

DA
TO BE ADVISED

SHEET INDEX

Table with 2 columns: Sheet Number, Description. Lists sheets 1-29 including Cover Sheet, Locality Plan, Site Analysis, Site Plan, Water Management Plan, Ground Floor Plan, Tennis Cabana Floor Plan, Roof Plan, Window & Door Schedules, Elevations, Kitchen Details, Butler's Pantry Details, Bathroom Details, Ensuite Details, Powder Room Details, Laundry Details, and various details for Tennis Cabana and Main Dwelling.

TOTAL FLOOR AREAS

Table with 2 columns: Area, Value. Lists areas for Tennis Cabana (Alfresco, Garage, Living) and Main Dwelling (Alfresco, Garage, Living, Verandah) on both ground floors.

AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL. - SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS. - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022. - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018. - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS. - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022. - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022. - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022. - INTERNAL AND EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654 AND NCC 2022. - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE). - BUILDING SEALING IN ACCORDANCE WITH NCC 2022. - SERVICES IN ACCORDANCE WITH NCC 2022. - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007. - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE). - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

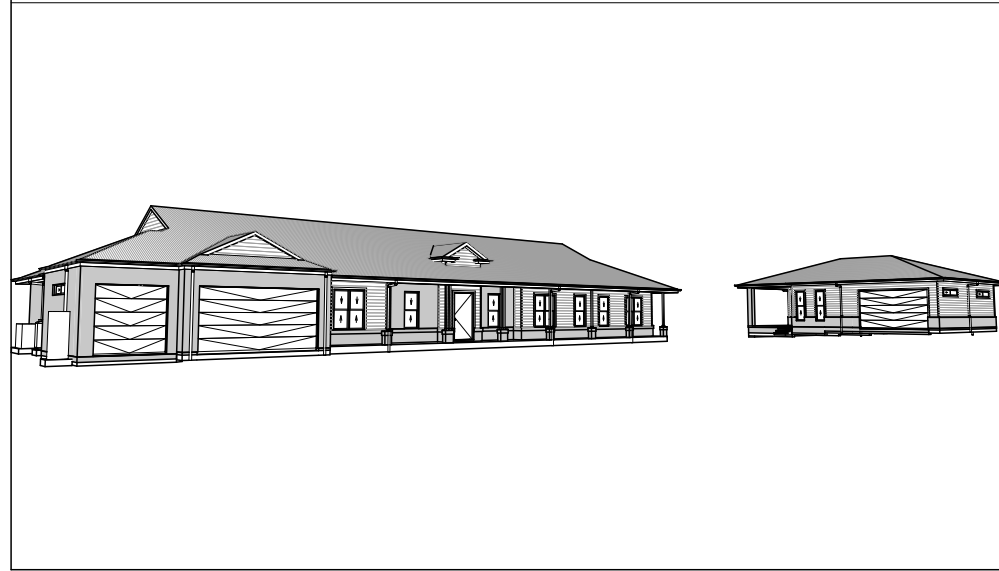
SITE SPECIFIC CONTROLS

Table with 2 columns: CONTROL, DETAILS. Lists controls for Acid Sulphate Soil, Biodiversity, Building Envelope, Bushfire, Classified Road, Design Wind Classification, Estate/Developer Guidelines, Heritage, Landslip Hazard, Mine Subsidence, Minimum Floor Level, Noise Attenuation, Saline Soil, Site Classification, Snow Load, Within 1km Calm Salt Water, Within 50km Breaking Surf, and Zoning.

BUILDING CONTROLS & COMPLIANCE

Table with 3 columns: CONTROL, REQUIREMENT, PROPOSED. Lists controls for Setbacks, Bulk & Scale, Landscape, Earthworks, Access & Amenity.

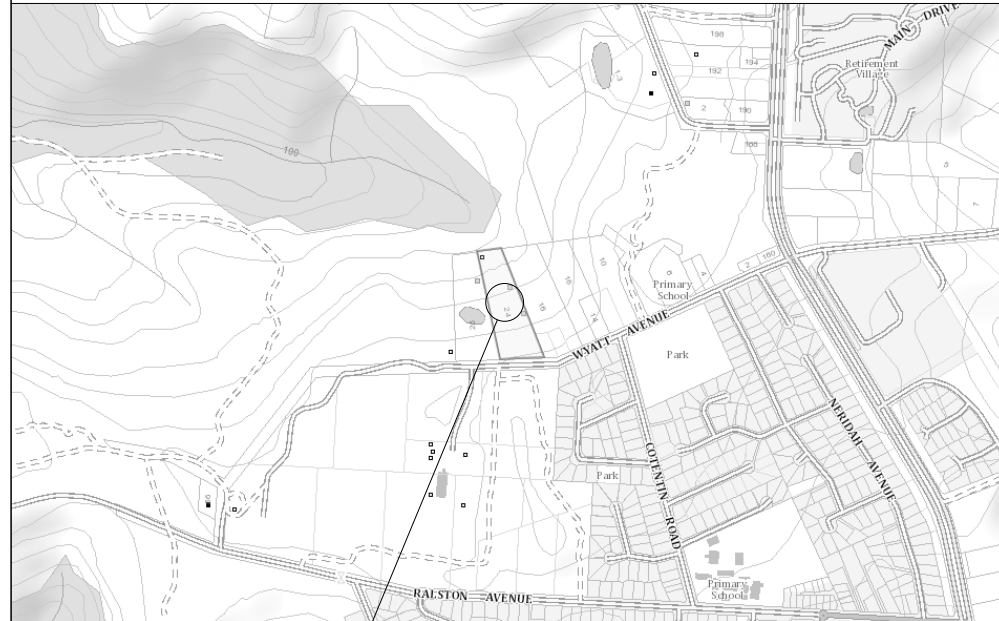
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



LOT 2568
#24 WYATT AVENUE

SUSTAINABILITY (GROUND FLOOR)

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

Tables for BASIX AREAS (Conditioned Area, Unconditioned Area), WATER RATINGS (Shower Heads, Toilet Suites, Kitchen Taps, Bathroom Taps), WATER HARVESTING AND USAGE (Total Roof Area, Water Tank Capacity, etc.), and RECYCLED WATER (Reticulated Recycled Water).

Table for ENERGY COMMITMENTS (Hot Water System, Heating System, Cooling System).

Table for VENTILATION (EXHAUST FANS) (At least one bathroom ducted to outside air, kitchen rangehood ducted to outside air, etc.).

Table for PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER) (N/A).

Table for NATURAL LIGHTING (Natural lighting to kitchen, 6 x bathroom/toilet).

Table for ALTERNATIVE ENERGY (Photovoltaic system, min. 10.12kW peak).

Table for OTHER (Electric cooktop, electric oven, fixed outdoor clothesline by owner, no fixed indoor clothesline).

Table for INSULATION (Roof, Ceiling, Ext. Walls, Int. Walls, Floor).

Table for BUILDING INFORMATION (Ground floor pitching height, frames and trusses, roof pitch, electricity supply, gas supply, roof material, roof colour, wind driven roof ventilators, wall material, wall colour, slab classification).

SUSTAINABILITY (GRANNY FLAT)

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

Table for WATER RATINGS (Shower Heads, Toilet Suites, Kitchen Taps, Bathroom Taps).

Table for ENERGY COMMITMENTS (Hot Water System, Heating System, Cooling System).

Table for VENTILATION (EXHAUST FANS) (At least one bathroom ducted to outside air, kitchen rangehood not ducted, manual switch on/off, no mechanical ventilation to laundry).

Table for PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER) (N/A).

Table for NATURAL LIGHTING (Natural lighting to kitchen, 1 x bathroom/toilet).

Table for ALTERNATIVE ENERGY (Photovoltaic system, N/A).

Table for OTHER (Electric cooktop, electric oven, fixed outdoor clothesline by owner, no fixed indoor clothesline, min. 1200mm ceiling fans without lights to granny flat kitchen/ lounge).

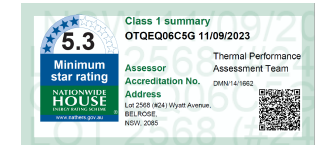
BAL 29 BUSHFIRE REQUIREMENTS
THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8) AND NASH STANDARD STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE MERBAU TIMBER EXTERNAL DOOR JAMBS IN LIEU OF STANDARD.
- PROVIDE BAL 29 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING DOORS IN LIEU OF STANDARD. (NO ALLOWANCE HAS BEEN MADE TO SCREEN EXTERNAL DOORS)
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO THE OPERABLE WINDOW SASHES ONLY
- PROVIDE SEAL TO GARAGE DOOR
- PROVIDE NINE 88x88mm MERBAU POST TO THE FRONT PATIO IN LIEU OF TREATED PINE.
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE
- PROVIDE A BAL RATED DRAINAGE VENT WITH FLASHING KIT AS REQUIRED.
- PROVIDE MESH TO DUCTED EXHAUST FAN VENTS AND DUCTED RANGEHOOD VENTS WHERE APPLICABLE.
- PROVIDE JAMES HARDIES SCYON 89x38 AXENT TRIMS TO THE WINDOWS INSTALLED TO WEATHERBOARD WALLS IN LIEU OF STANDARD TO COMPLY WITH BUSHFIRE REQUIREMENTS.

PROVIDE FLATBACK
GUTTER UPGRADE

SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS

PLAN ACCEPTANCE BY OWNER
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



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Table with 4 columns: SPECIFICATION, REVISION, DRAWN, CLIENT. Lists specifications like Country Living, Copyright © 2023, and revision details. Client: MS DOROTHY FRANCES BLOOM, 24 WYATT AVE, BELROSE NSW 2085.

Table with 4 columns: HOUSE DESIGN, FACADE DESIGN, SHEET TITLE, HOUSE CODE, FACADE CODE, SHEET No., SCALES. Design: BRONTE EXEC GRANDE MANOR ONE, County Pavilion Facade, Cover Sheet, H-BROCLAS11421, F-BROCYP01, 1/29, 1:100.

606935

File Location: G:\Sydney\Drafting\Job Files 606935 - Bloom\Plan Model\606935 Bloom - AC24.plt
Last Published: Wednesday, 13 September 2023 5:00 PM
Template Version: 24.026

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
 SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

OVERHEAD POWER LINES ARE PRESENT

BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

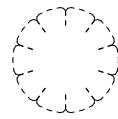
DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

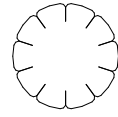
APPROX. CUT/FILL

CUT	30.24m ³	68.04t
FILL	29.89m ³	67.25t
DIFFERENCE	0.35m ³	0.79t

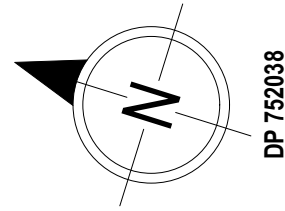
EVEN CUT & FILL



EXISTING TREE TO BE REMOVED



EXISTING TREE TO REMAIN



DP 752038

LOT 1
 DP 1139826
 72°54'00"
 47.595M

208.625M
 157°50'00"

148°38'20"
 222.89M

LOT 2567

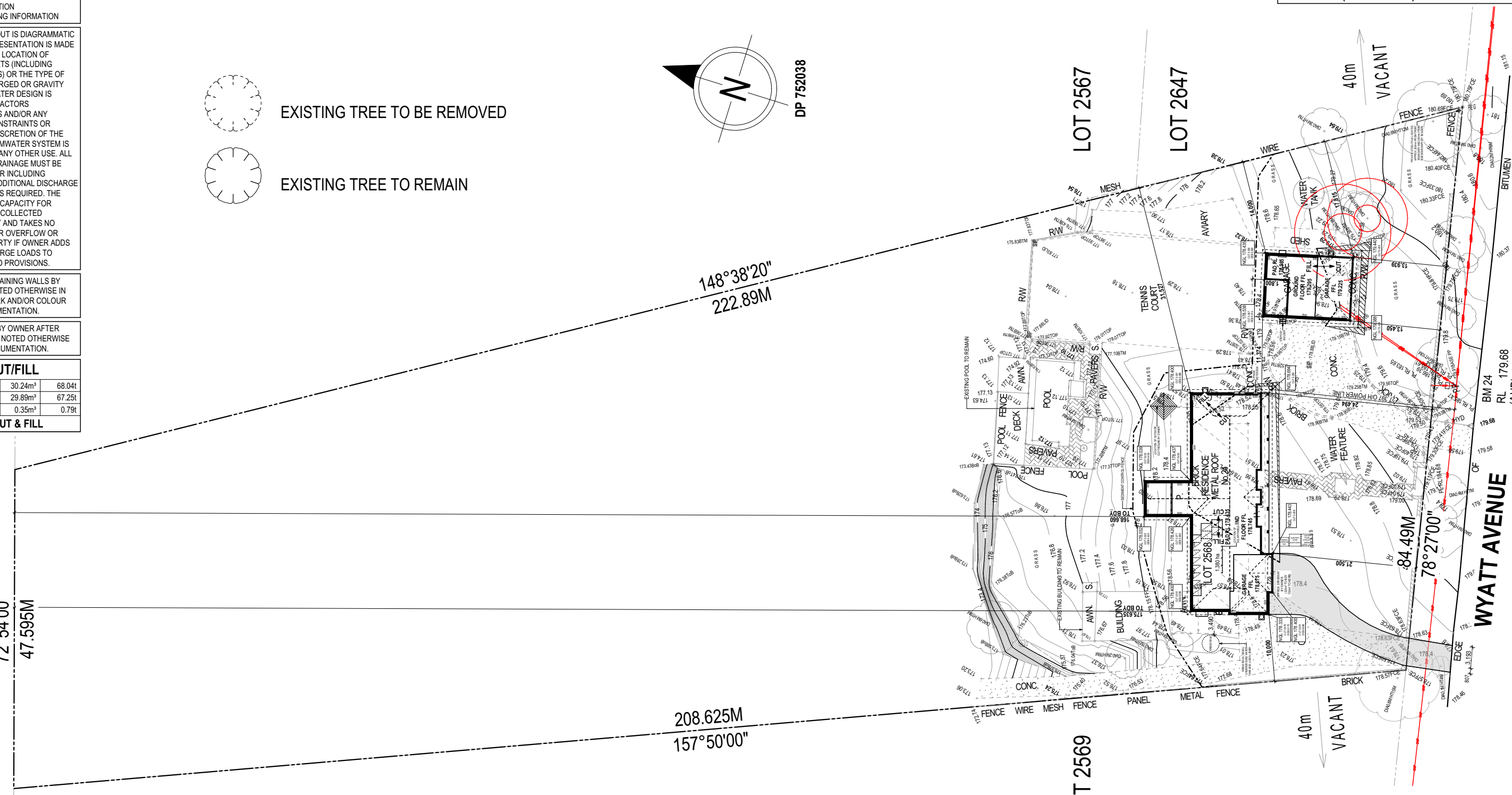
LOT 2647

LOT 2569

40m
 VACANT

40m
 VACANT

WYATT AVENUE
 BM 24 RL 179.68 (AHD)

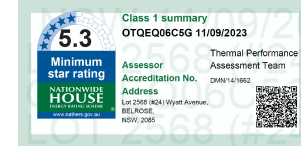


SUBJECT TO NCC 2022 (1 MAY 2023) REQUIREMENTS

PLAN ACCEPTANCE BY OWNER

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

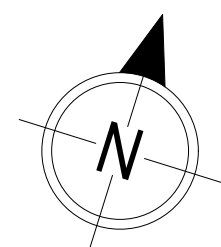


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SPECIFICATION: COUNTRY LIVING	5	WD CEHCK	ALW	2023.07.21	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	6	REGENERATE DWG	JAB	2023.08.04	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085	FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01	
	7	PRELIM CONSTRUCTION PLANS	ENG	22/08/2023	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: LOCALITY PLAN	SHEET No.: 2 / 29	
	8	AMENDED AS PER PCV03 & PCV06	LFL	06.09.2023	COUNCIL: TO BE ADVISED	SCALES: 1:600	606935	
	9	AMEND AS PER PCV 009	JVA	2023.09.13				

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 Last Published: Wednesday, 13 September 2023 5:00 PM

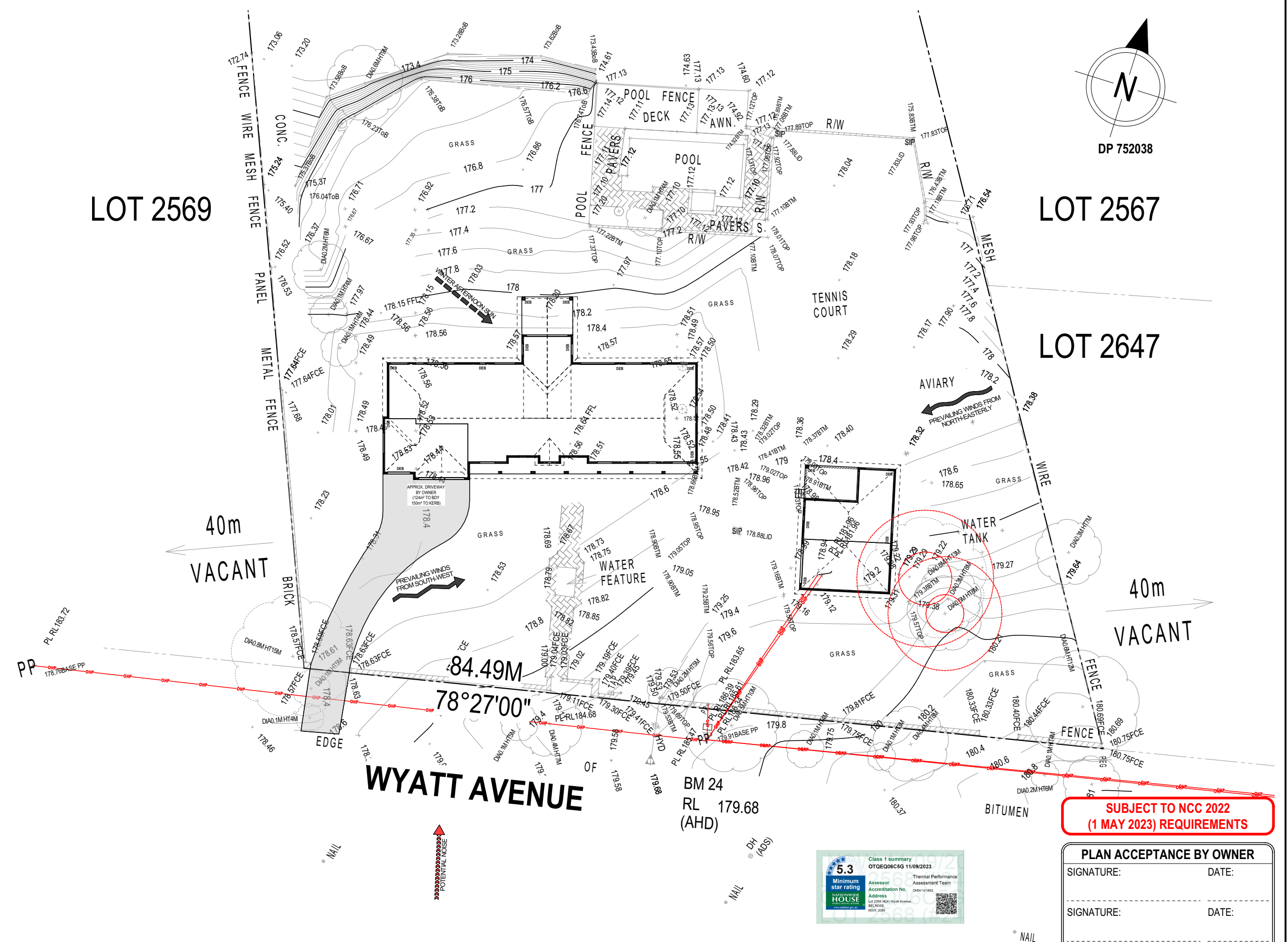


DP 752038

LOT 2569

LOT 2567

LOT 2647



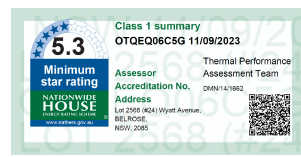
**SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS**

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SPECIFICATION: COUNTRY LIVING COPYRIGHT: © 2023	REVISION 5 WD CEHCK	DRAWN ALW 2023.07.21	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND LEVEL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935	
	6 REGENERATE DWG	JAB 2023.08.04	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085	FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01		
	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	LOT / SECTION / DP: 2568 / - / 752038	COUNCIL: TO BE ADVISED	SHEET TITLE: SITE ANALYSIS		SHEET No.: 3 / 29
	8 AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023			SCALES: 1:400		
	9 AMEND AS PER PCV 009	JVA 2023.09.13					

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION.

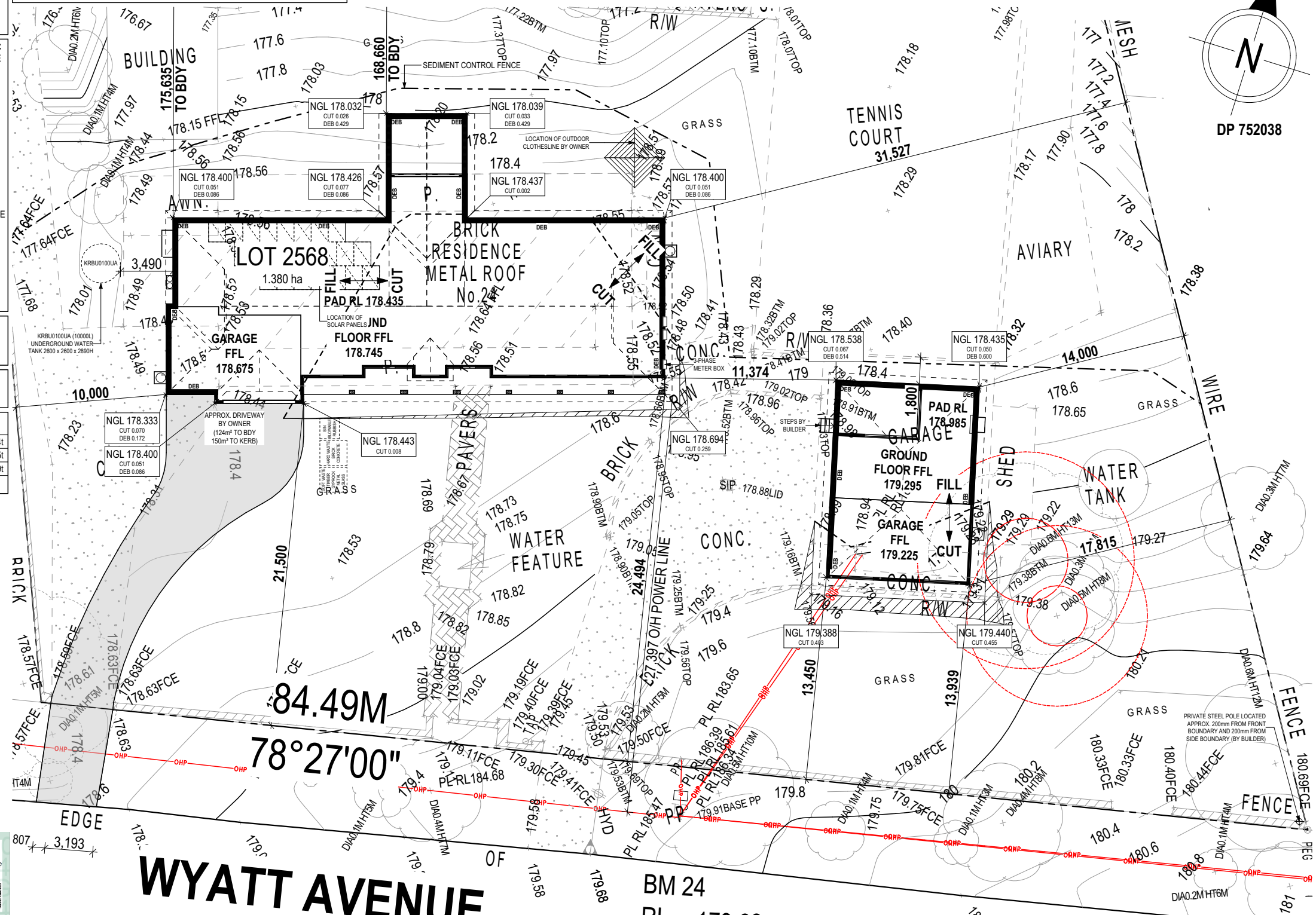
PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

APPROX. CUT/FILL		
CUT	30.24m ³	68.04t
FILL	29.89m ³	67.25t
DIFFERENCE	0.35m ³	0.79t

EVEN CUT & FILL

±100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
 SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

OVERHEAD POWER LINES ARE PRESENT



BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

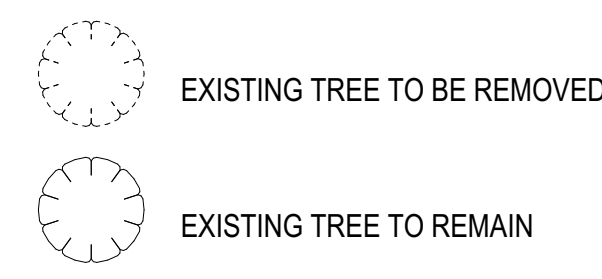
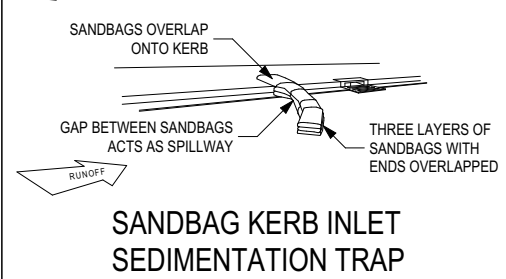
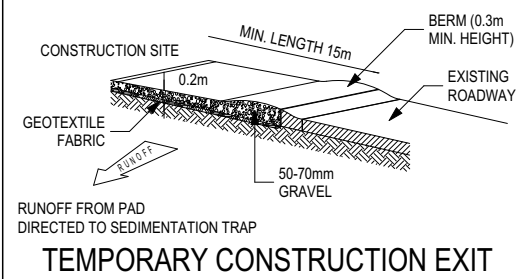
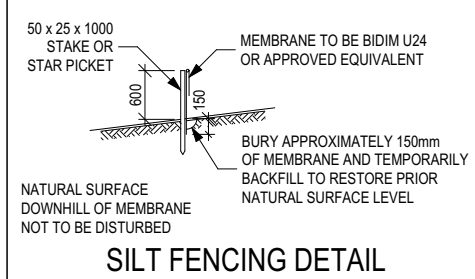
DEMOLITION SHOWN DASHED

- OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.:
- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, GARDEN BEDS, DRIVEWAYS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
- REMOVAL OF ANY TREES, STUMPS, BARK OR EXCESSIVE GROWTH WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
- ALL BUILDING MATERIALS OR WASTE ON SITE IS TO BE FULLY REMOVED.
- ANY DEPRESSIONS TO NATURAL GROUND LEVEL ARE TO BE ADEQUATELY FILLED.
- ANY EXCESS FILL WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS TO BE REMOVED.
- GAS METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- ELECTRICAL METER AND ASSOCIATED SERVICES TO BE REMOVED TO AGREED SAFE DISTANCE (BOUNDARY/POLE).
- WATER METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- TELEPHONE & DATA CABLES TO BE REMOVED BACK TO SITE BOUNDARY.
- EXISTING SITE SEWER & STORM WATER CONNECTIONS TO BE REMOVED AND CAPPED OFF TO PREVENT INCIDENCE OF BUILDING MATERIALS ENTERING THOSE SYSTEMS AND LEAVING YOUR SITE.
- ASBESTOS: A SITE CLEARANCE CERTIFICATE IS REQUIRED TO BE SUPPLIED TO US BY THE OWNER PRIOR TO US COMMENCING WORK ON YOUR SITE. YOUR DEMOLITION COMPANY SHOULD BE ABLE TO ARRANGE THIS FOR YOU.
- PLEASE NOTE: RELEVANT DOCUMENTED REPORT EVIDENCE & PICTURES FROM PARTIES CARRYING OUT THESE SERVICES WILL BE REQUIRED TO ENSURE THE ABOVE ASPECTS HAVE BEEN COMPLETED EFFECTIVELY TO MEET BOTH OUR LEGAL & CONTRACT REQUIREMENTS.

- EXISTING STRUCTURE TO BE DEMOLISHED AND REMOVED BY OWNER.
- AFTER DEMOLITION OF EXISTING HOUSE IS COMPLETE AN ADDITIONAL SOIL TEST MAY BE REQUIRED TO CONFIRM THE SOIL CONDITIONS AS DIRECTED BY ENGINEER. IF REQUIRED ADDITIONAL COSTS WILL BE PROVIDED BY WAY OF POST CONTRACT VARIATION.
- OWNER SHALL INSTALL AND MAINTAIN AN ALL-WEATHER ACCESS ROAD TO & WITHIN THE PROPERTY BOUNDARIES AND UP TO THE BUILDING SITE. SUITABLE FOR ARTICULATED VEHICLES FOR CONSTRUCTION PURPOSES TO THE SATISFACTION OF THE BUILDER.
- THE OWNER IS TO NOMINATE THE PROPOSED LOCATION OF THE HOME USING FOUR PEGS TO IDENTIFY APPROXIMATE LOCATION AND ORIENTATION PRIOR TO THE SURVEYOR ATTENDING SITE.
- THE EXISTING DWELLING IS TO REMAIN ON SITE. OWNER WISHES TO RETAIN THIS STRUCTURE FOR STORAGE PURPOSES. THIS IS NOT A DUAL OCCUPANCY. THIS WILL BE SUBJECT TO LOCAL AUTHORITY APPROVAL. THE OWNER IS TO PROVIDE A STATUTORY DECLARATION UNDERTAKING WITH COUNCIL THAT THE EXISTING DWELLING WILL ONLY BE USED AS STORAGE. THE OWNER IS ALSO RESPONSIBLE FOR ANY FEES OR BONDS APPLICABLE.
- THE EXISTING POOL IS TO REMAIN ON SITE. THE OWNER IS TO PROVIDE AN 1800MM HIGH SAFETY FENCE, ENCLOSED THE POOL. A MINIMUM OF 3000MM FROM THE GUTTER LINE OF THE PROPOSED HOUSE TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT. THE BUILDER TAKES NO RESPONSIBILITY FOR DAMAGE THAT MAY OCCUR TO THE POOL AND SURROUNDS DURING CONSTRUCTION AND HAS MADE NO ALLOWANCE FOR ANY REPAIRS THAT MAY BE REQUIRED.
- SEWER MAIN LOCATION NOT AVAILABLE AT TIME OF PLAN DRAWING. LOCATION SUBJECT TO RECEIPT OF RELEVANT DOCUMENTATION.

5.3 Class 1 summary
 070E006C6G 11/09/2023
 Minimum star rating
 Assessor: Thermal Performance Assessment Team
 Accreditation No. 2061-15182
 Address: Lot 2568 2564 Wyatt Avenue, BELMERE, NSW 2085

WYATT AVENUE



SITE CLASSIFICATION **P-M**. SOIL SURFACE MOVEMENT CHARACTERISTICS EQUIVALENT TO **M** CLASS AS PER STS GEOTECHNICS PTY LTD REPORT NO. 23/1590.
 NO EVIDENCE OF FILL ON SITE.
 WEATHERED ROCK @ APPROX. 450mm BELOW THE NATURAL GROUND LEVEL.

SUBJECT TO NCC 2022 (1 MAY 2023) REQUIREMENTS

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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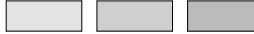
SPECIFICATION:	REVISION	DRAWN	CLIENT:
COUNTRY LIVING	5 WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM
COPYRIGHT:	6 REGENERATE DWG	JAB 2023.08.04	ADDRESS:
© 2023	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085
	8 AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:
	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038
			COUNCIL: TO BE ADVISED

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BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
FACADE DESIGN:	FACADE CODE:	
COUNTY PAVILION FACADE	F-BROCYP01	
SHEET TITLE:	SHEET No.:	
SITE PLAN	4 / 29	
	SCALES:	
	1:300	
		606935

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION



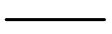







STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

 TO BE DIVERTED TO WATER TANK. BALANCE AS PER HYDRAULIC ENGINEERS DETAILS.
 COLLECTION AREA = 615.02m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED AS PER HYDRAULIC ENGINEERS DETAILS.

BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

**REFER TO STORMWATER DESIGN BY
 IBRAHIM STORMWATER CONSULTANTS
 FOR STORMWATER REQUIREMENTS
 REFERENCE: SW23307 ISSUE B
 DATED: 28.08.2023**

LEGEND	
WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS	
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY	
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)	
ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY	
 SDP	STANDARD DOWNPIPE
 CDP	CHARGED DOWNPIPE
	RECYCLED COLD WATER LINE
	TANK COLD WATER LINE
	WATER LINE TO MAIN SUPPLY
	NON-CHARGED STORMWATER LINE
	CHARGED STORMWATER LINE
 WM	WASHING MACHINE
 WC	TOILET
	YARD TAP

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**SUBJECT TO NCC 2022
 (1 MAY 2023) REQUIREMENTS**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	



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COUNTRY LIVING	5 WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
COPYRIGHT:	6 REGENERATE DWG	JAB 2023.08.04	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
© 2023	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE	F-BROCYP01	
	8 AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	606935
	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	COUNCIL: TO BE ADVISED	SCALES: 1:175	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

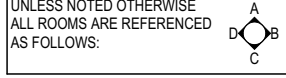
ALL EXTERIOR STEPS AND LANDINGS BY CUSTOMER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



WALL FRAMES AND TRUSSES TO BE UPGRADED TO SUIT AN N3 (W41N) WIND CLASSIFICATION

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

BAL-29 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE FLATBACK GUTTER UPGRADE

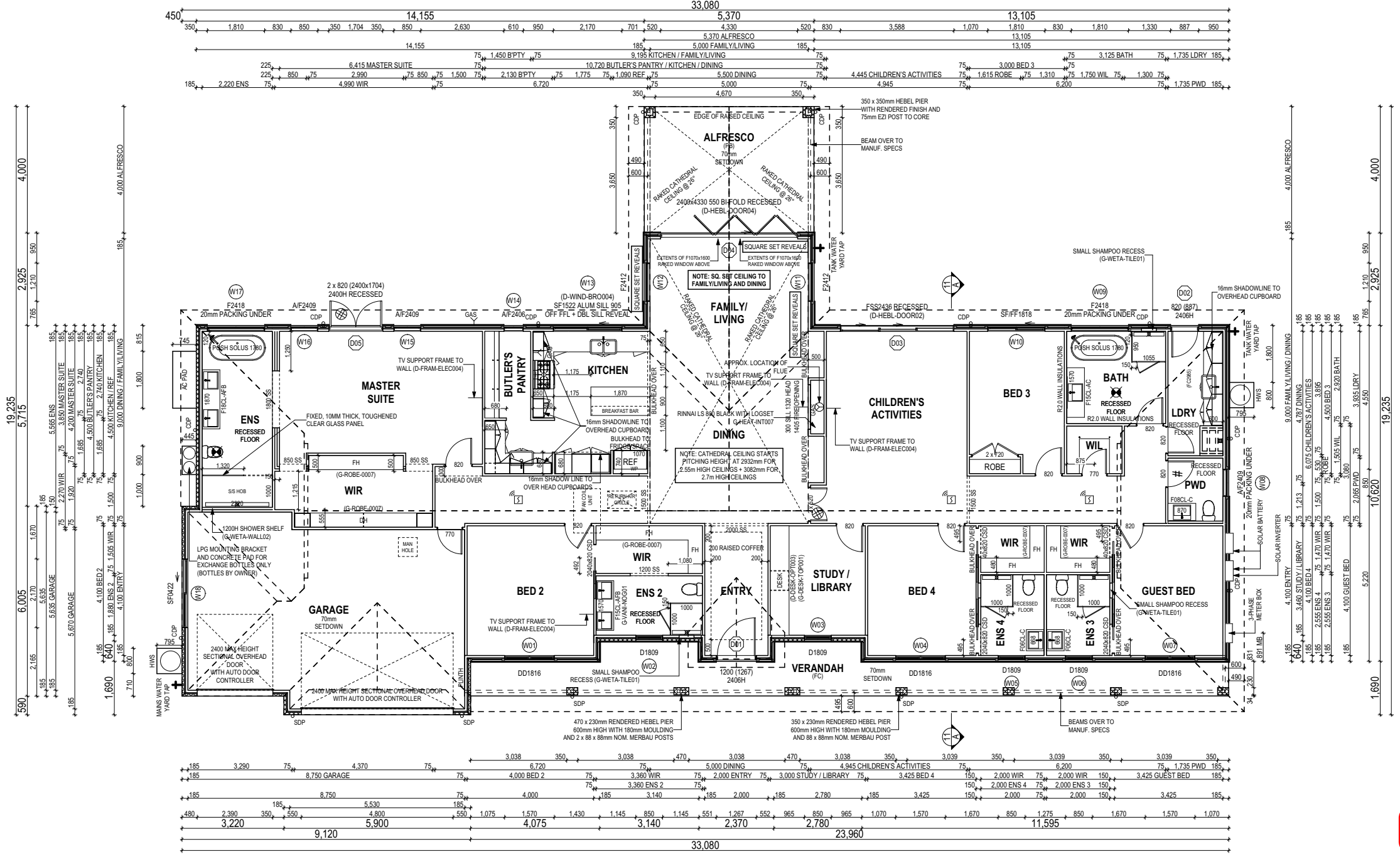
PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	INTERCONNECTED SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
WP	FRIDGE WATER POINT
	GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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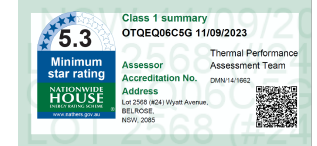
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PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	5	ALW	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
	6	JAB	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	7	ENG	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE	F-BROCYP01	
	8	LFL	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	9	JVA	2568 / - / 752038	GROUND FLOOR PLAN	6 / 29	
			COUNCIL:	TO BE ADVISED	1:150	

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WALL FRAMES AND TRUSSES TO BE UPGRADED TO SUIT AN N3 (W41N) WIND CLASSIFICATION

MIN. 1200mm CEILING FANS WITHOUT LIGHTS TO GRANNY FLAT KITCHEN/ LOUNGE

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

BAL-29 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE FLATBACK GUTTER UPGRADE

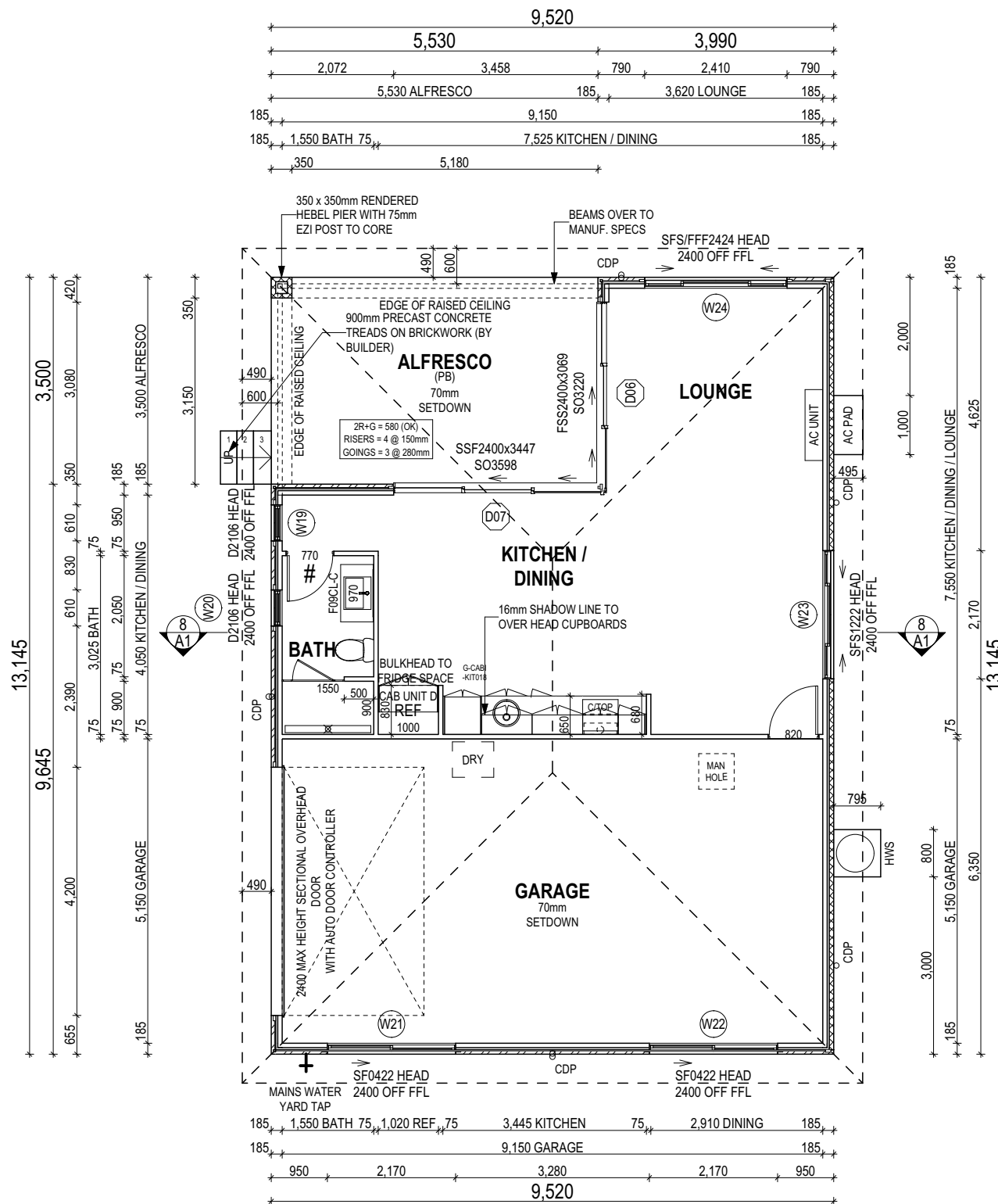
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LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- HEBEL
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- SDP STANDARD DOWNPIPE
- CDP CHARGED DOWNPIPE
- EXHAUST FAN
- L.B.W LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- INTERCONNECTED SMOKE ALARM
- # LIFT OFF HINGE
- + WATER POINT
- WP FRIDGE WATER POINT
- GAS BAYONET



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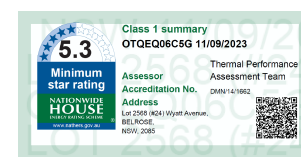
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PLAN ACCEPTANCE BY OWNER

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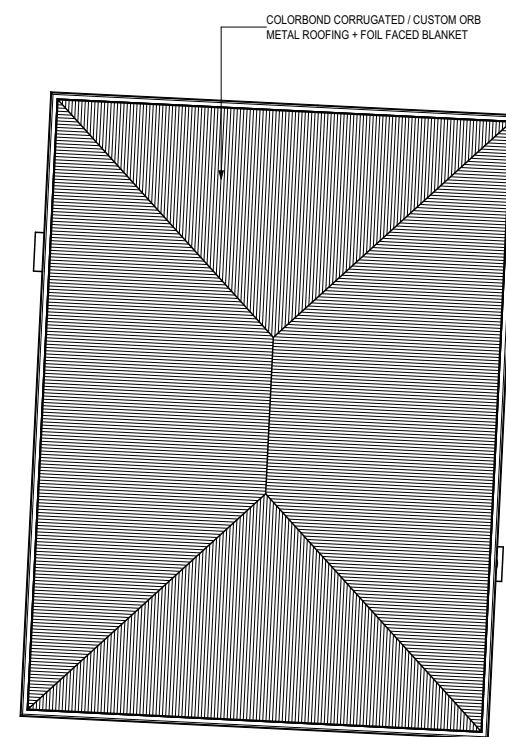
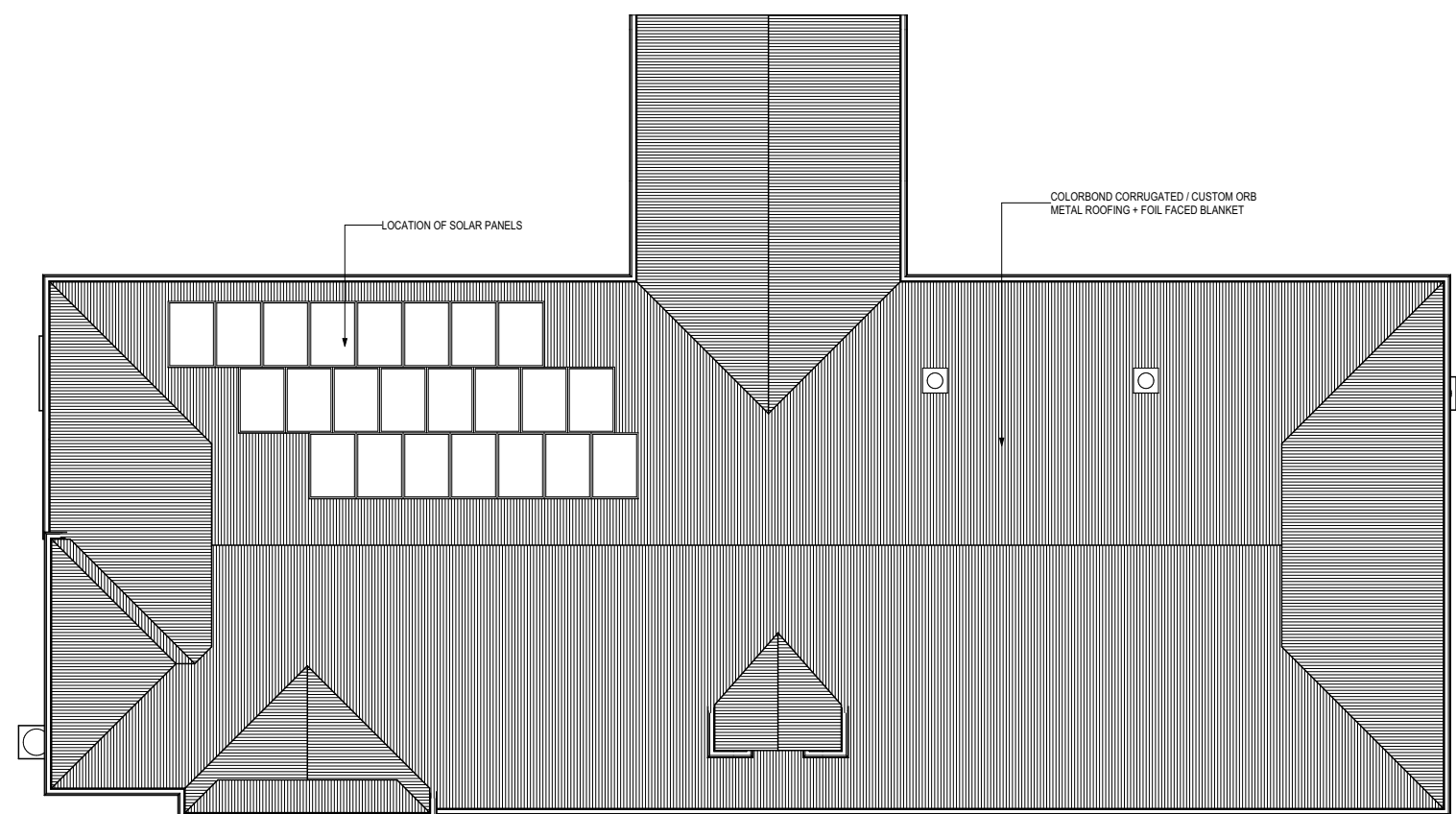
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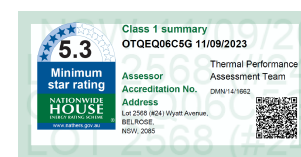
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	5	WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421
	6	REGENERATE DWG	JAB 2023.08.04	ADDRESS:	FACADE DESIGN:		FACADE CODE:
	7	PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE		F-BROCYP01
	8	AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:		SHEET No.:
	9	AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	TENNIS CABANA FLOOR PLAN		7 / 29
				COUNCIL:	TO BE ADVISED		SCALES:
							1:100

**PROVIDE FLATBACK
GUTTER UPGRADE**



ROOF PLAN
SCALE: 1:175

**SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS**



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- GENERAL BUILDING INFORMATION

**BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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 <p>mcdonald jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION:	COUNTRY LIVING	REVISION:	5	WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>606935</p>
	COPYRIGHT:	© 2023	REVISION:	6	REGENERATE DWG	DRAWN:	JAB 2023.08.04	ADDRESS:	24 WYATT AVE, BELROSE NSW 2085	FACADE DESIGN:	COUNTY PAVILION FACADE	FACADE CODE:	F-BROCYP01	
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			REVISION:	8	AMENDED AS PER PCV03 & PCV06	DRAWN:	LFL 06.09.2023				SCALES:	1:175		
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Template Version: 24.026

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE ¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE	ADDITIONAL INFORMATION ²	
WINDOW																
GROUND FLOOR	W01	DD1816	DOUBLE HUNG	BED 2	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785	
GROUND FLOOR	W02	D1809	DOUBLE HUNG	ENS 2	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED		
GROUND FLOOR	W03	D1809	DOUBLE HUNG	STUDY / LIBRARY	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR		
GROUND FLOOR	W04	DD1816	DOUBLE HUNG	BED 4	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785	
GROUND FLOOR	W05	D1809	DOUBLE HUNG	ENS 4	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED		
GROUND FLOOR	W06	D1809	DOUBLE HUNG	ENS 3	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED		
GROUND FLOOR	W07	DD1816	DOUBLE HUNG	GUEST BED	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785	
GROUND FLOOR	W08	A/F2409	AWNING	PWD	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	E	1.60	SATINLITE, TOUGHENED	BP 760	
GROUND FLOOR	W09	F2418	FIXED	BATH	2,360	1,810	8,340	4.27	ALUMINIUM	BAL-29	NONE	N	3.98	CLEAR, TOUGHENED		
GROUND FLOOR	W10	SF/FF1818	SLIDING	BED 3	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-29	NONE	N	2.79	CLEAR	BP 600, MP 905/0	
GROUND FLOOR	W11	F2412	FIXED	FAMILY / LIVING	2,360	1,210	7,140	2.86	ALUMINIUM	BAL-29	NONE	E	2.60	CLEAR, TOUGHENED		
GROUND FLOOR	W12	F2412	FIXED	FAMILY / LIVING	2,360	1,210	7,140	2.86	ALUMINIUM	BAL-29	NONE	W	2.60	CLEAR, TOUGHENED		
GROUND FLOOR	W13	SF1522	SLIDING	KITCHEN	1,460	2,170	7,260	3.17	ALUMINIUM	BAL-29	NONE	N	2.85	CLEAR		
GROUND FLOOR	W14	A/F2406	AWNING	BUTLER'S PANTRY	2,360	610	5,940	1.44	ALUMINIUM	BAL-29	NONE	N	1.08	CLEAR	BP 760	
GROUND FLOOR	W15	A/F2409	AWNING	MASTER SUITE	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	N	1.60	CLEAR	BP 760	
GROUND FLOOR	W16	A/F2409	AWNING	MASTER SUITE	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	N	1.60	CLEAR	BP 760	
GROUND FLOOR	W17	F2418	FIXED	ENS	2,360	1,810	8,340	4.27	ALUMINIUM	BAL-29	NONE	N	3.98	CLEAR, TOUGHENED		
GROUND FLOOR	W18	SF0422	SLIDING	GARAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	W	0.67	CLEAR		
GROUND FLOOR	W19	D2106	DOUBLE HUNG	HALL	2,060	610	5,340	1.26	ALUMINIUM	BAL-29	NONE	W	1.03	CLEAR		
GROUND FLOOR	W20	D2106	DOUBLE HUNG	BATH	2,060	610	5,340	1.26	ALUMINIUM	BAL-29	NONE	W	1.03	CLEAR, TOUGHENED		
GROUND FLOOR	W21	SF0422	SLIDING	GARAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	S	0.67	CLEAR		
GROUND FLOOR	W22	SF0422	SLIDING	GARAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	S	0.67	CLEAR		
GROUND FLOOR	W23	SFS1222	SLIDING	KITCHEN / DINING	1,200	2,170	6,740	2.60	ALUMINIUM	BAL-29	NONE	E	2.27	CLEAR		
GROUND FLOOR	W24	SFS/FFF2424	SLIDING	LOUNGE	2,360	2,410	9,540	5.69	ALUMINIUM	BAL-29	NONE	N	4.95	CLEAR, TOUGHENED	BP 760, MP 603-1205/0	
FIRST FLOOR	W25	F1070x1600 RAKED	FIXED		1,070	1,600	4,740	1.09	ALUMINIUM	BAL-29	NONE	N	0.88	CLEAR, TOUGHENED	RAKED TOP, LOW END HEIGHT 290mm, HIGH END HEIGHT 1070mm	
FIRST FLOOR	W26	F1070x1600 RAKED	FIXED		1,070	1,600	4,740	1.09	ALUMINIUM	BAL-29	NONE	N	0.88	CLEAR, TOUGHENED	RAKED TOP, LOW END HEIGHT 290mm, HIGH END HEIGHT 1070mm	
								58.37					49.97			

DOOR																
GROUND FLOOR	D01	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	BAL-29	NONE	S	---	DOOR(S): NO GLAZING - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 1200mm	
GROUND FLOOR	D02	820	SWINGING	LDRY	2,406	887	6,586	2.13	TIMBER	BAL-29	NONE	N	---	DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 820mm, 6MM CLEAR TOUGHENED GLAZING	
GROUND FLOOR	D03	FSS2436	STACKER	CHILDREN'S ACTIVITIES	2,400	3,588	11,976	8.61	ALUMINIUM	BAL-29	NONE	N	7.77	CLEAR, TOUGHENED		
GROUND FLOOR	D04	2400x4330 550 BI-FOLD	BI-FOLD	FAMILY / LIVING	2,400	4,330	13,460	10.39	ALUMINIUM	BAL-29	NONE	N	7.37	CLEAR, TOUGHENED		
GROUND FLOOR	D05	2 x 820	SWINGING	MASTER SUITE	2,400	1,704	8,208	4.09	ALUMINIUM	BAL-29	NONE	N	2.91	CLEAR		
GROUND FLOOR	D06	FSS2400x3069	STACKER	LOUNGE	2,400	3,080	10,960	7.39	ALUMINIUM	BAL-29	NONE	W	6.92	CLEAR, TOUGHENED	CORNER JOINING (INTERNAL - WITH LOCK)	
GROUND FLOOR	D07	SSF2400x3447	STACKER	KITCHEN / DINING	2,400	3,458	11,716	8.30	ALUMINIUM	BAL-29	NONE	N	7.74	CLEAR, TOUGHENED	CORNER JOINING (INTERNAL - NO LOCK)	
								43.96					32.71			
								102.33					82.68			

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
GROUND FLOOR	2	1500 SS	SQUARE SET OPENING	2,455	1,500	N/A	
GROUND FLOOR	1	1800 SS	SQUARE SET OPENING	2,455	1,800	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,340	1,040	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,340	1,440	N/A	
GROUND FLOOR	1	2000 SS	SQUARE SET OPENING	2,455	2,000	N/A	
GROUND FLOOR	5	2040x820 CSD	CAVITY SLIDING	2,040	820	N/A	
GROUND FLOOR	2	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	9	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	820	SWINGING	2,340	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	2	850 SS	SQUARE SET OPENING	2,455	850	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

**BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS**

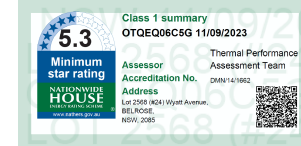
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WINDOWS TO BE UPGRADED TO SUIT AN N3 (W41N) WIND CLASSIFICATION

SUBJECT TO NCC 2022 (1 MAY 2023) REQUIREMENTS

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m ²)
1	SS WINDOW OPENING	1,020	1,405	1.43



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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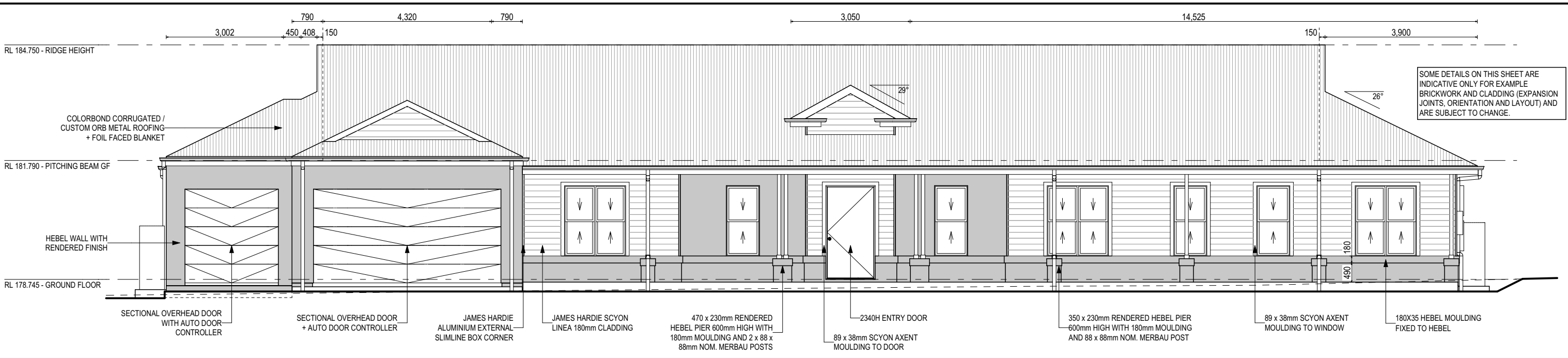
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COUNTRY LIVING	5 WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM
COPYRIGHT:	6 REGENERATE DWG	JAB 2023.08.04	ADDRESS:
© 2023	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085
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	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038
			COUNCIL: TO BE ADVISED

HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421
FACADE DESIGN:	COUNTY PAVILION FACADE	FACADE CODE:	F-BROCYP01
SHEET TITLE:	WINDOW & DOOR SCHEDULES	SHEET No.:	9 / 29
SCALES:			

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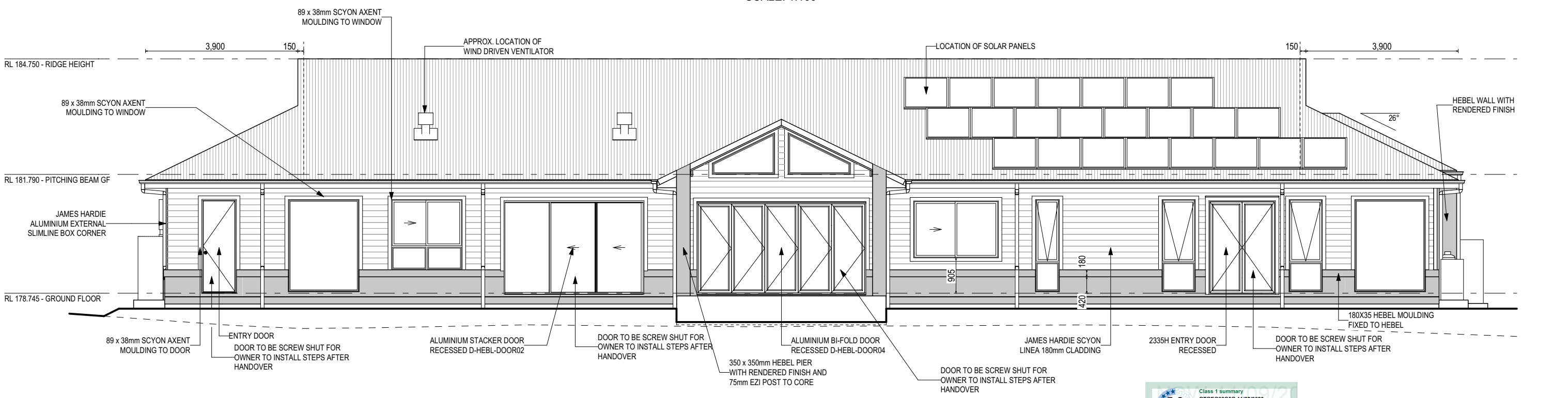
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FRONT ELEVATION (SOUTH - BAL 29)
SCALE: 1:100

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.



REAR ELEVATION (NORTH - BAL 29)
SCALE: 1:100



SUBJECT TO NCC 2022 (1 MAY 2023) REQUIREMENTS

PROVIDE FLATBACK GUTTER UPGRADE

BAL-29 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION
SH = SNAP HEADER SILL

GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER

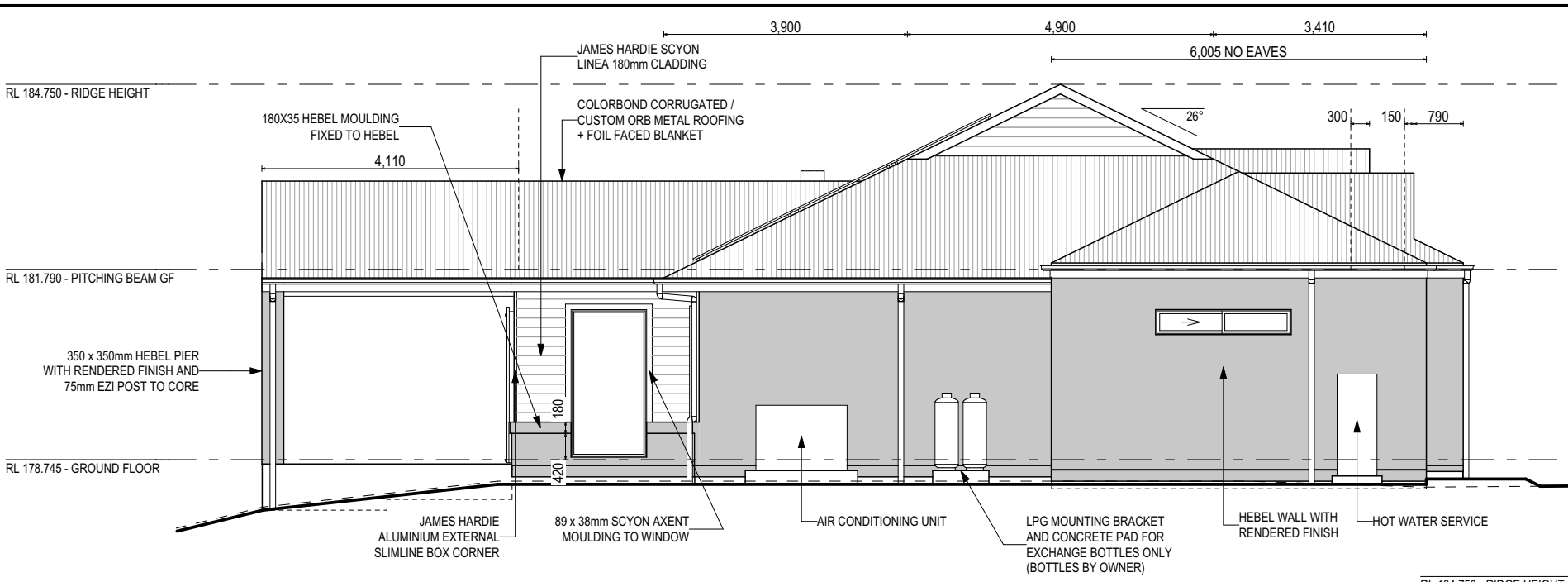
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SIGNATURE: _____	DATE: _____

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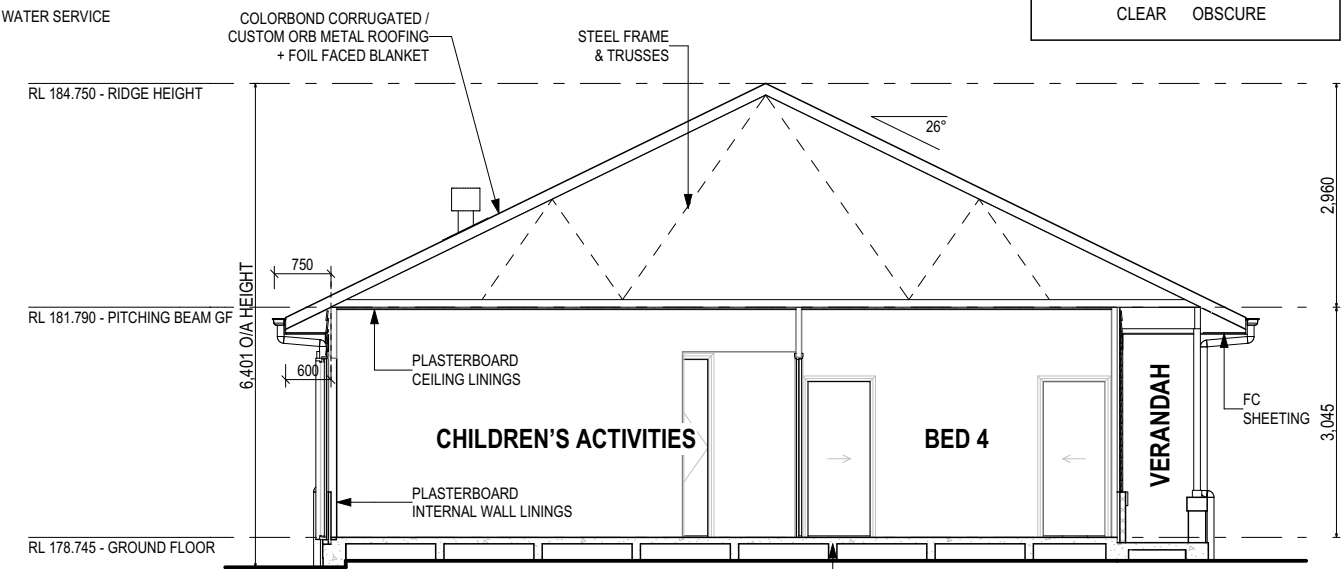
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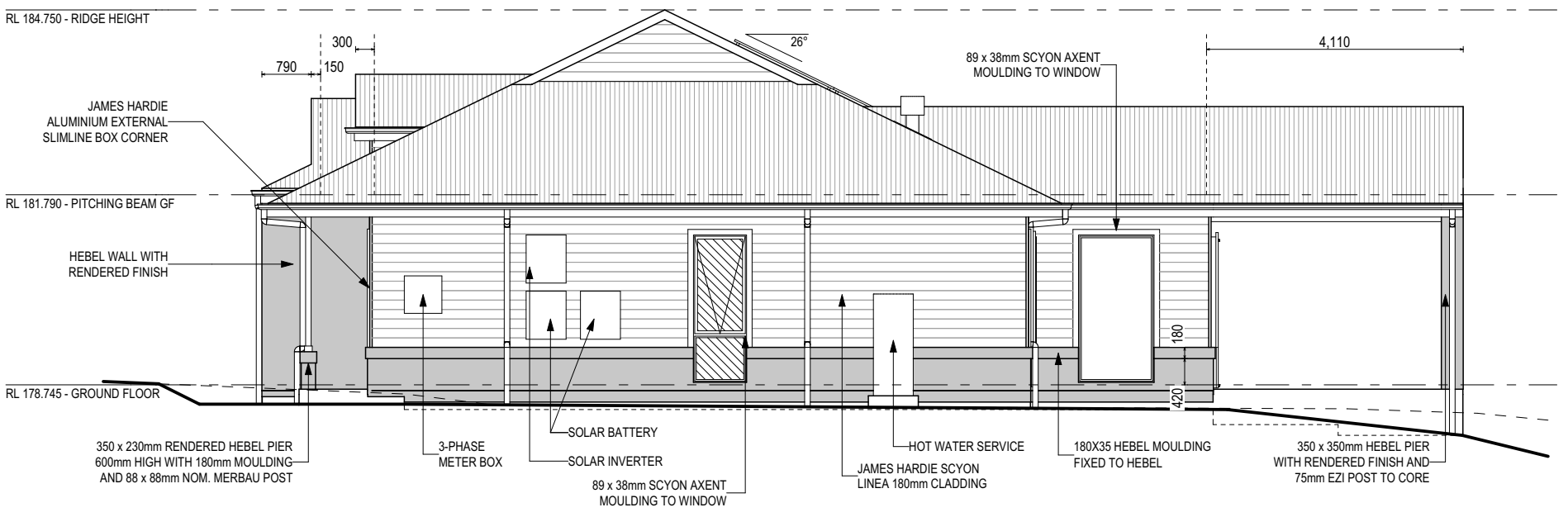
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COPYRIGHT: © 2023	5 WD CEHCK	ALW 2023.07.21	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085	FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01	
	6 REGENERATE DWG	JAB 2023.08.04	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: ELEVATIONS	SHEET No.: 10 / 29	
	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	COUNCIL: TO BE ADVISED	SCALES: 1:100	606935	



LEFT ELEVATION (WEST - BAL 29)
SCALE: 1:100



SECTION A-A
SCALE: 1:100



RIGHT ELEVATION (EAST - BAL 29)
SCALE: 1:100

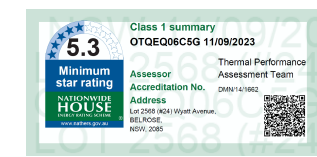
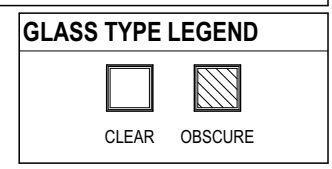
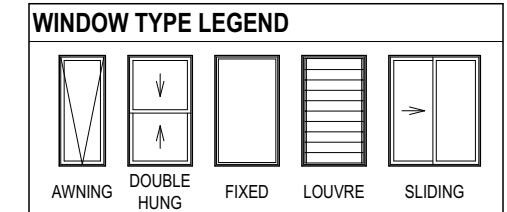
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION
TO MANUFACTURERS SPECIFICATIONS

PROVIDE FLATBACK
GUTTER UPGRADE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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SH = SNAP HEADER SILL



SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS

PLAN ACCEPTANCE BY OWNER

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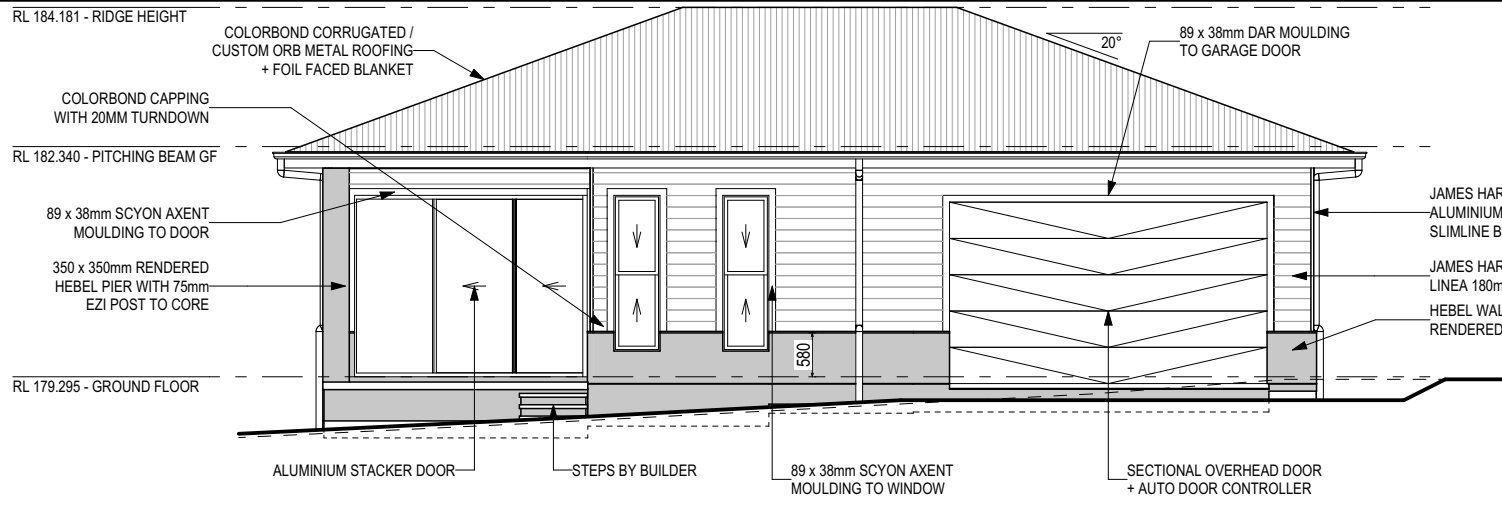
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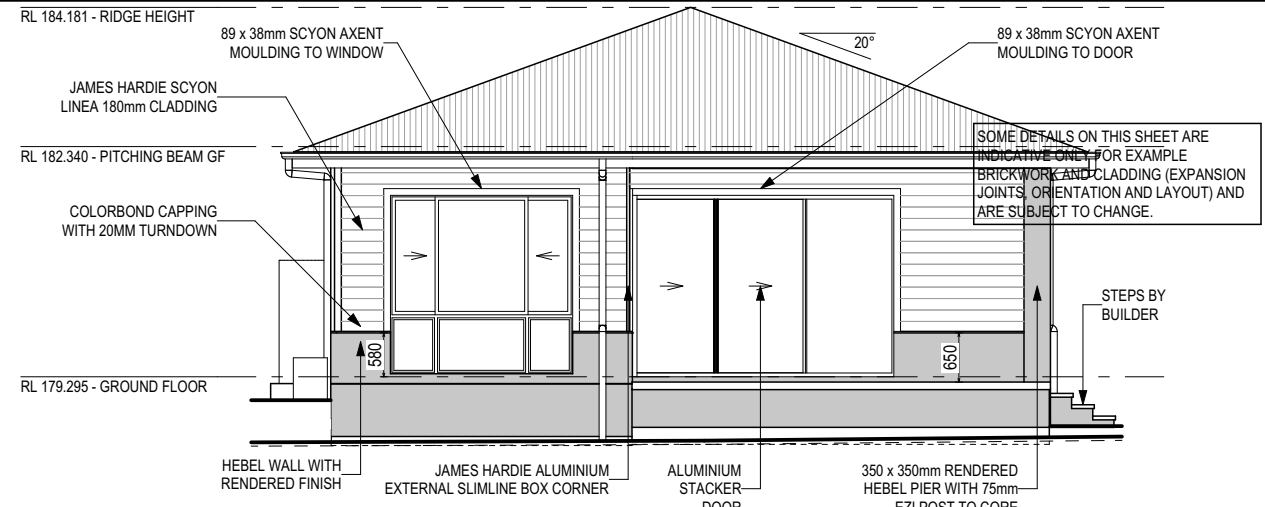
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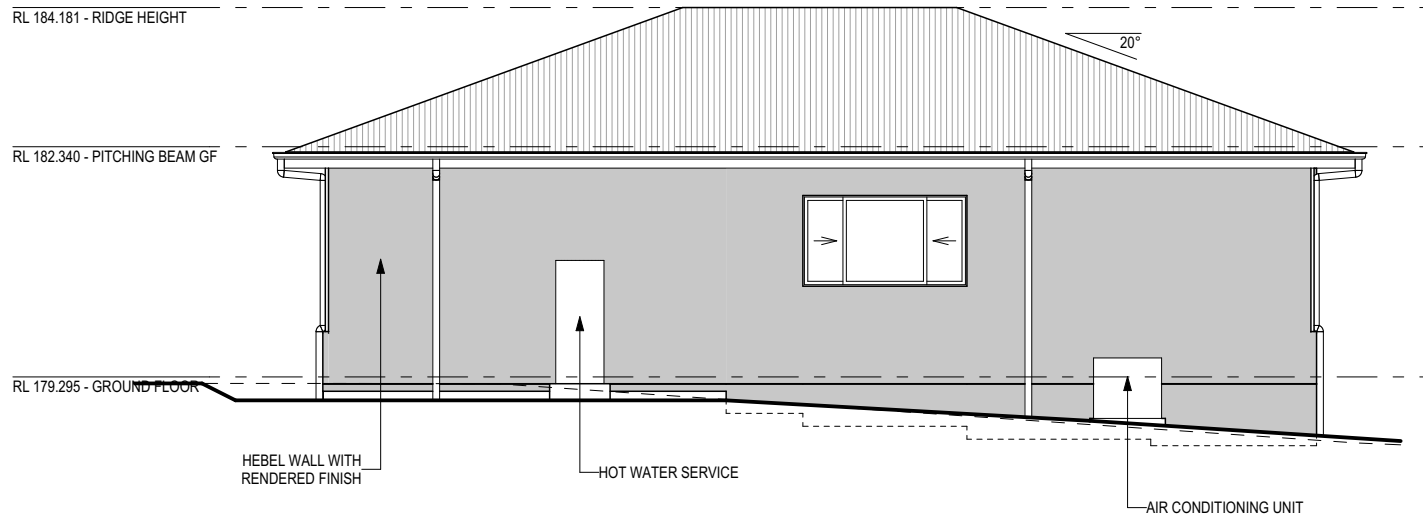
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	5	WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421
	6	REGENERATE DWG	JAB 2023.08.04	ADDRESS:	FACADE DESIGN:		FACADE CODE:
	7	PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE		F-BROCYP01
	8	AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:		SHEET No.:
	9	AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	ELEVATIONS / SECTION		11 / 29
				COUNCIL:	TO BE ADVISED		SCALES:
							1:100



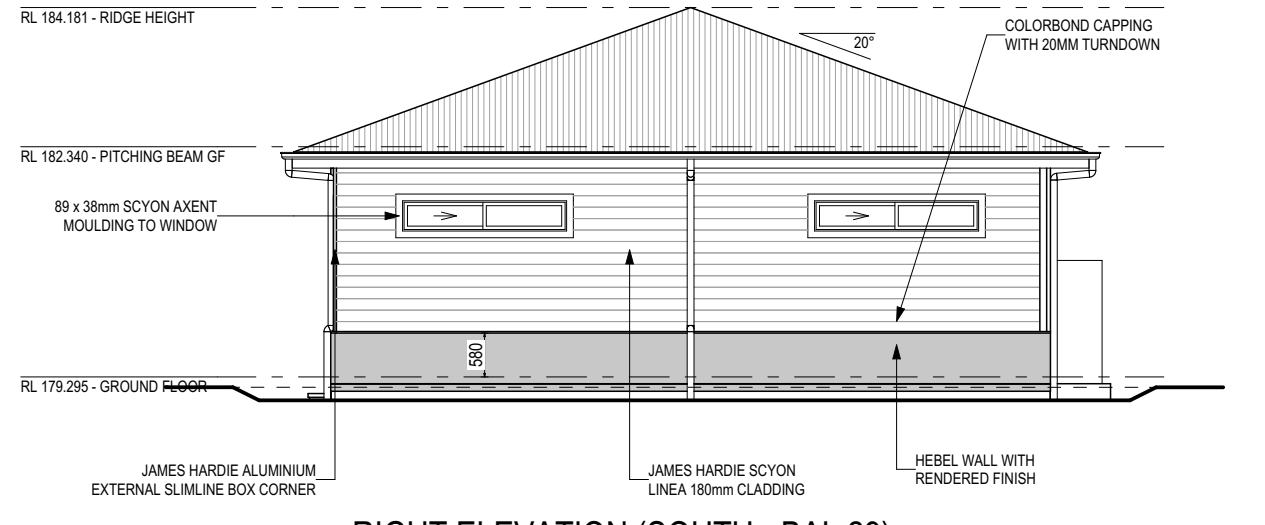
FRONT ELEVATION (WEST - BAL 29)
 SCALE: 1:100



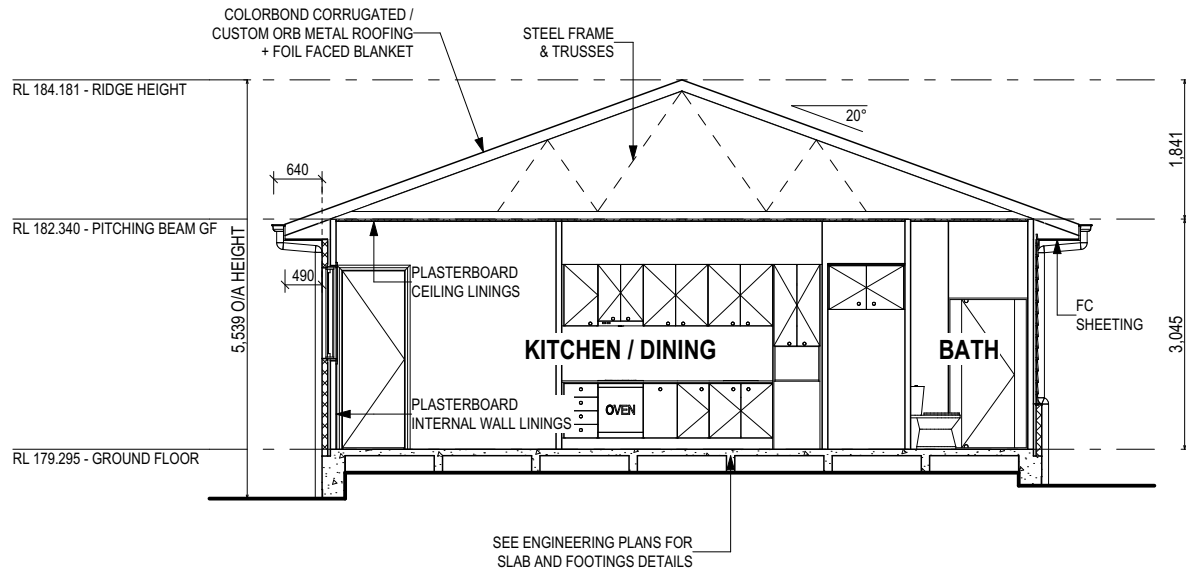
LEFT ELEVATION (NORTH - BAL 29)
 SCALE: 1:100



REAR ELEVATION (EAST - BAL 29)
 SCALE: 1:100



RIGHT ELEVATION (SOUTH - BAL 29)
 SCALE: 1:100

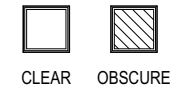


A1 SECTION A-A
 SCALE: 1:100

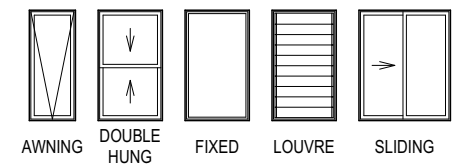
BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION
 TO MANUFACTURERS SPECIFICATIONS

GLASS TYPE LEGEND

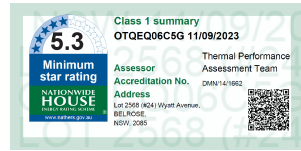


WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

SUBJECT TO NCC 2022 (1 MAY 2023) REQUIREMENTS

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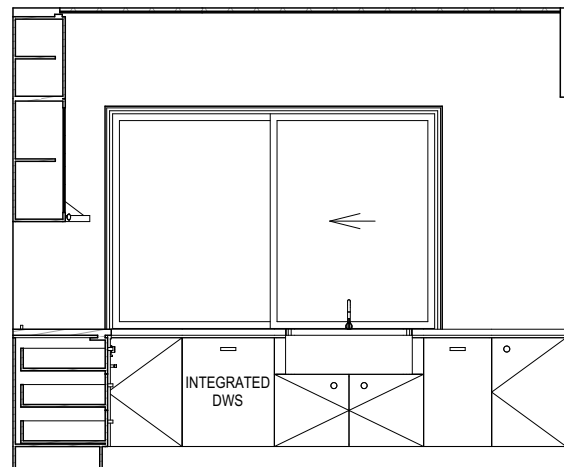


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	6	REGENERATE DWG	JAB 2023.08.04	ADDRESS:	FACADE DESIGN:		FACADE CODE:
	7	PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE		F-BROCYP01
	8	AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:		SHEET No.:
9	AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	COUNCIL:	12 / 29		
			TO BE ADVISED		SCALES:	1:100	

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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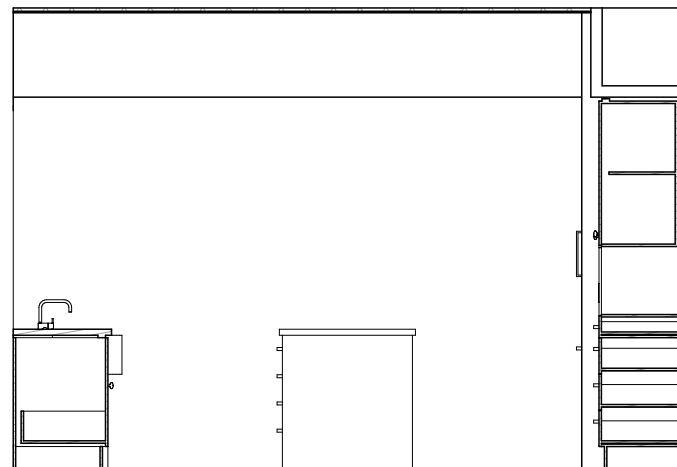
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ELEVATION A

SCALE: 1:50

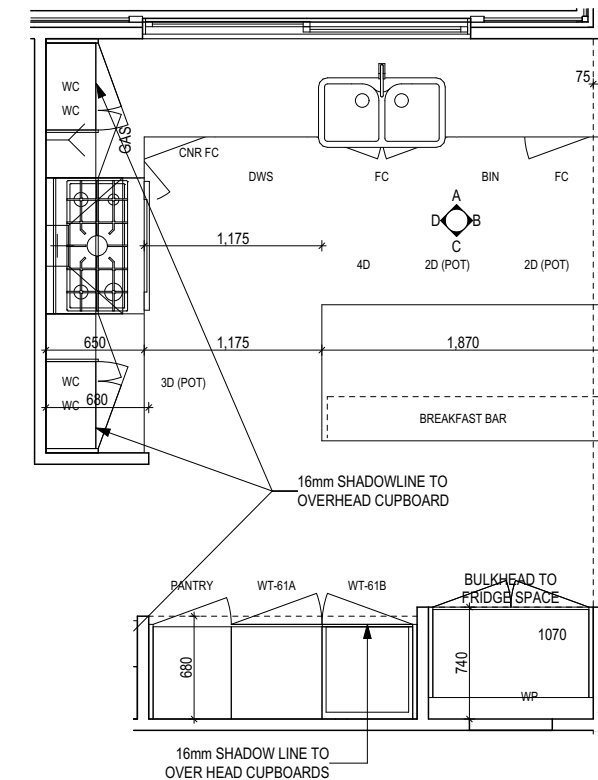
50x16mm SHADOW BOARD SETBACK 4mm FROM FRONT OF CARCASS (WALL HUNG CUPBOARD HEIGHT REDUCED BY SHADOWLINE THICKNESS)



ELEVATION B

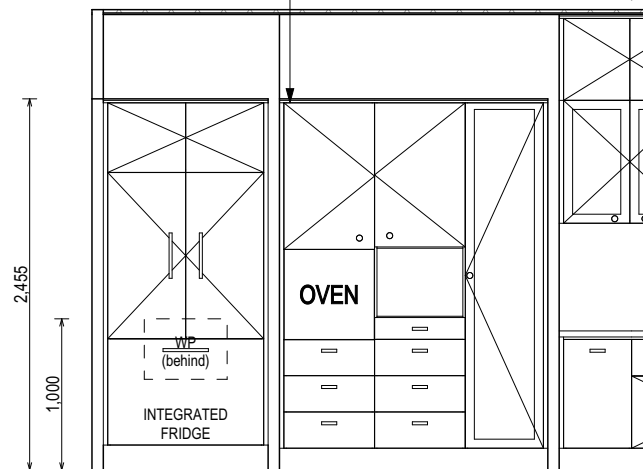
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50x16mm SHADOW BOARD SETBACK 4mm FROM FRONT OF CARCASS (WALL HUNG CUPBOARD HEIGHT REDUCED BY SHADOWLINE THICKNESS)



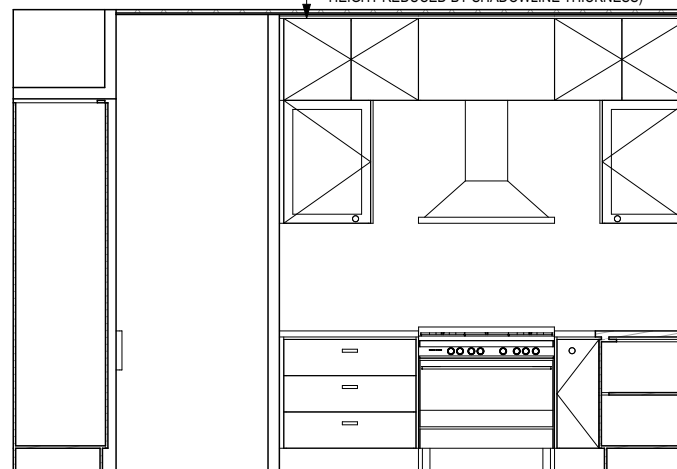
KITCHEN PLAN

SCALE: 1:50



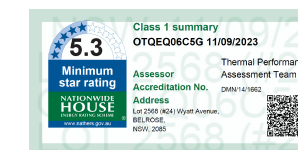
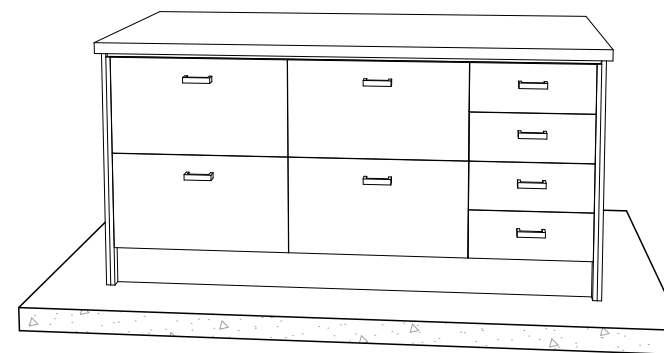
ELEVATION C

SCALE: 1:50



ELEVATION D

SCALE: 1:50



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PLAN ACCEPTANCE BY OWNER

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SIGNATURE: _____ DATE: _____

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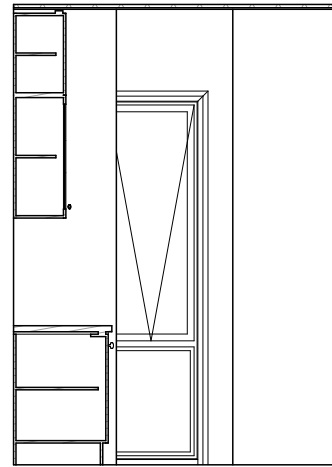
<p>mcdonald jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION:	COUNTRY LIVING	REVISION:	5 WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>606935</p>		
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			REVISION:	7 PRELIM CONSTRUCTION PLANS	DRAWN:	ENG 22/08/2023	LOT / SECTION / DP:	2568 / - / 752038	COUNCIL:	TO BE ADVISED	SHEET No.:	13 / 29		SCALES:	1:50
			REVISION:	8 AMENDED AS PER PCV03 & PCV06	DRAWN:	LFL 06.09.2023									
			REVISION:	9 AMEND AS PER PCV 009	DRAWN:	JVA 2023.09.13									

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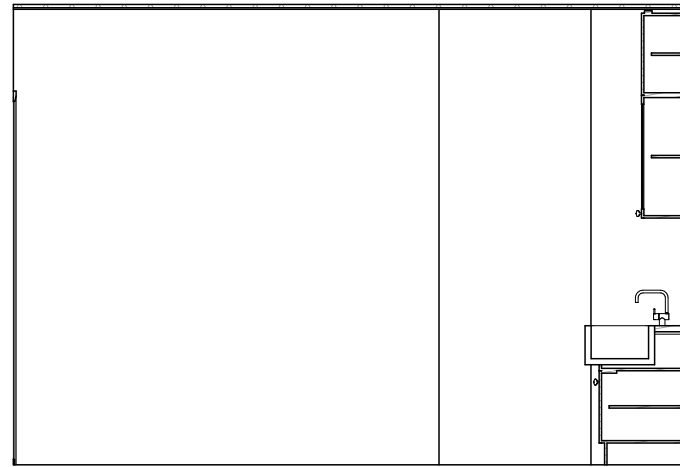
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

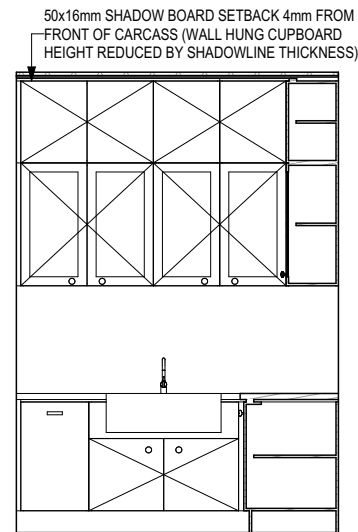
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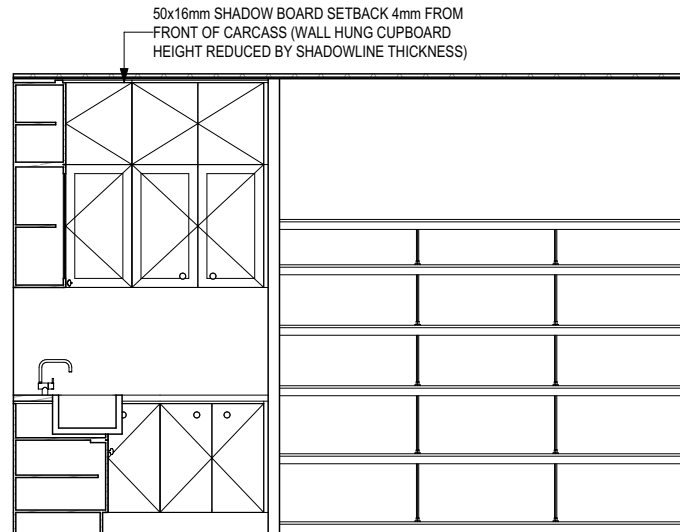
ELEVATION A
SCALE: 1:50



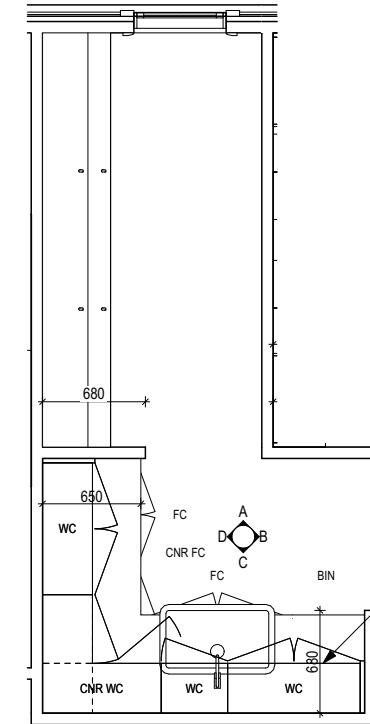
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BUTLER'S PANTRY PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS**



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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<p>YOUR HOME, YOUR DREAM</p>	SPECIFICATION:	COUNTRY LIVING	REVISION:	5	WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>606935</p>
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			REVISION:	7	PRELIM CONSTRUCTION PLANS	DRAWN:	ENG 22/08/2023	LOT / SECTION / DP:	2568 / - / 752038	COUNCIL:	TO BE ADVISED	SHEET No.:	14 / 29	
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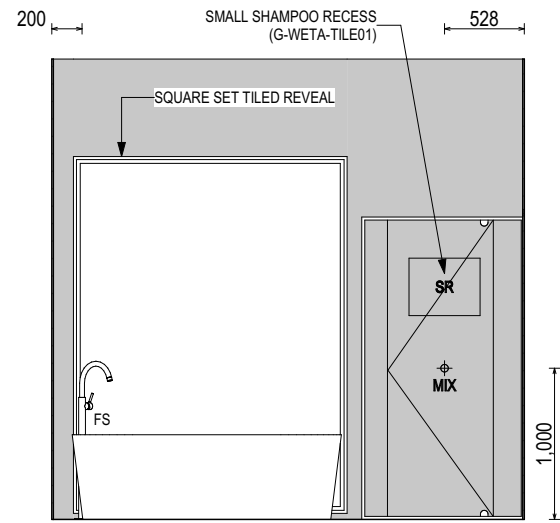
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

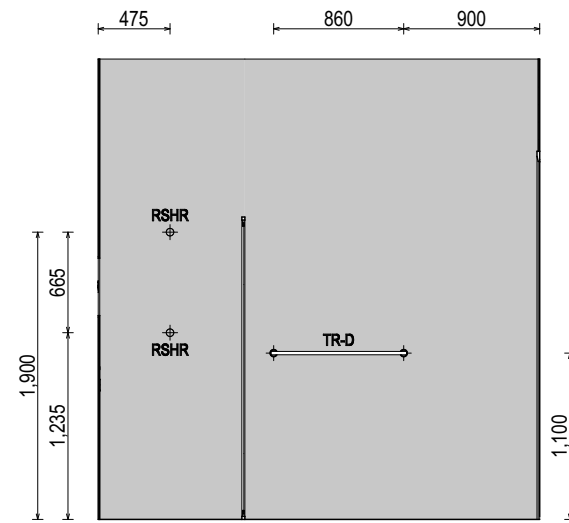
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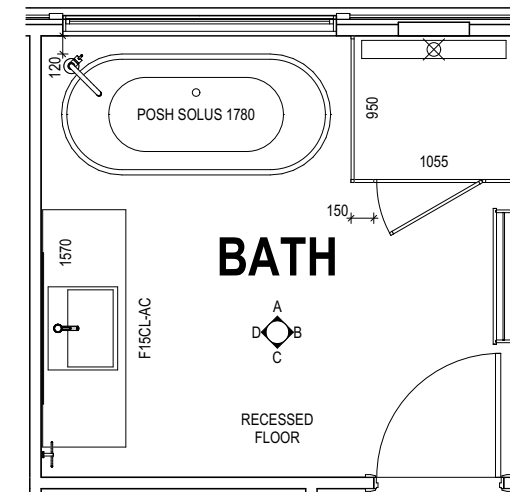
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



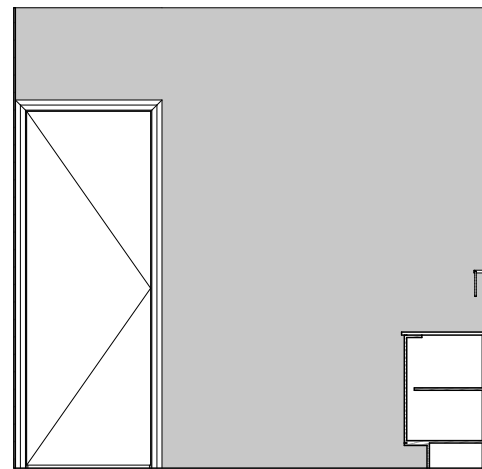
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SCALE: 1:50



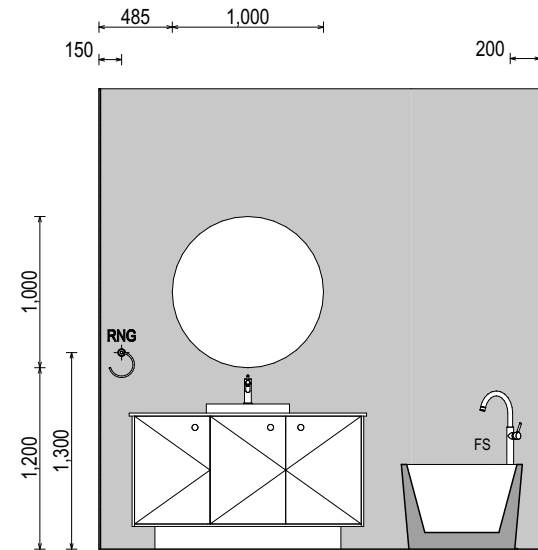
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SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

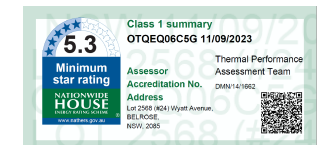
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			REVISION:	7 PRELIM CONSTRUCTION PLANS	DRAWN:	ENG 22/08/2023	LOT / SECTION / DP:	2568 / - / 752038	SHEET TITLE:	BATHROOM DETAILS	SHEET No.:	15 / 29	
			REVISION:	8 AMENDED AS PER PCV03 & PCV06	DRAWN:	LFL 06.09.2023	COUNCIL:	TO BE ADVISED	SCALES:	1:50			
			REVISION:	9 AMEND AS PER PCV 009	DRAWN:	JVA 2023.09.13							

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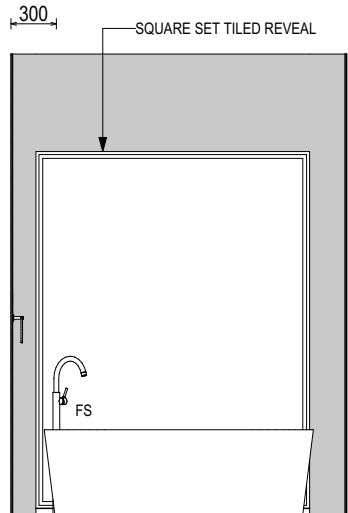
BAL-29 BUSHFIRE REQUIREMENTS
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- GENERAL BUILDING INFORMATION

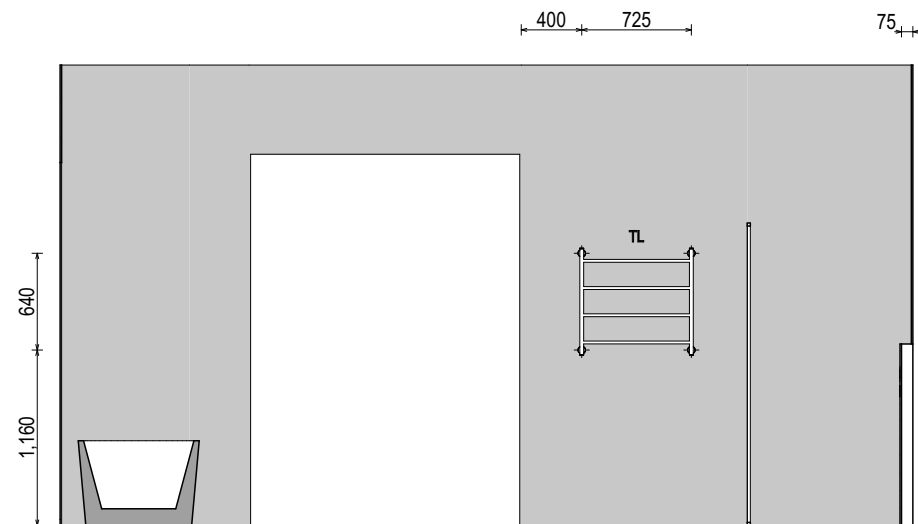
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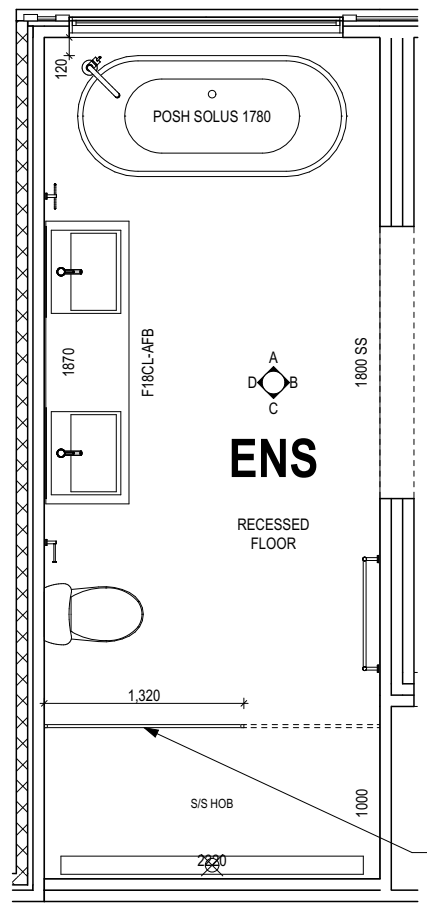
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
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- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



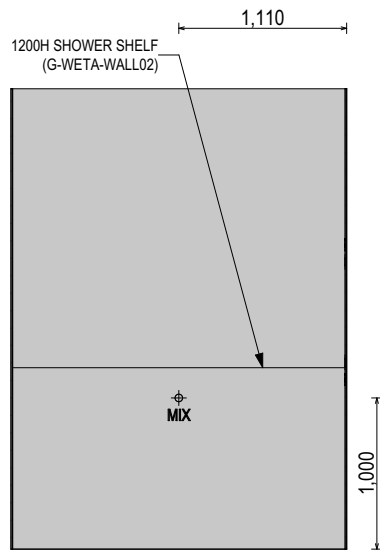
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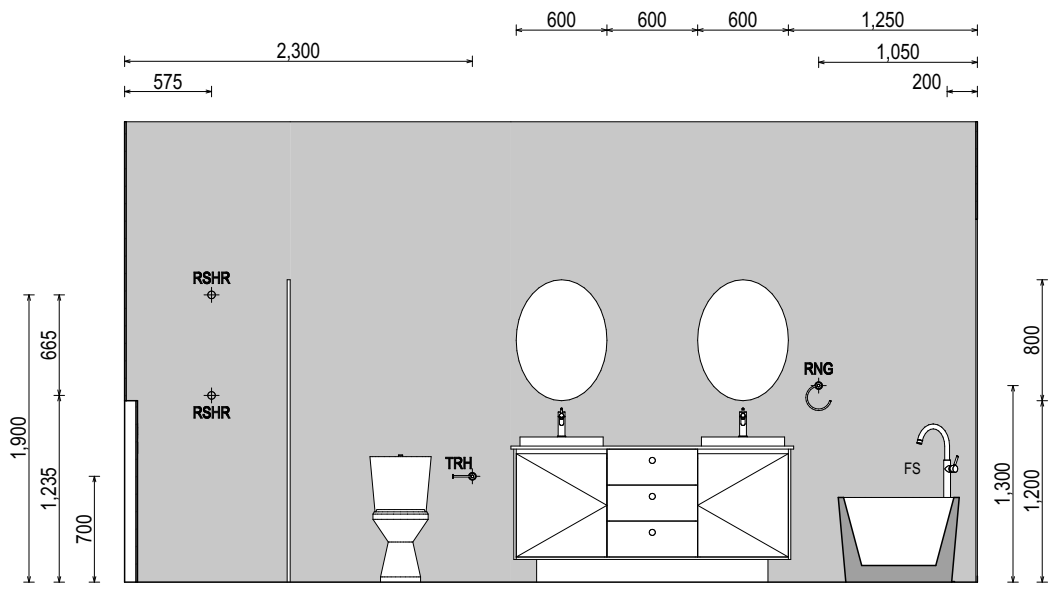
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

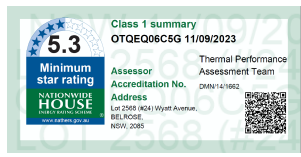
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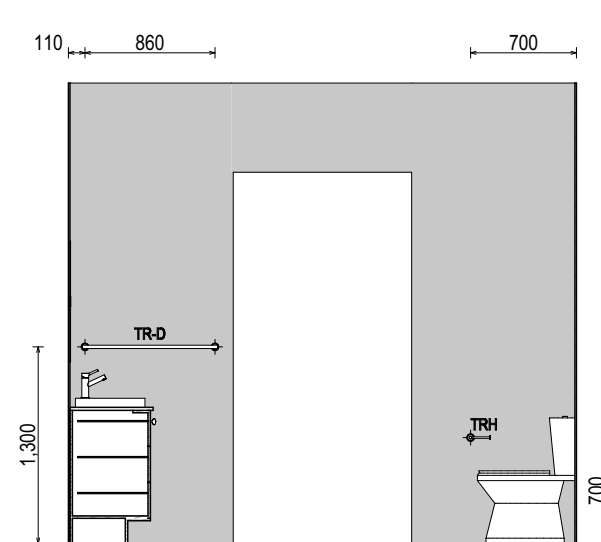
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	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	ENSUITE DETAILS	16 / 29	
			COUNCIL:		SCALES:	
			TO BE ADVISED		1:50	

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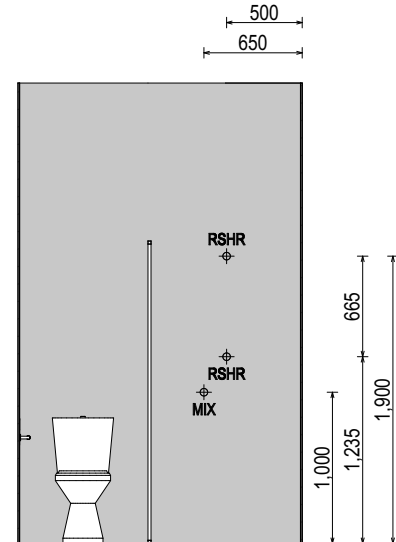
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- GENERAL BUILDING INFORMATION

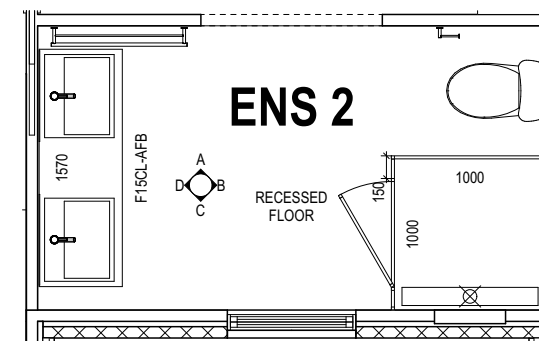
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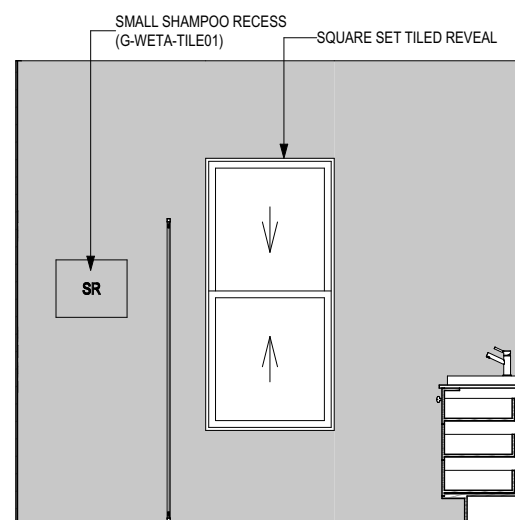
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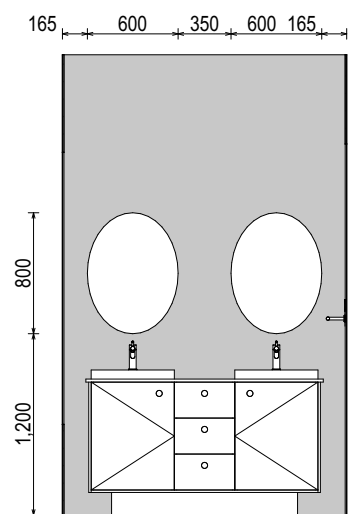
ENSUITE 2 PLAN
SCALE: 1:50

LEGEND

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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

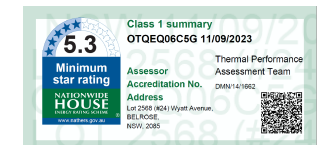
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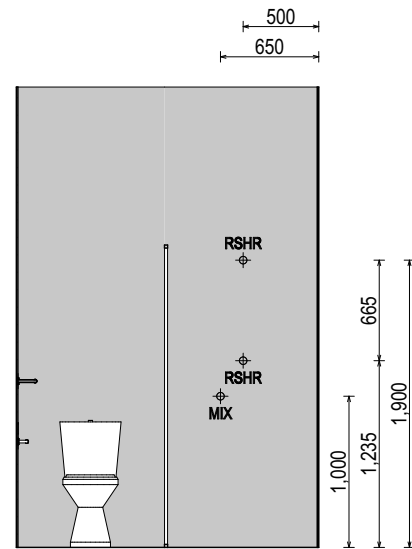
<p>mcdonald jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION:	COUNTRY LIVING	REVISION:	5 WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>606935</p>
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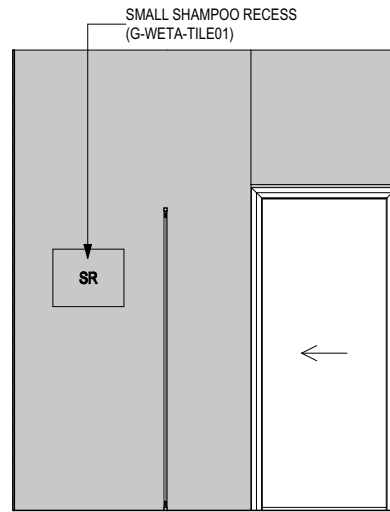
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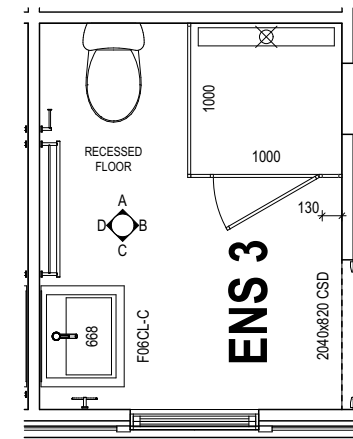
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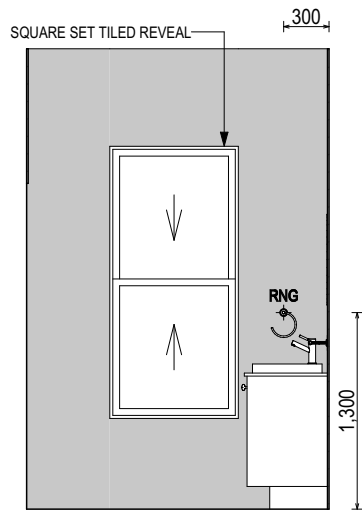
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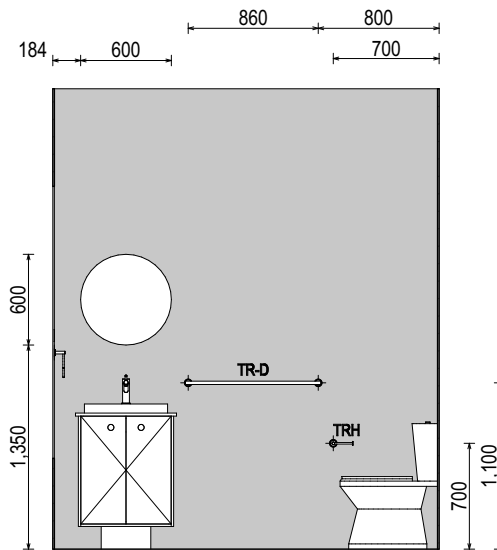
ENSUITE 3 PLAN
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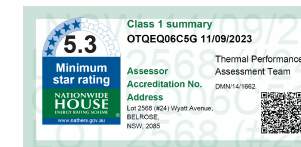
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
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- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



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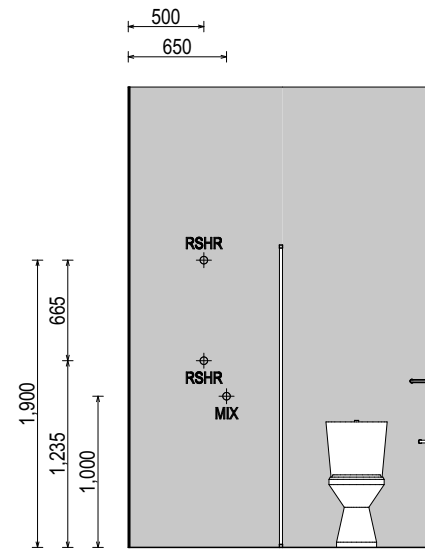
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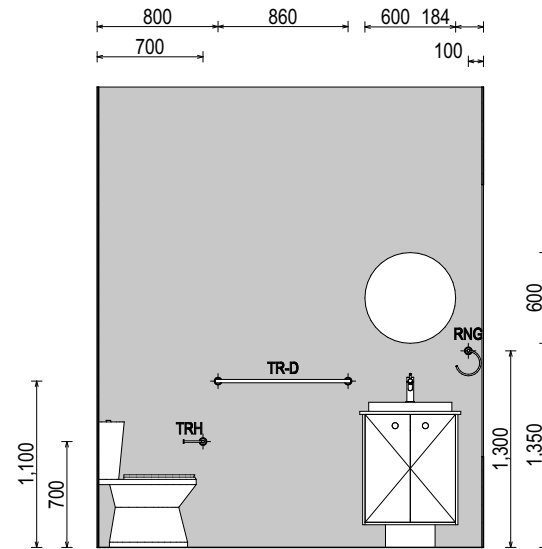
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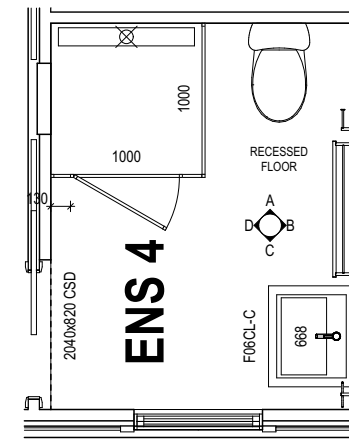
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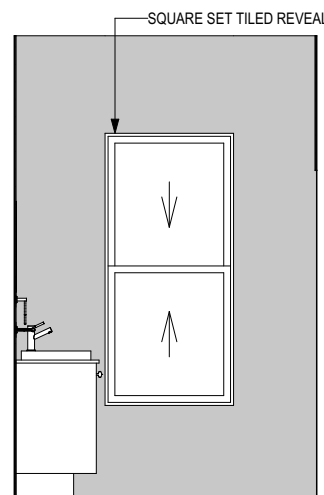
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SCALE: 1:50



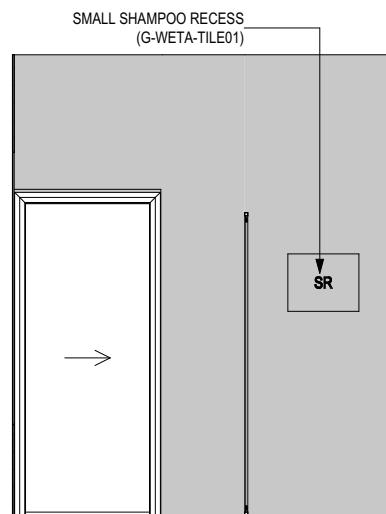
ENSUITE 4 PLAN
SCALE: 1:50

LEGEND

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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
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- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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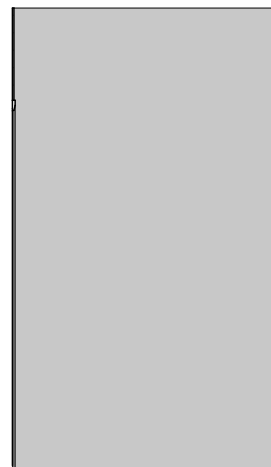
<p>mcdonald jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION:	COUNTRY LIVING	REVISION:	5 WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>606935</p>
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			REVISION:	7 PRELIM CONSTRUCTION PLANS	DRAWN:	ENG 22/08/2023	LOT / SECTION / DP:	2568 / - / 752038	SHEET TITLE:	ENSUITE 4 DETAILS	SHEET No.:	19 / 29	
			REVISION:	8 AMENDED AS PER PCV03 & PCV06	DRAWN:	LFL 06.09.2023	COUNCIL:	TO BE ADVISED	SCALES:	1:50			
			REVISION:	9 AMEND AS PER PCV 009	DRAWN:	JVA 2023.09.13							

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Last Published: Wednesday, 13 September 2023 5:02 PM

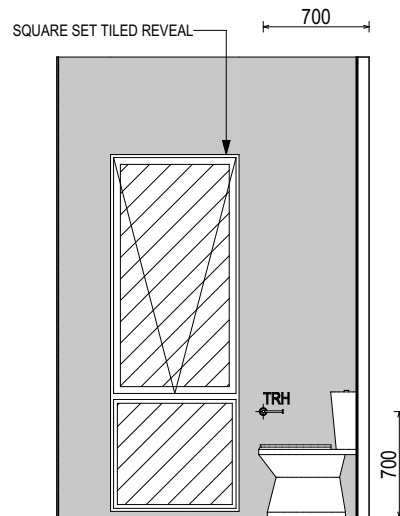
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

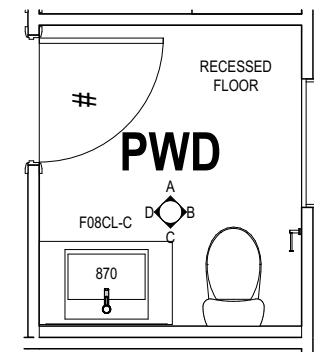
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ELEVATION A
SCALE: 1:50



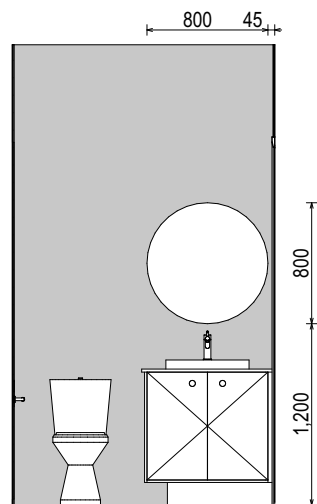
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SCALE: 1:50



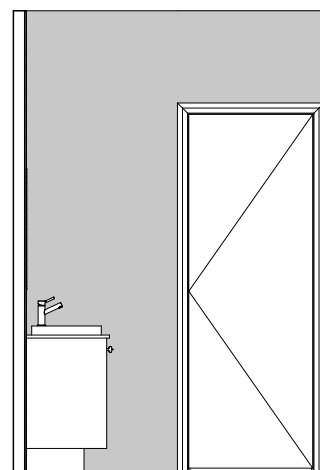
POWDER ROOM PLAN
SCALE: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

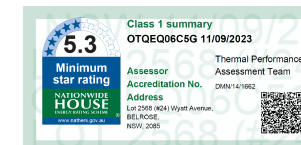
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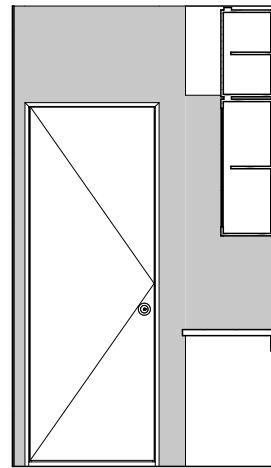
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	9	AMEND AS PER PCV 009	JVA	2023.09.13	2568 / - / 752038	TO BE ADVISED	POWDER ROOM DETAILS	20 / 29	1:50	606935		

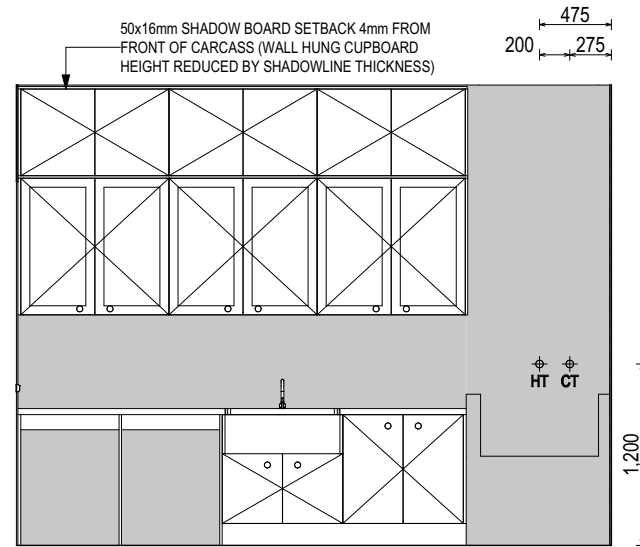
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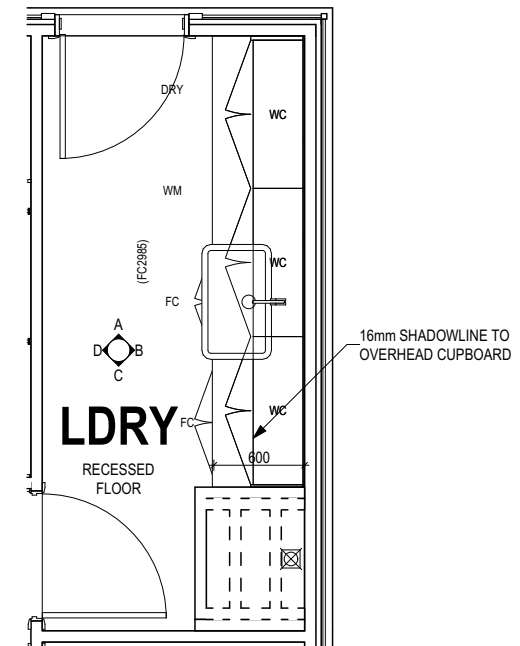
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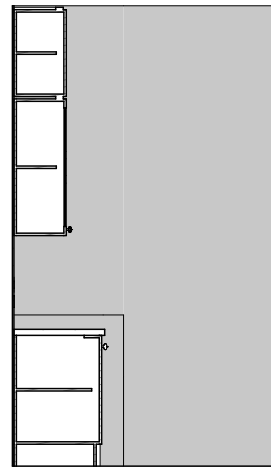
ELEVATION A
SCALE: 1:50



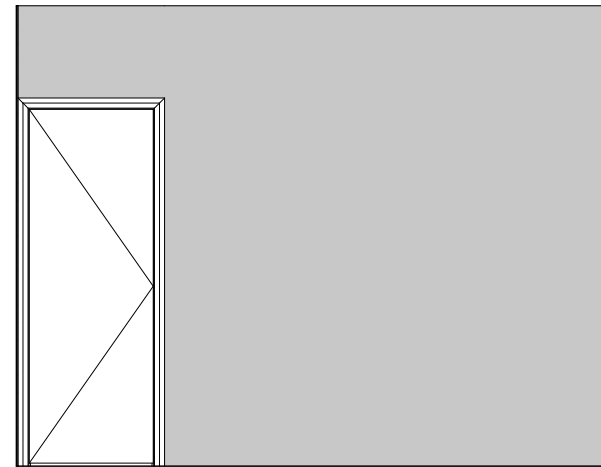
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
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- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

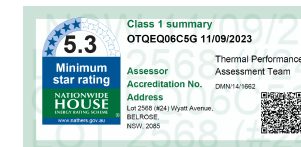
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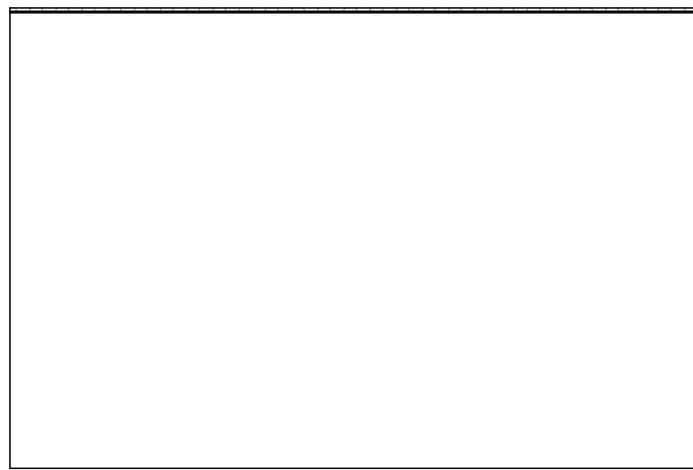
 mcdonald jones YOUR HOME, YOUR DREAM	SPECIFICATION:	COUNTRY LIVING	REVISION:	5	WD CEHCK	DRAWN:	ALW 2023.07.21	CLIENT:	MS DOROTHY FRANCES BLOOM	HOUSE DESIGN:	BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE:	H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
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			REVISION:	7	PRELIM CONSTRUCTION PLANS	DRAWN:	ENG 22/08/2023	LOT / SECTION / DP:	2568 / - / 752038	COUNCIL:	TO BE ADVISED	SHEET No.:	21 / 29	
			REVISION:	8	AMENDED AS PER PCV03 & PCV06	DRAWN:	LFL 06.09.2023				SCALES:	1:50		
			REVISION:	9	AMEND AS PER PCV 009	DRAWN:	JVA 2023.09.13							

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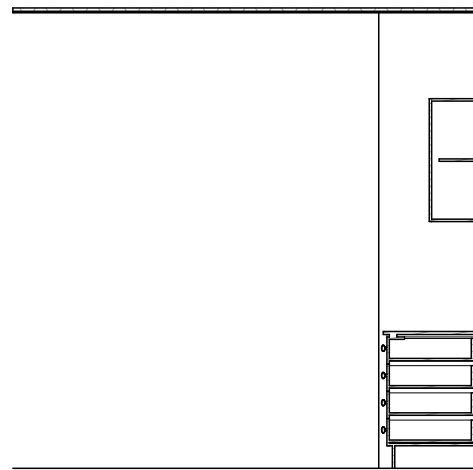
BAL-29 BUSHFIRE REQUIREMENTS
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

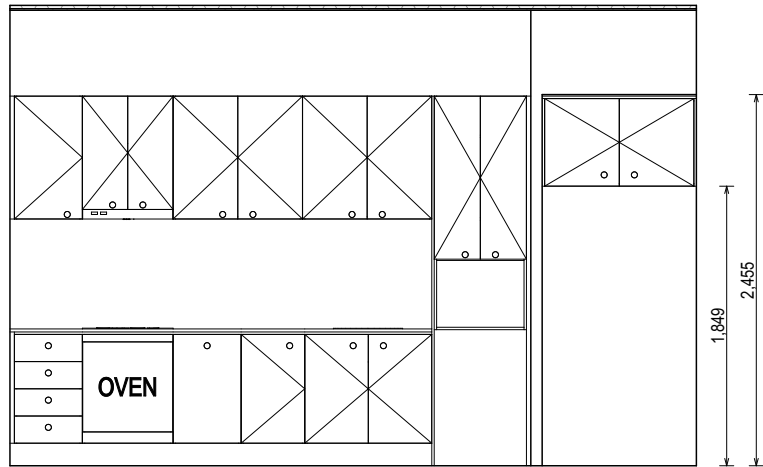
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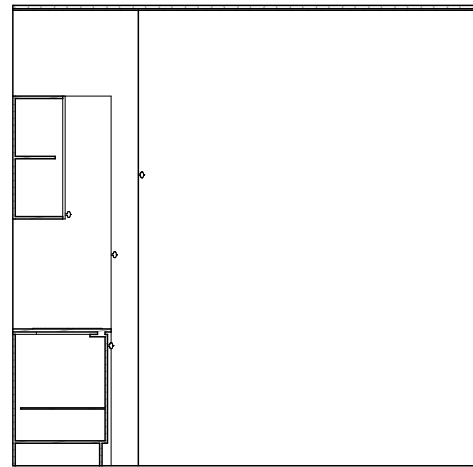
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SCALE: 1:50



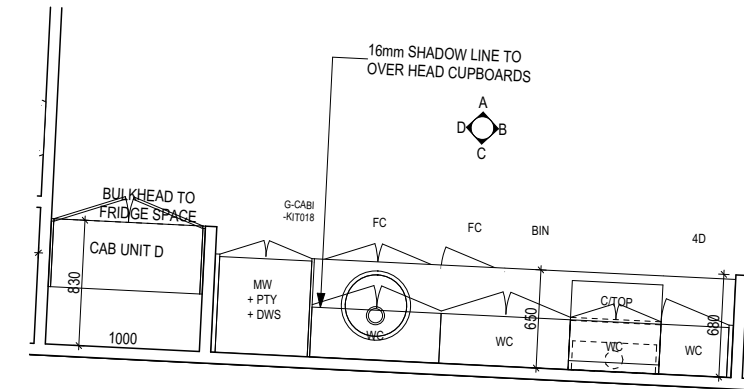
ELEVATION B
SCALE: 1:50



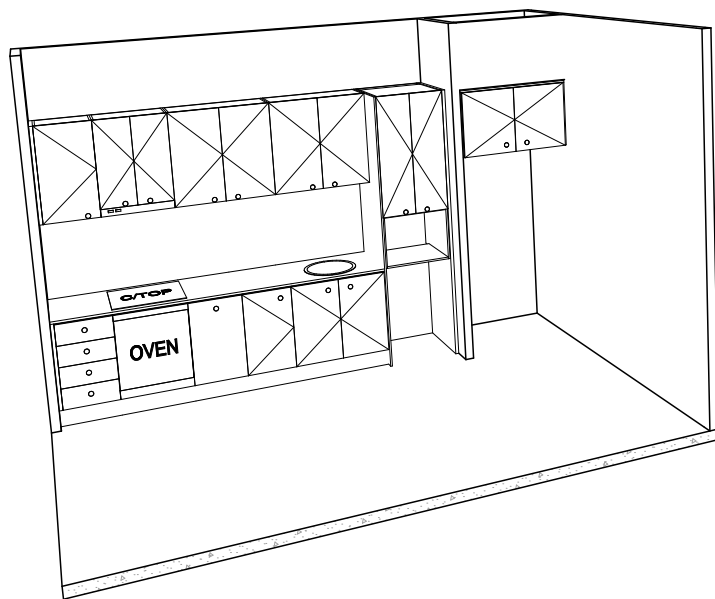
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SCALE: 1:50



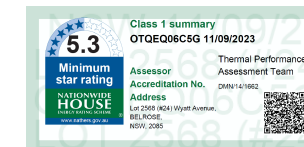
ELEVATION D
SCALE: 1:50



KITCHEN PLAN (GRANNY FLAT)
SCALE: 1:50



**SUBJECT TO NCC 2022
(1 MAY 2023) REQUIREMENTS**



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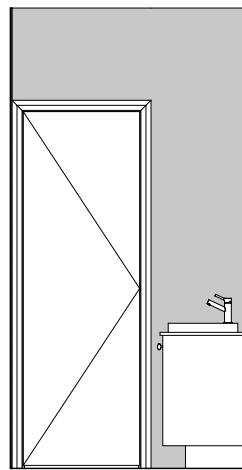
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		8	AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	9	AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	COUNCIL:	22 / 29	1:50	

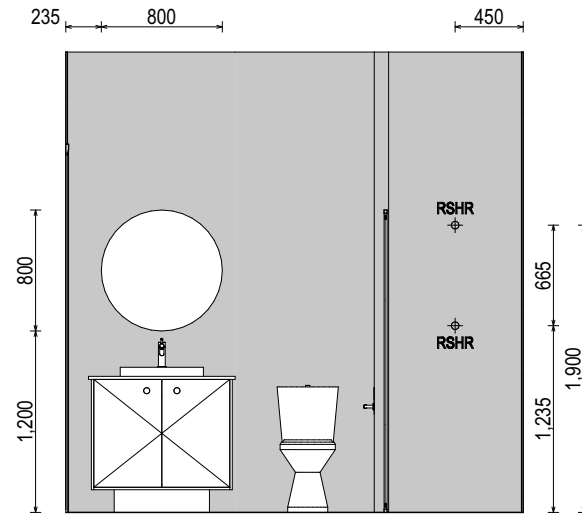
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ELEVATION A
SCALE: 1:50



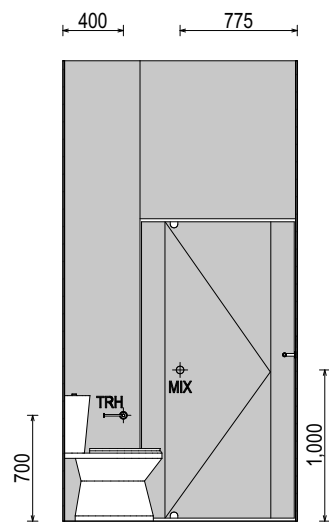
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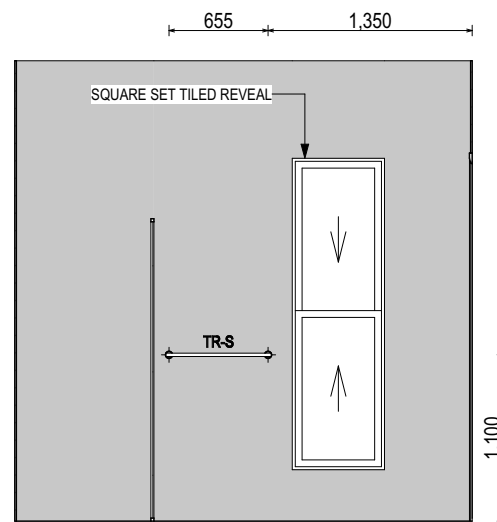
BATHROOM PLAN (GRANNY FLAT)
SCALE: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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


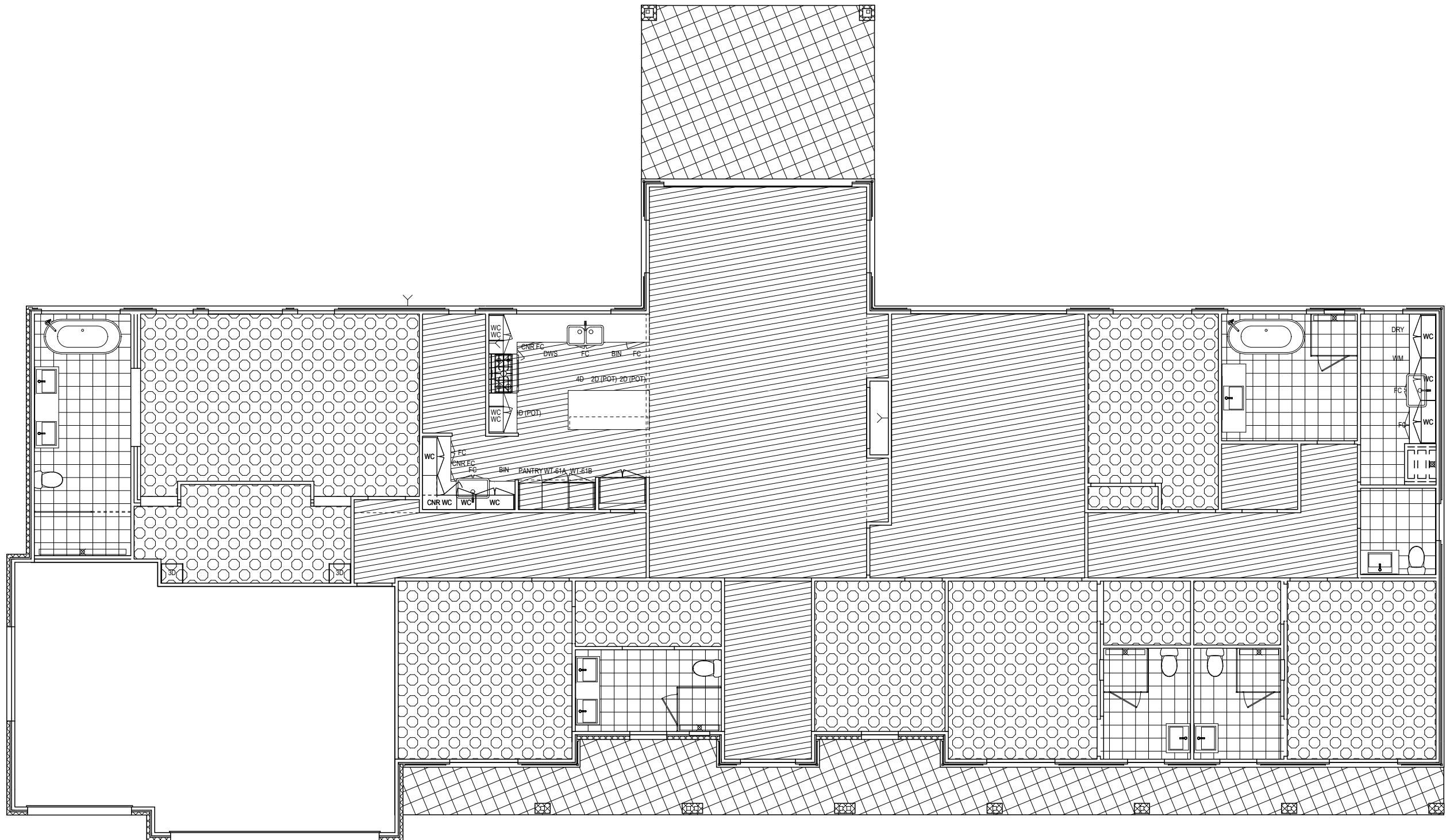
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COUNTRY LIVING	5 WD CEHCK	ALW 2023.07.21	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
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	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	BATHROOM DETAILS (TENNIS CABANA)	23 / 29	
			COUNCIL:		SCALES:	
			TO BE ADVISED		1:50	

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 - SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET (BY BUILDER)
-  TIMBER/LAMINATE (BY BUILDER)
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)
-  VINYL



FLOOR COVERINGS
 SCALE: 1:100

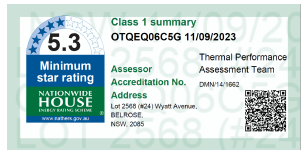
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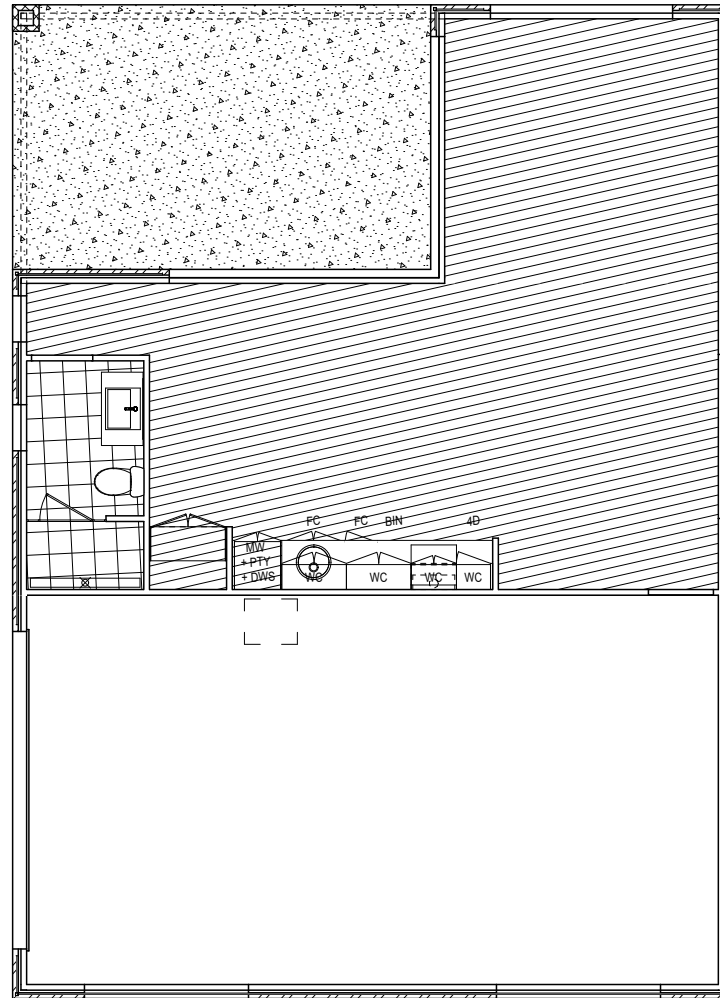
SPECIFICATION: COUNTRY LIVING	REVISION	DRAWN	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
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	6 REGENERATE DWG	JAB 2023.08.04	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: FLOOR COVERINGS	SHEET No.: 24 / 29	
	7 PRELIM CONSTRUCTION PLANS	ENG 22/08/2023	COUNCIL: TO BE ADVISED	SCALES: 1:100		
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 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

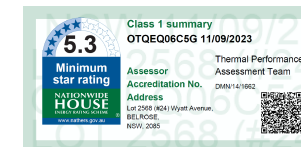
	NO COVERING
	COVER GRADE CONCRETE
	CARPET (BY BUILDER)
	TIMBER/LAMINATE (BY BUILDER)
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	VINYL



FLOOR COVERINGS (GRANNY FLAT)
 SCALE: 1:100

BAL-29 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

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(1 MAY 2023) REQUIREMENTS

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

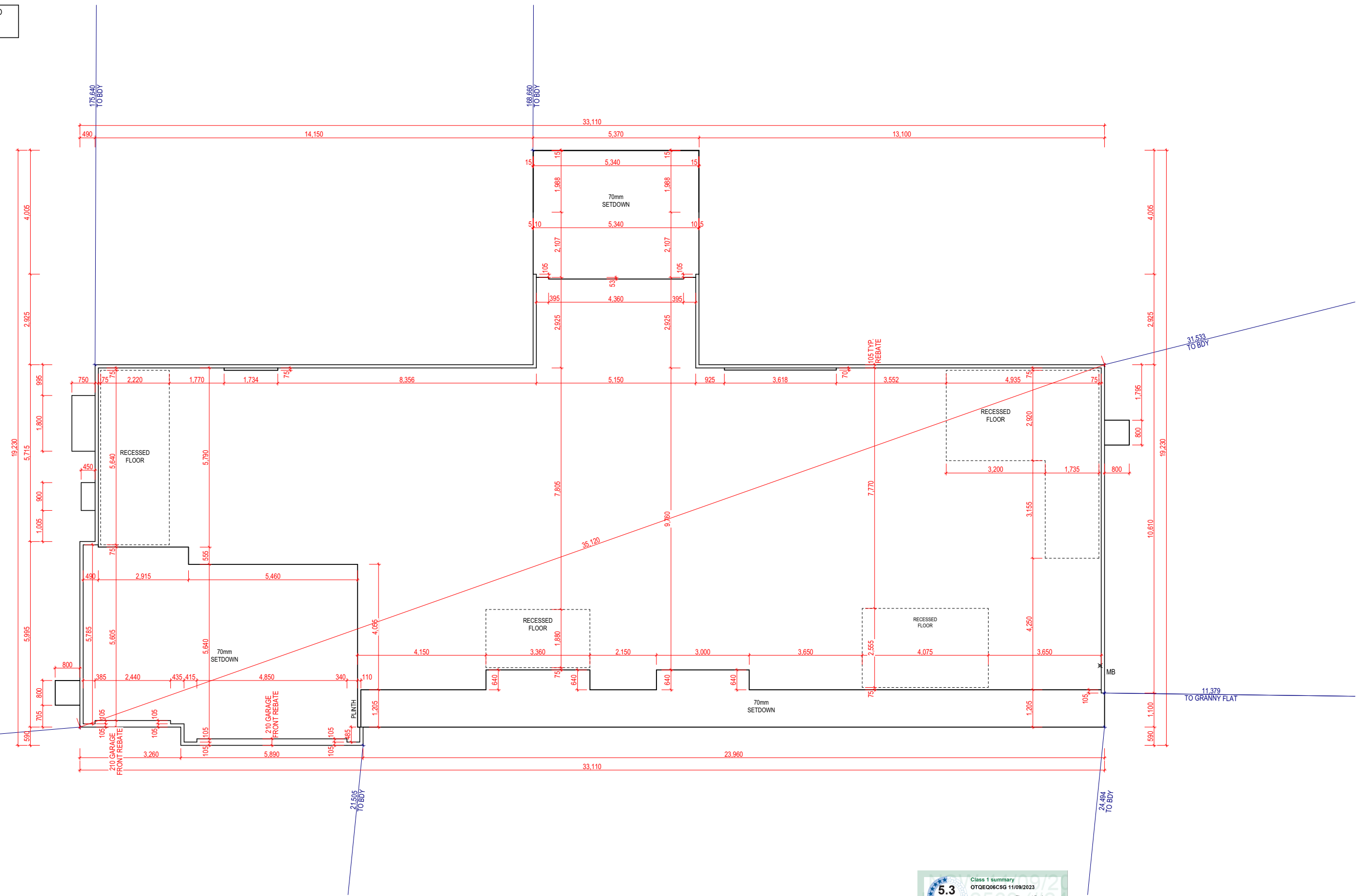
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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

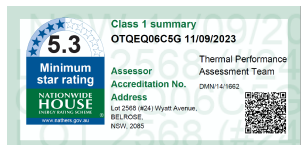


SPECIFICATION: COUNTRY LIVING	5	WD CEHCK	ALW	2023.07.21	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	6	REGENERATE DWG	JAB	2023.08.04				
	7	PRELIM CONSTRUCTION PLANS	ENG	22/08/2023				
	8	AMENDED AS PER PCV03 & PCV06	LFL	06.09.2023				
	9	AMEND AS PER PCV 009	JVA	2023.09.13				
COPYRIGHT: © 2023	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085				COUNCIL: TO BE ADVISED	FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01	606935
	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: FLOOR COVERINGS (TENNIS CABANA)		SHEET No.: 25 / 29	SCALES: 1:100			

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN
SCALE: 1:125



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(1 MAY 2023) REQUIREMENTS**

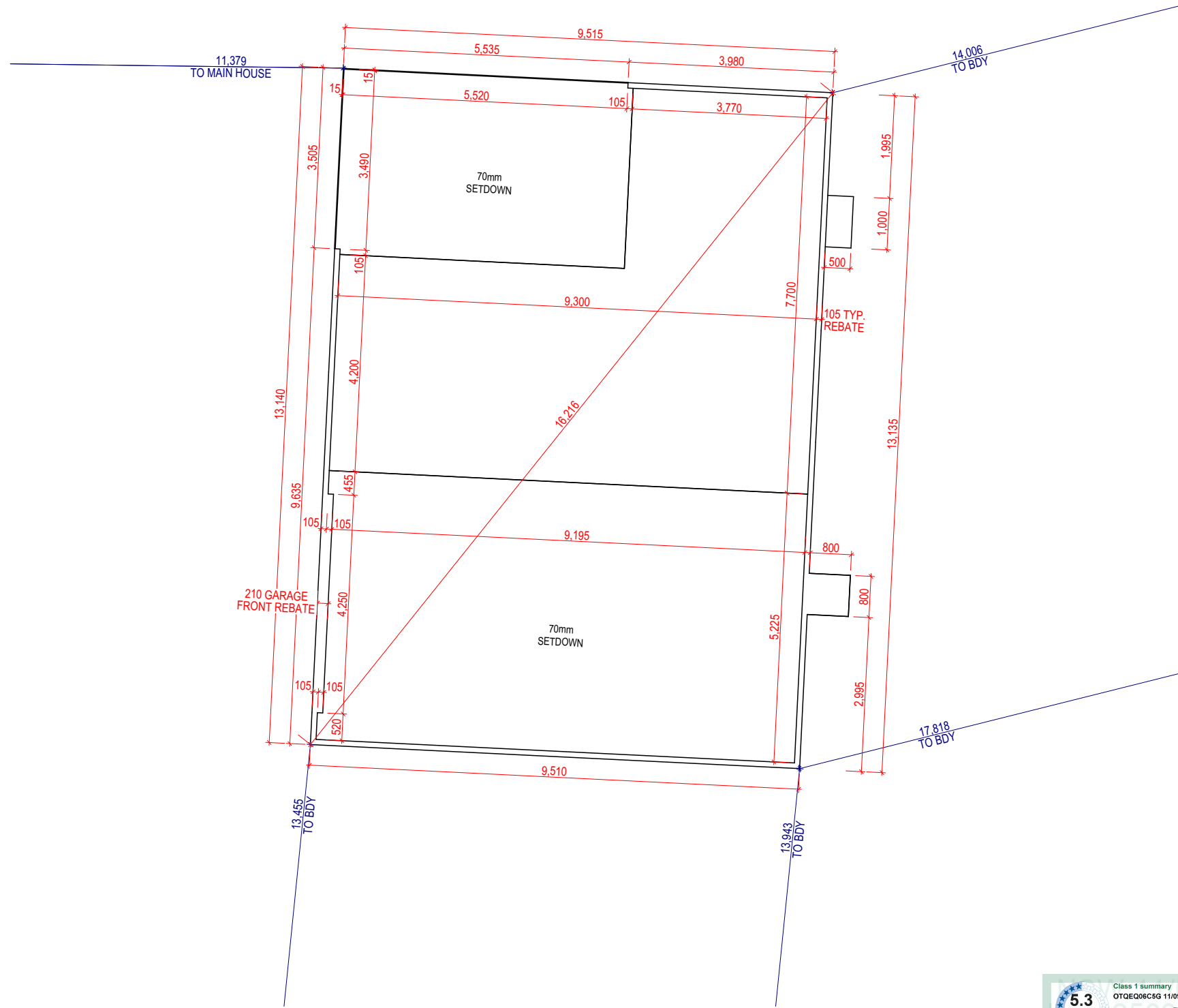
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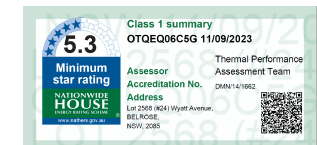
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	8 AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	606935
	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	SLAB PLAN	26 / 29	
			COUNCIL:		SCALES:	
			TO BE ADVISED		1:125	

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SLAB PLAN (GRANNY FLAT)
SCALE: 1:100



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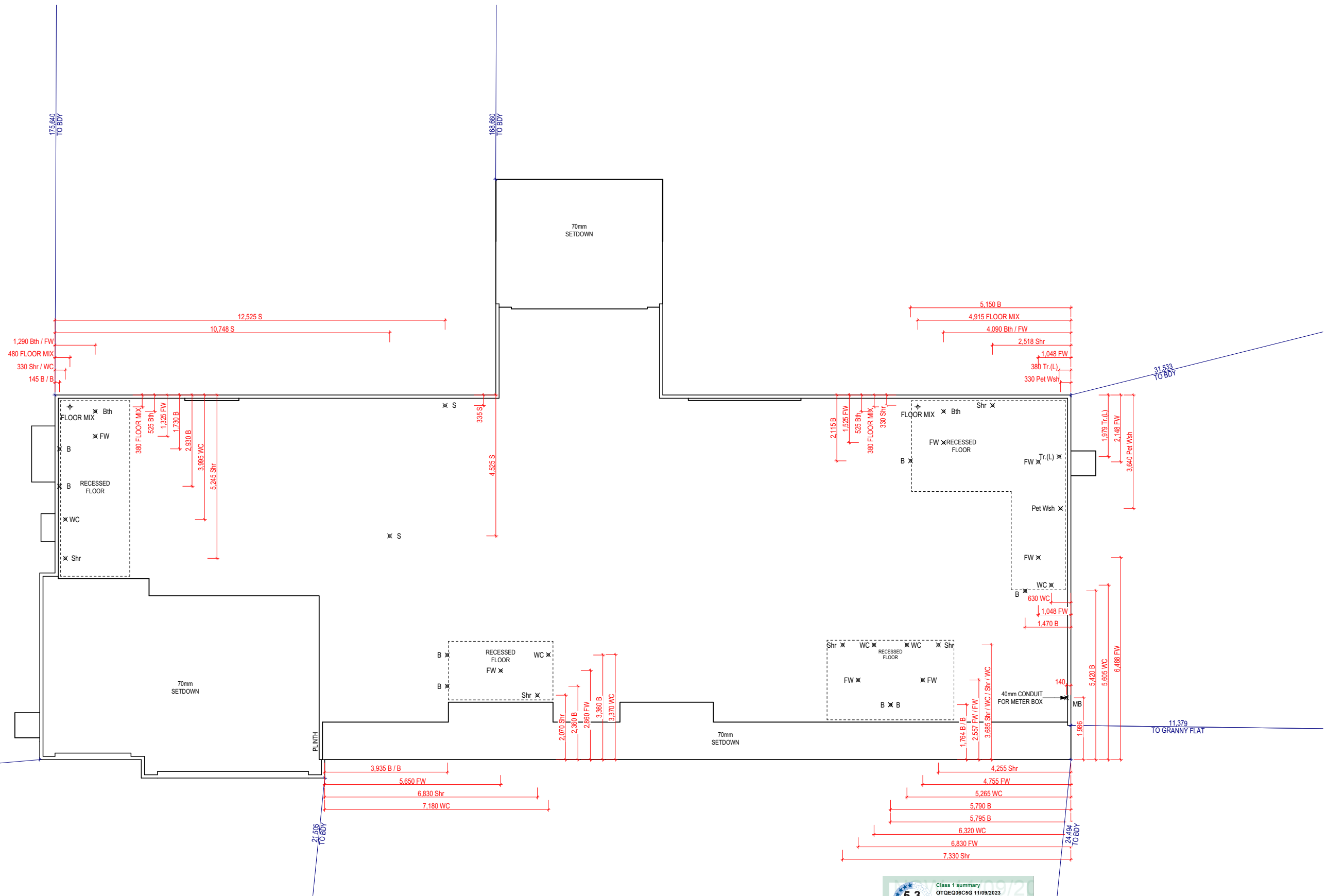
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	8 AMENDED AS PER PCV03 & PCV06	LFL 06.09.2023	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	9 AMEND AS PER PCV 009	JVA 2023.09.13	2568 / - / 752038	SLAB PLAN (TENNIS CABANA)	27 / 29	1:100
			COUNCIL:			
			TO BE ADVISED			

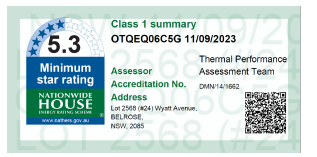
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ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



LEGEND	
B	BASIN
Bth	BATH WASTE
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET

DRAINAGE PLAN
SCALE: 1:125



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(1 MAY 2023) REQUIREMENTS**

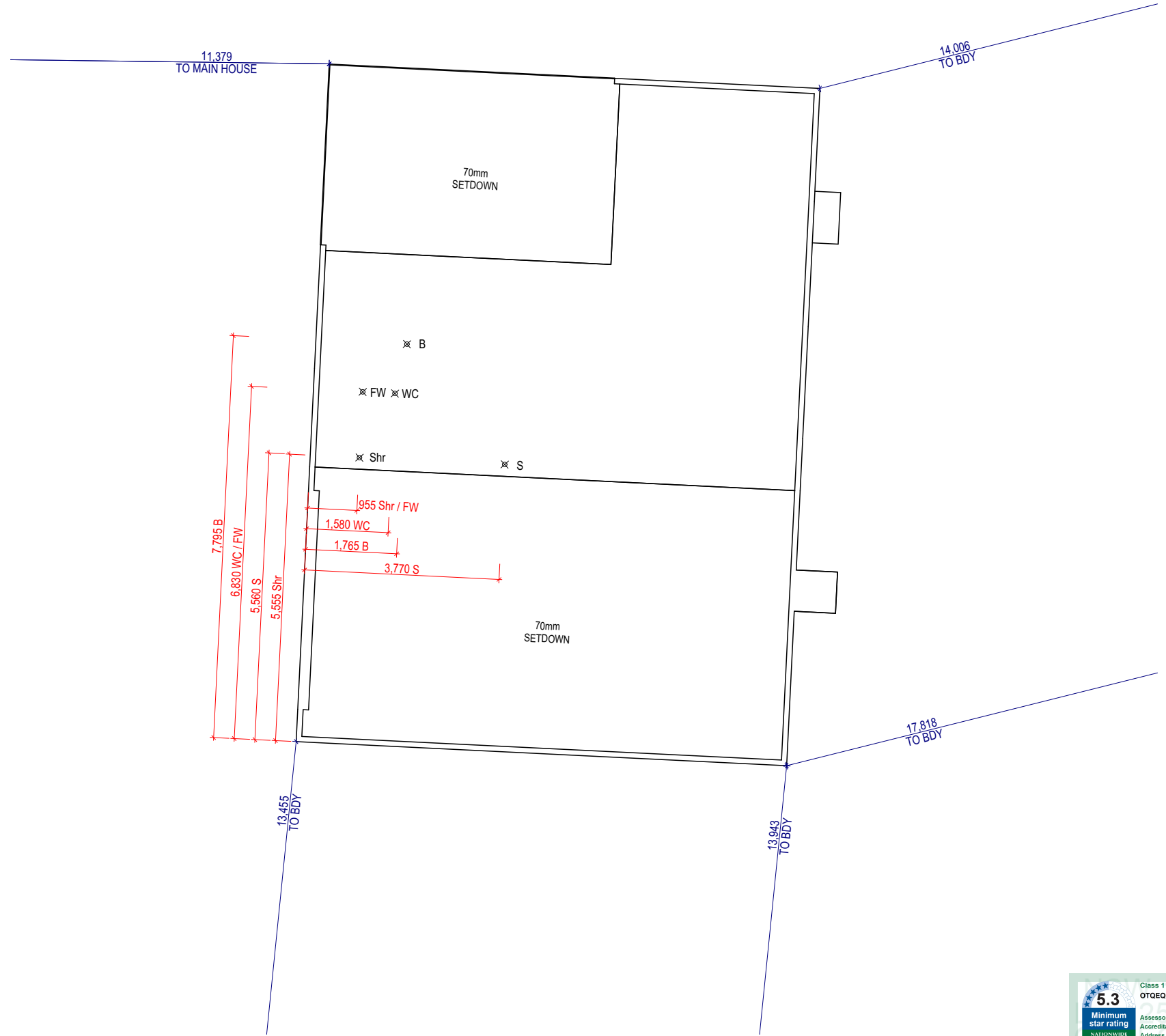
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			TO BE ADVISED		1:125	

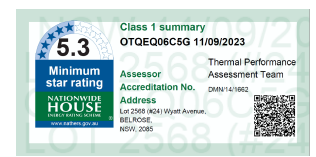
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ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



DRAINAGE PLAN (GRANNY FLAT)
SCALE: 1:100

LEGEND	
B	BASIN
Bth	BATH WASTE
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET



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				TO BE ADVISED		

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