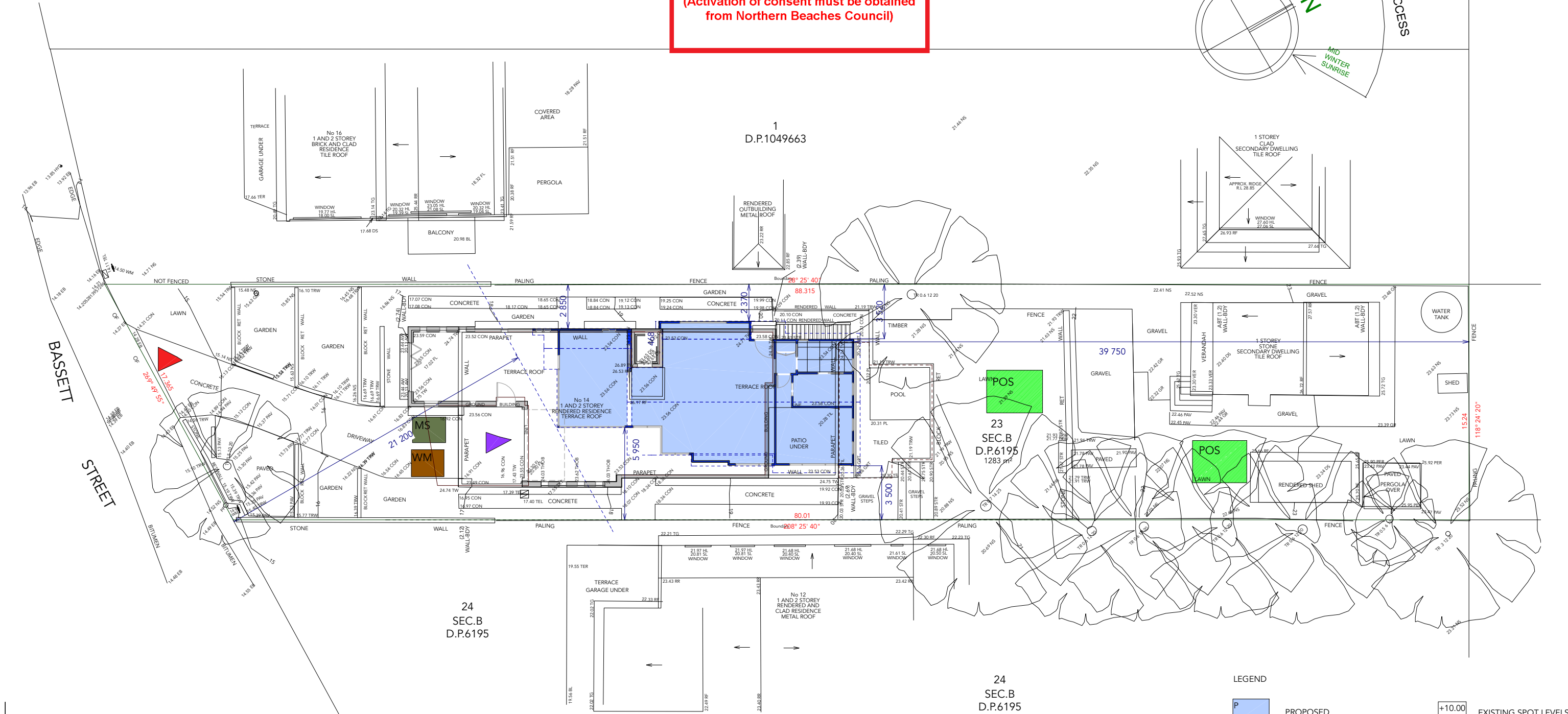
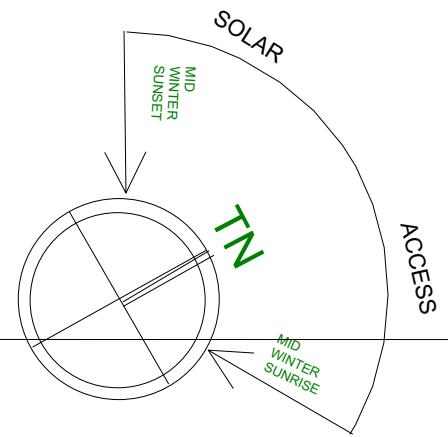


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DA NUMBER: DA2024/0534

(Activation of consent must be obtained
from Northern Beaches Council)



Site Analysis Plan & Waste Management

 = Proposed Work

 = Demolition

 = Existing

Revision	Date
1_Roof lowered 300 - 500mm	15.7.24
2_Privacy measures added	15.7.24
3_Reduced alfresco roof	15.7.24
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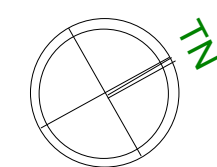


Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2

Client: DARIN & COOPER

Drawing:
Site Analysis Plan & Waste Management

LEGEND	
 P	PROPOSED
 POS	PRIVATE OPEN SPACE (EXISTING)
 ED	EXISTING DWELLING
 MS	MATERIAL STOCKPILE
 WM	WASTE MANAGEMENT
	CAR ENTRY POINT
	GARAGE ENTRY POINT
	BOUNDARY
	SILT FENCE CONTROL
	EXISTING SPOT LEVELS



Drawn / Designed: MW

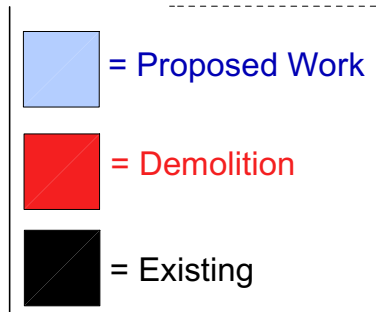
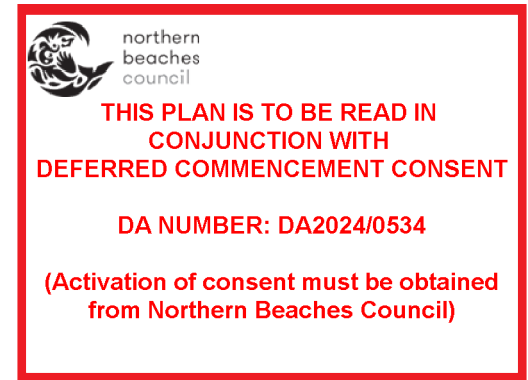
Project no:

Drawing No: DA5

Date: 6.8.24

Scale: 1:250 - A3

Issue:



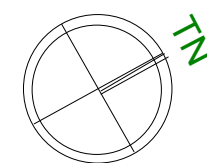
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Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2

Client: DARIN & COOPER

Drawing:
First Floor Plan (1:100)



Drawn / Designed: *MW*

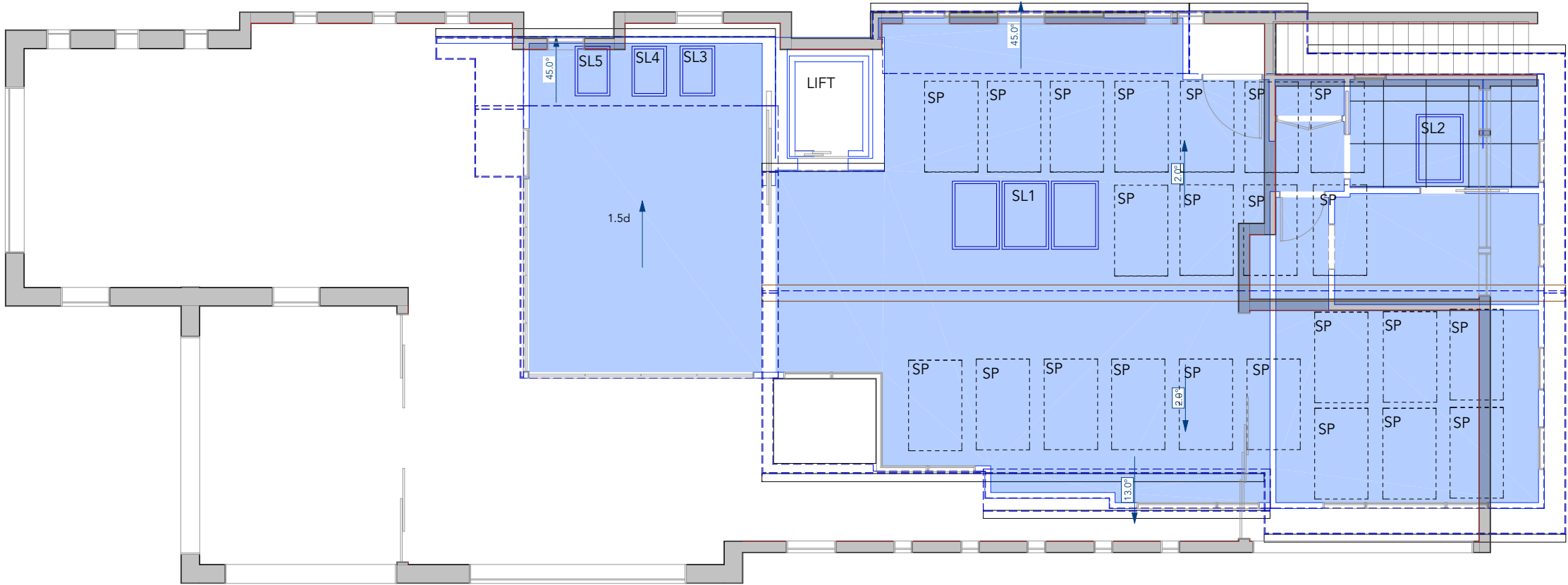
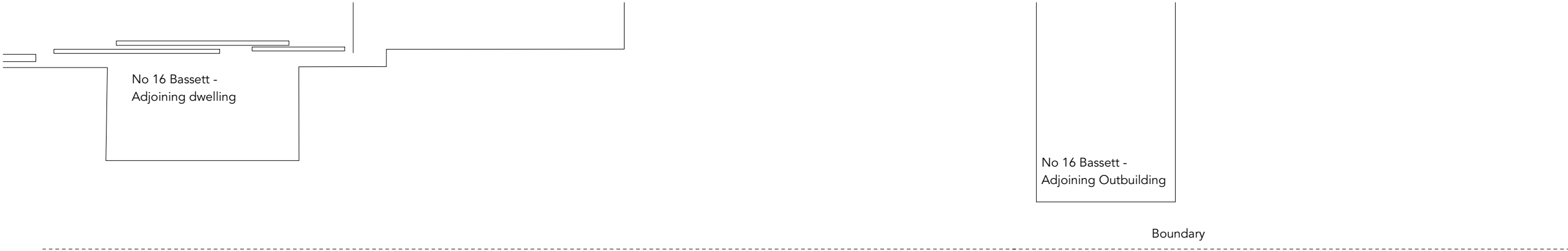
Project no:

Drawing No: **DA8**

Date:
6.8.24

Scale:
1:100 A3

Issue:





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DA NUMBER: DA2024/0534

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= Proposed Work



= Demolition



= Existing

Roof Plan



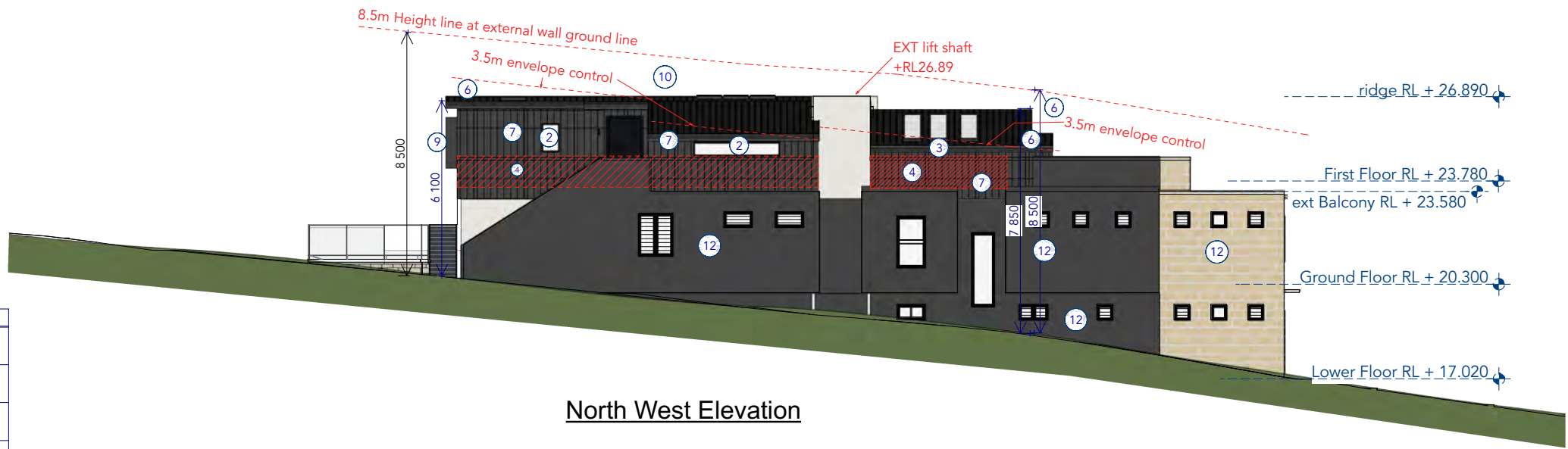
NOTE SCHEDULE	
①	ALUMINIUM GLASS DOORS TO BASIX
②	ALUMINIUM WINDOW TO BASIX
③	NEW SKYLIGHTS
④	DEMOLISH CONCRETE ROOF PARAPHET
⑤	NEW TOPING SLAB, BEAMS & COLUMNS TO STRUCTURAL ENGINEERS DETAILS
⑥	TIMBER FRAMED ROOF WITH METAL CLADDING.
⑦	LIGHTWEIGHT CLADDING TO TIMBER FRAME
⑧	1M GLASS BALUSTRADE TO NCC
⑨	EXTERNAL ARCHITECTURAL FEATURE
⑩	SOLAR PANELS
⑪	NEW TILES & MEMBRANE TO BALCONY AREA
⑫	EXISTING LOWER & GROUND FLOORS UNALTERED



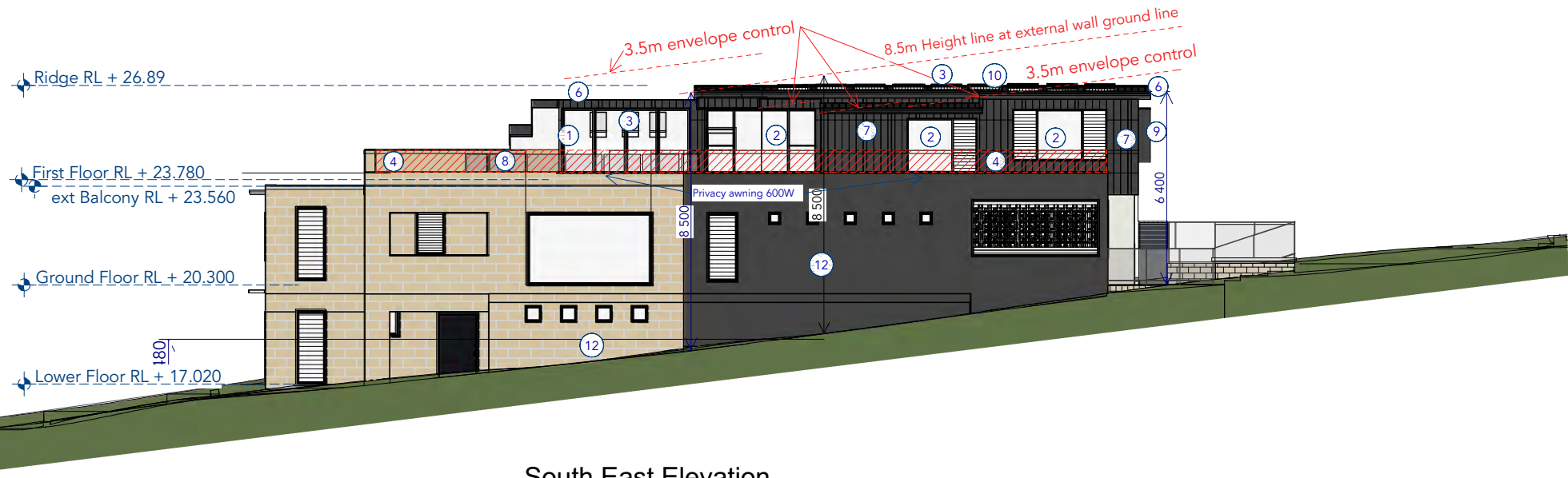
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DA NUMBER: DA2024/0534

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North West Elevation



South East Elevation

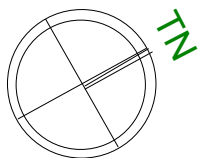
Elevations Plan SE & NW

Revision	Date
1_Roof lowered 300 - 500mm	15.7.24
2_Privacy measures added	15.7.24
3_Reduced alfresco roof	15.7.24
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Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2
Client: DARIN & COOPER
Drawing:
Elevations Plan SE & NW



Drawn / Designed: MW

Project no:

Drawing No: DA10

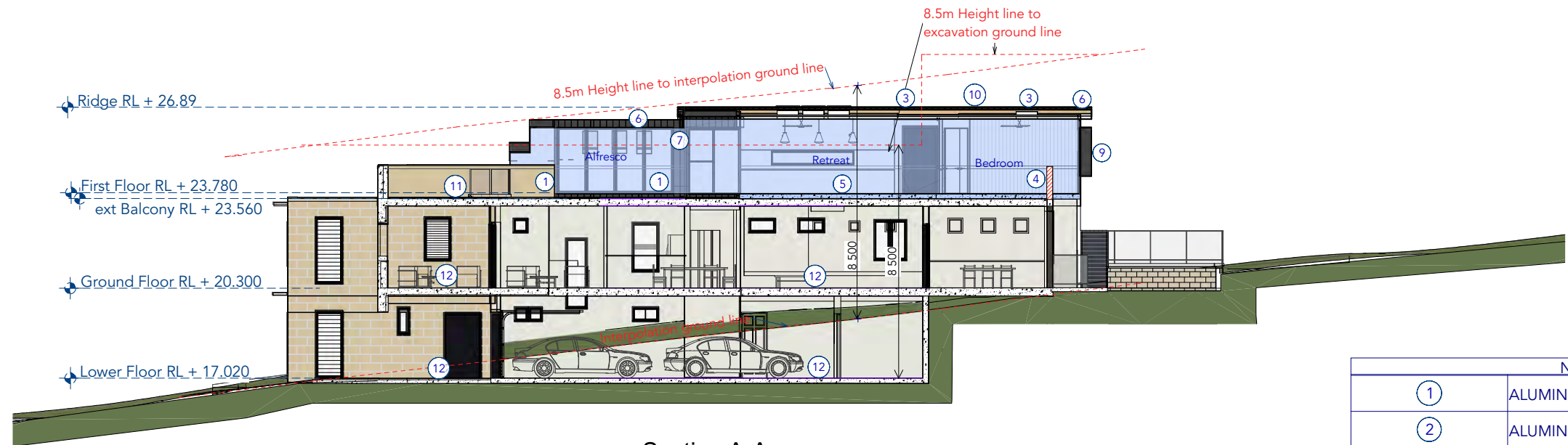
Date:

6.8.24

Scale:

1:200 A3

Issue:



Section A-A



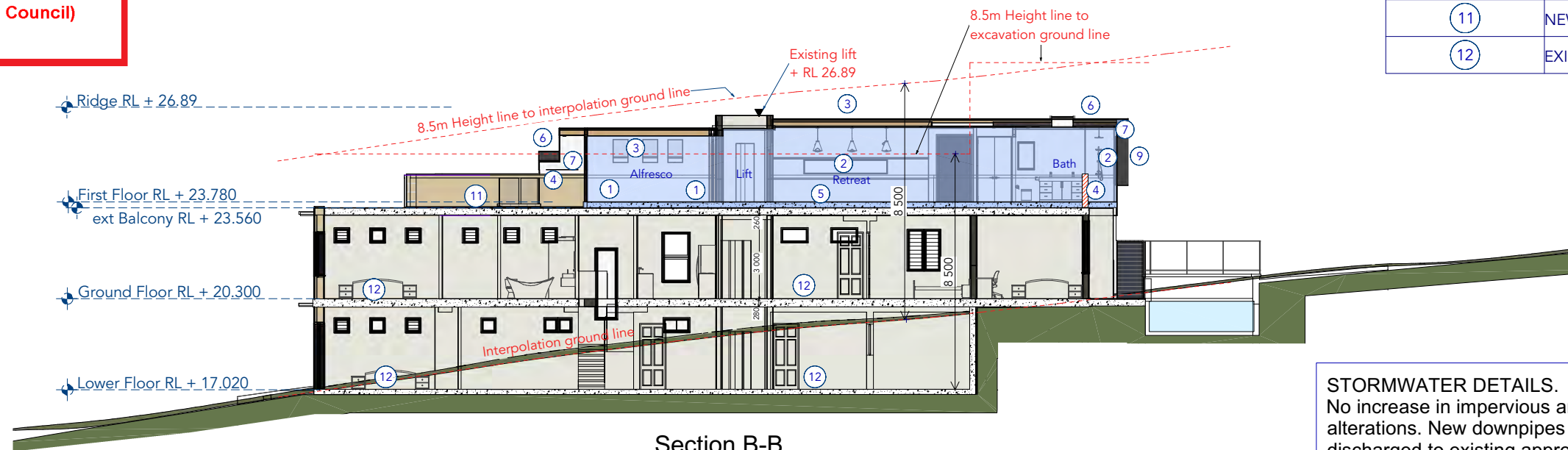
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DA NUMBER: DA2024/0534

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NOTE SCHEDULE	
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⑨	EXTERNAL ARCHITECTURAL FEATURE
⑩	SOLAR PANELS
⑪	NEW TILES & MEMBRANE TO BALCONY AREA
⑫	EXISTING LOWER & GROUND FLOORS UNALTERED



Section B-B

STORMWATER DETAILS.
No increase in impervious area by 50m2. No OSD required for alterations. New downpipes connected to existing stormwater lines & discharged to existing approved street drainage system.

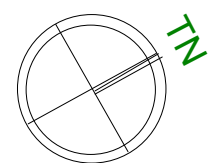
Section A-A, B-B

Revision	Date
1_Roof lowered 300 - 500mm	15.7.24
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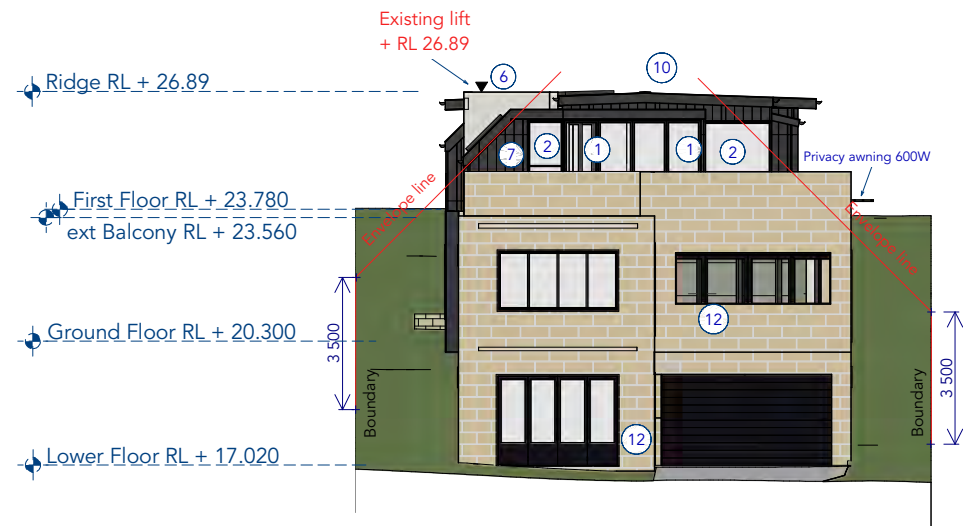


Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2
Client: DARIN & COOPER
Drawing:
Section A-A, B-B

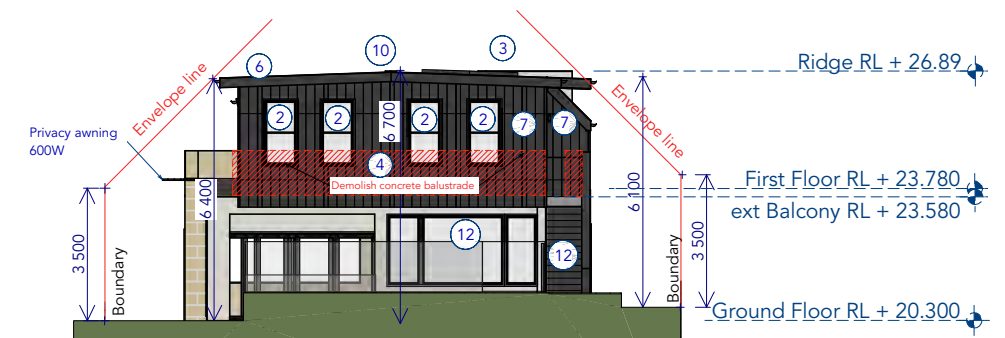


Drawn / Designed: MW
Project no:
Drawing No: **DA11**

Date:
6.8.24
Scale:
1:200 A3
Issue:



South West Elevation



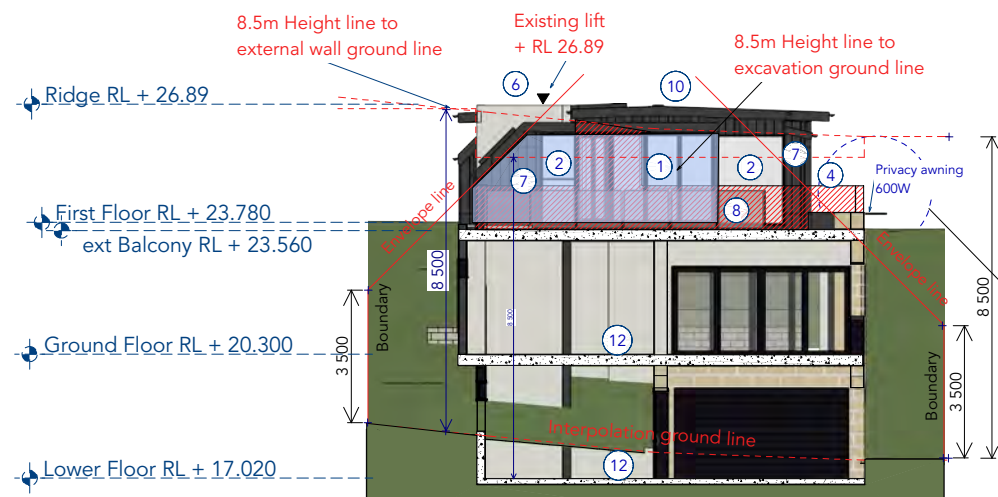
North East Elevation

NOTE SCHEDULE	
①	ALUMINIUM GLASS DOORS TO BASIX
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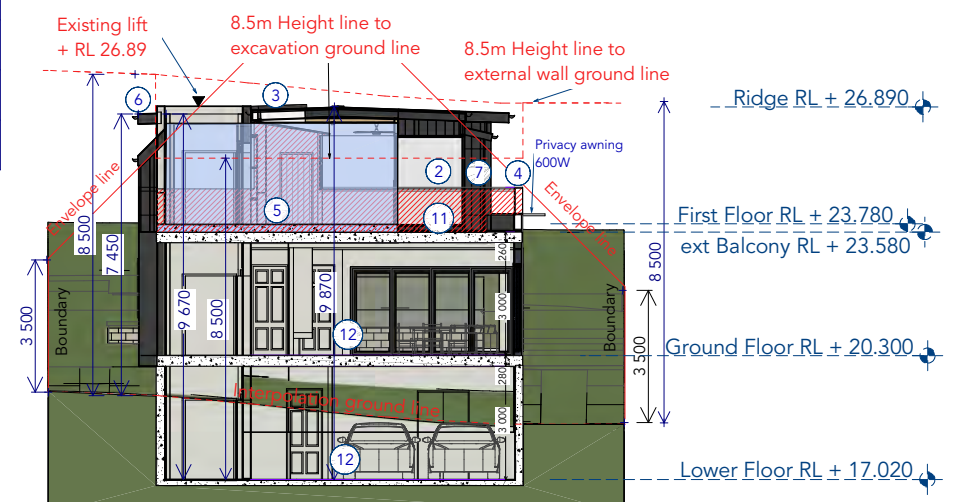
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DA NUMBER: DA2024/0534

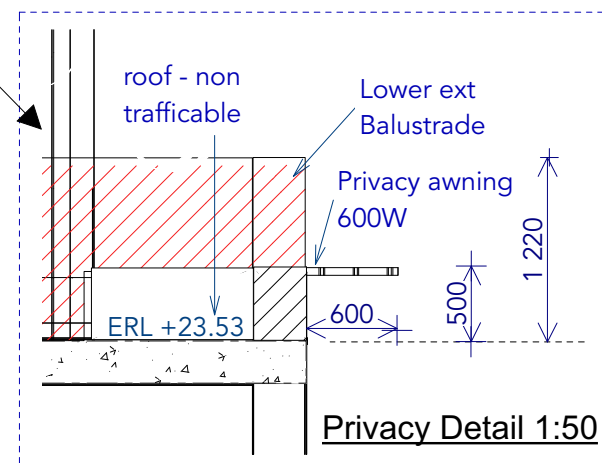
(Activation of consent must be obtained from Northern Beaches Council)



Section C-C



Section D-D



Elevations Plan NE & SW. Section C-C, D-D

= Proposed Work

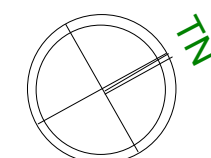
= Demolition

Revision	Date
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2. Privacy measures added	15.7.24
3. Reduced alfresco roof	15.7.24
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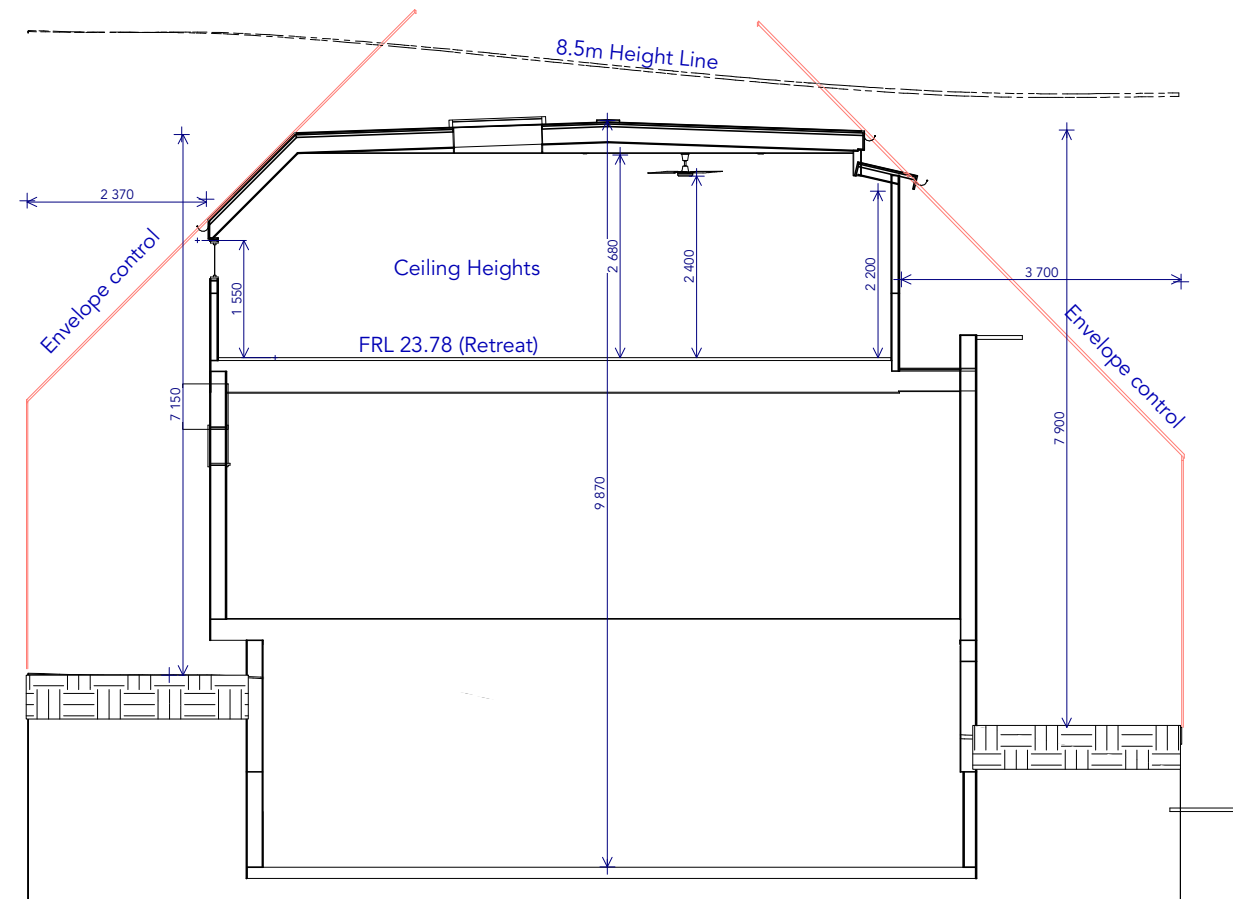
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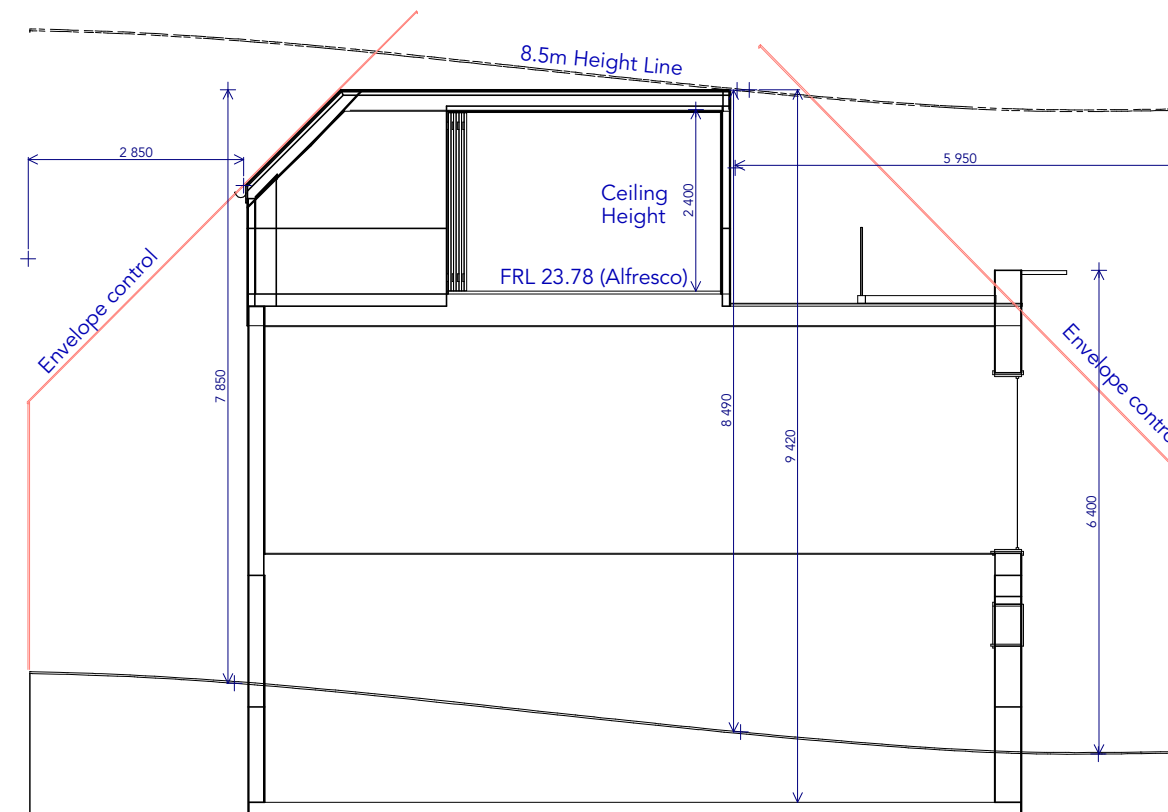
Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2
Client: DARIN & COOPER
Drawing:
Elevations Plan NE & SW. Section C-C, D-D



Drawn / Designed: MW	Date: 6.8.24
Project no:	Scale: 1:200 A3
Drawing No: DA12	Issue:



Ceiling height detail 1 - Retreat



Ceiling height detail 2 - Alfresco

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DA NUMBER: DA2024/0534

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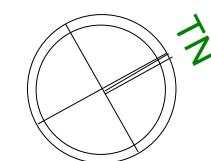
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Project: 14 Bassett Street, Mona Vale
Alterations & Additions
Lot 23, DP6195, Site Area - 1283M2

Client: DARIN & COOPER

Drawing:
Section HTD1 & HTD2 Ceiling Heights



Drawn / Designed: MW

Project no:

Drawing No: **DA25**

Date: 1.08.24

Scale: 1:200 A3

Issue: