SCHEDULE LANDSCAPE PLAN

SYMBOL	DESCRIPTION	QTY	Type	Specification
(GE-101)	Steel Edge - Type 1	396.6 m	Mild Steel	75x3mm, Grade 300, staked @ 1m centres
(GE-103)	Steel Edge - Type 2	203.0 m	Mild Steel	20x6mm, Grade 300, staked @ 1m centres. Painted Black (epoxy enamel)

GARDEN FEATURES/ORNAMENTS SCHEDULE LANDSCAPE PLAN

SYMBOL	POST/URN DESCRIPTION	QTY	Size/Code	Dimensions	Finish/Colour	Material	Supplier	Notes
(GF-01)	Client's Sculpture	1	T.B.C	T.B.C	T.B.C	T.B.C	By Client	
SYMBOL	BOWLS DESCRIPTION	QTY	Size/Code	Dimensions	Finish/Colour	Material	Supplier	Notes
(GF-104)	Designer Bowl	4	1200	1200 dia. x 600mm (H)	T.B.C	GRC	P8B Design	Water Feature
SYMBOL	PLINTHS DESCRIPTION	QTY	Size/Code	Dimensions	Finish/Colour	Material	Supplier	Notes
(GF-410)	Plinth 1300 lb.c	4	XXLarge	1300 x 1300 x 300 (H)	Stone	To match paving	By Contractor	Ref Paving Supplier

NOTE: Please allow 12-20 week lead time for certain items. If items unselected please contact P8B Design Studio for selections or to arrange a shopping day with Paul Bangay. All pots to be connected to irrigation and drainage.

AGGREGATE SCHEDULE LANDSCAPE PLAN

SYMBOL	GRAVEL DESCRIPTION	QTY	Size	Colour	Supplier	Details	Install Type
(AG-01)	Gravel TBS	453.7 m ²	7-10mm	T.B.C	Local Supplier	T.B.C	Loose

NOTE: Please allow for 12-20 week lead time for certain items. Where P8B Design's preferred suppliers are not used, a sample of the product is to be provided for approval prior to ordering. It is the contractor's responsibility to ensure that the specified product is available before pouring any slabs. Should a supply issue arise P8B Design is to be contacted immediately for approval of change.

SPECIAL CONSTRUCTION LANDSCAPE PLAN

SYMBOL	DESCRIPTION	QTY	Finish	Specification	Notes	Material
(SC-101)	Pergola - Type 1	1	Paint to match house	'Classic'; Refer Eng.	Without pier base	Timber
(SC-110)	Water Feature - Type 1	1	T.B.C		Pond	T.B.C

PAUL BANGAY THE STUDIO

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PAULBANGAY.COM

DATE: 4th MARCH 2022

REVISION: CD-1

SCALE: 1:200 @ A0

DRAWING NUMBER: 1 of 3

LANDSCAPE ARCHITECT: HM

ARCHITECT: PRESTON PETERSON

JOB TITLE: AUSTIN
13 MORGAN ROAD,
BEL RIDGE,
NSW

DRAWING TITLE:

CONSTRUCTION DOCUMENTATION
LANDSCAPE PLAN
HARDSCAPE

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