

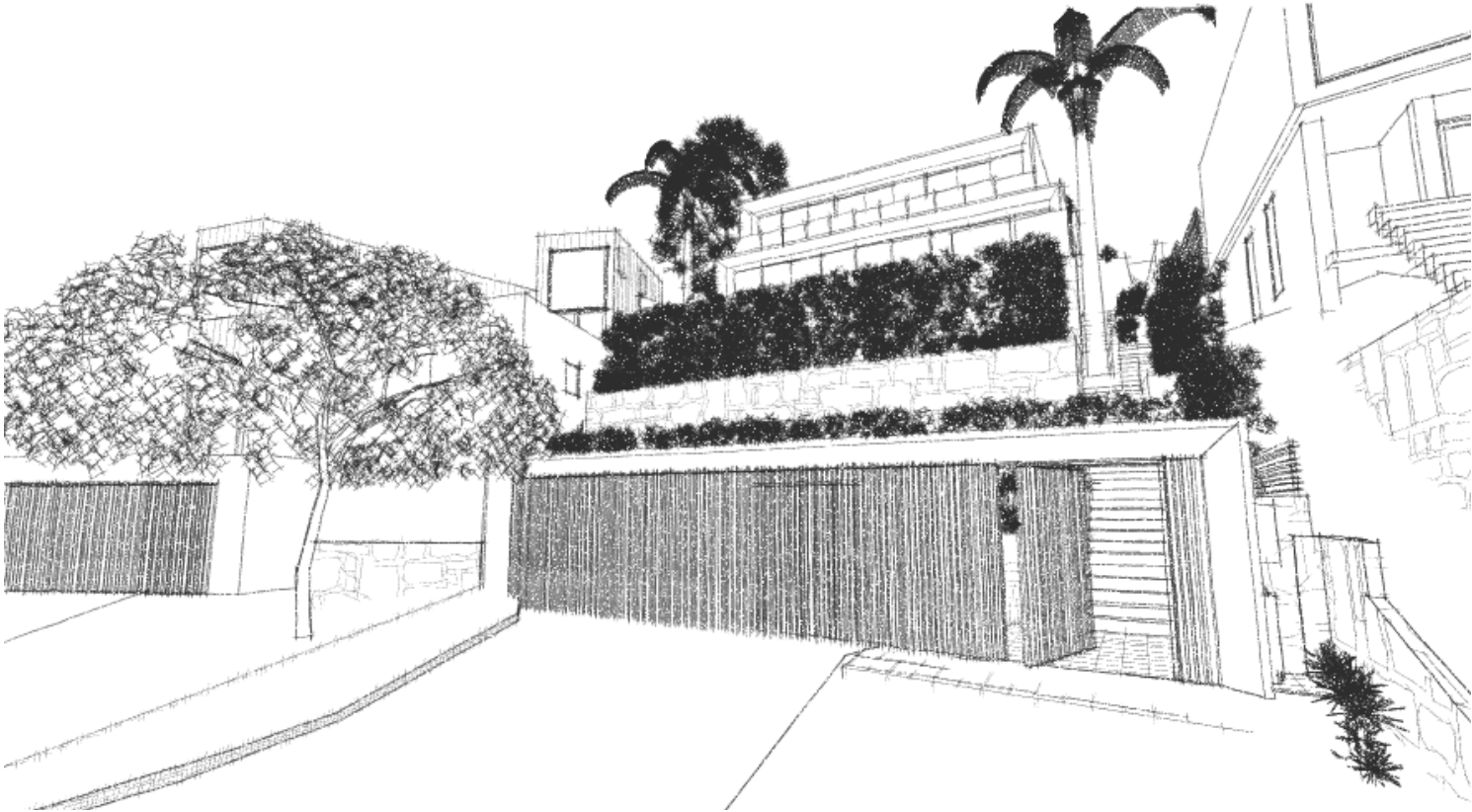
DEVELOPMENT APPLICATION

Bertucci Residence

246 WHALE BEACH ROAD WHALE BEACH NSW 2107
PROPOSED NEW DWELLING

DRAWING REGISTER

NO.	DRAWING	SCALE	REV	DATE
DA-01	COVER SHEET	NTS	B	APRIL 2021
DA-02	SITE PLAN	1:200	B	APRIL 2021
DA-03	DEMOLITION PLAN	1:200	A	JAN 2021
DA-04	GARAGE	1:100	B	APRIL 2021
DA-05	GROUND FLOOR	1:100	B	APRIL 2021
DA-06	FIRST FLOOR PLAN	1:100	A	JAN 2021
DA-07	SECOND FLOOR PLAN	1:100	A	JAN 2021
DA-08	ELEVATIONS	1:100	B	APRIL 2021
DA-09	ELEVATION	1:100	B	APRIL 2021
DA-10	ELEVATION	1:100	B	APRIL 2021
DA-11	ELEVATION	1:100	B	APRIL 2021
DA-12	SECTION A:A	1:100	A	JAN 2021
DA-13	SECTION B:B	1:100	A	JAN 2021
DA-14	POOL DETAIL	1:100	A	JAN 2021
DA-15	LANDSCAPE CONCEPT	1:200	B	APRIL 2021
DA-16	LANSCAPE DETAILS	NTS	A	JAN 2021
DA-17	SHADOW DIAGRAM	1:200	B	APRIL 2021
DA-18	WINDOW & SPEC.	NTS	A	JAN 2021



VIEW FROM WHALE BEACH ROAD

BUILDING DESIGN STATEMENT

In accordance with the provisions of Clause A2.2 of, The National Construction Code 2019 (NCC) Volume 2, I hereby certify that the design of this project as documented in drawings 1232-DA-01 through DA-18, meets the requirements of the NCC. The design follows established building design principles and is in accordance with all relevant Australian Standards. We hold Professional Indemnity and Public Liability Insurance to the satisfaction of the owner.

Regards

G. Seghers

GRANT SEGHERS B.Arch(Hon) Assoc Dip Surv.
Building Designer
GS DESIGN
ABN:93 370 632 963
0424 428 602



REFER TO GEOTECHNICAL INVESTIGATION REPORT
Ref:J3109 WHITE GEOTECHNICAL ENGINEERS

REFER TO STORMWATER DESIGN DOCUMENTATION
Ref:201222 D00-D11 NB CONSULTING ENGINEERS

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 SECTION 3 & 7,
PLUS SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
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Figured dimensions to be used rather than scaling.			
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.			
CAD Ref: 246 Whale Beach Rd DA08.pln			
Grant Seghers Design			

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PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantsegthersdesign
39 Gondola Road
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DRAWING TITLE
COVER SHEET

SCALE NTS@A3	DRAWN BY GS	PLOT DATE 15/4/21
PROJECT NO. 1232	DRAWING NO. DA-01	REVISION B

LEGEND

LANDSCAPE AREA

PRIVATE OPEN SPACE

ROOF/SURFACE AREA
DIRECTED TO
RAINWATER/OSD TANK

VIEW TO WHALE
BEACH & PACIFIC

PREVAILING WIND
SOUTHERLY - COOL

PREVAILING WIND
NORTHEAST - WARM

NOTES

EROSION CONTROL TO CONSIST OF STAKED
GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES
TO FULLY SECURE THE CONSTRUCTION SITE
BETWEEN THE EXISTING SIDE BOUNDARY FENCES

"WARNING CONSTRUCTION SITE- DO NOT ENTER"
SIGNAGE TO BE FIXED TO SECURITY FENCING

ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN THE BASIX CERTIFICATE No. 1163311S

LANDSCAPE AREA

LOCATION	AREA (m ²)
Rear Yard(N)	187.4
Grass Area on Terrace	23.0
Front Garden & Planters	71.3
East Planter Hedge 1	10.8
East Planter Hedge 2	5.1
East Planter Hedge 3	2.0
6% of Site Area (Pool Terrace)	40.4
Total Landscape Area	340
SITE AREA	673.8
Landscape % of Site Area	50.5%

5.4

NATIONWIDE
HOUSE

60.8

www.nathers.gov.au

0005563812 23 Dec 2020

Assessor
Accreditation No.
20759

Address
246 Whale Beach road , Whale
Beach , NSW , 2107

www.nathers.gov.au

ABSAR

Accreditation No. 0104/2020-31/03/2021

Assessor Name: Cameron McFadden

Assessor Number: 20795

Assessor Signature

www.dialbeforeyoudig.com.au

DIAL1100

BEFORE YOU DIG

Site Plan

1:200

NOTES

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Grant Seghers Design

REV

DATE

AMENDMENT

A

JAN 2021

DEVELOPMENT APPLICATION

B

APRIL 2021

GENERAL AMENDMENTS SHOWN CLOUDED

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PROJECT

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NORTH NARRABEEN NSW 2101

M:0424 428 602

DRAWING TITLE

SITE PLAN &
SITE ANALYSIS PLAN

SCALE

1:200@A3

PROJECT NO.

1232

DRAWN BY

GS

PLOT DATE

15/4/21

DRAWING NO.

DA-02

REVISION

B

DEMOLITION NOTES

01 EXTENT OF WORKS: DEMOLITION

Perform work described here and shown on drawings including but not limited to:
Demolish in accordance with demolition drawings
Clean site thoroughly on completion

02 STANDARDS: DEMOLITION

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS Current Edition.
AS 2187 Explosives - storage, transport and use, There are 5 parts to this standard 1993-1999.
AS 2436 1981 Guide to noise control on construction, maintenance and demolition sites.
AS 2601 2001 Demolition of structures.

Public and Property Protection: Provide measures required by municipal and state ordinances, laws, and regulations for the protection of surrounding property, footpaths, streets, kerbs, the public, occupants and workmen during demolition operations. Comply with the above ordinances, laws etc. in carrying out measures including barricades fences, warning lights and signs, rubbish chutes, etc.. No blasting for demolition purposes will be permitted. Exercise due care in executing this work. Make good to original condition, damage to structures to be retained and to adjacent property which results from demolition operations. Perform restoration work without expense to the Proprietor.

Comply throughout with the current edition of the National Construction Code (NCC) of Australia.

SEDIMENT CONTROL NOTES

01 EXTENT OF WORKS: SEDIMENT CONTROL

Perform work described here and shown on drawings including but not limited to:

Single means of entry/egress with shake down grid or entry platform.

Sediment control fences to be installed as shown on documents.

Geotextile socks to be used to protect public assets.

All stockpiles to be covered to prevent erosion and runoff.

Connect and Commission Stormwater network as soon as practicable.

Clean site thoroughly on completion

02 STANDARDS: SEDIMENT CONTROL

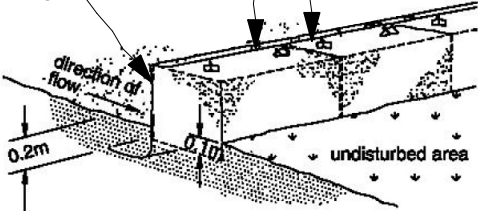
COMPLY WITH APPLICABLE CLAUSES OF THE NCC.

Comply throughout with the current edition of the National Construction Code (NCC) of Australia.

STAR PICKET 600mm INTO GROUND.
INTERLOCK BALES WITH SKEW PICKET

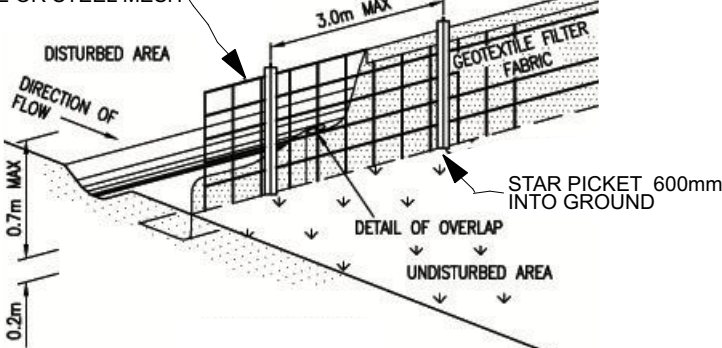
OVERLAP TOP 100MM AND PIN

GEOTEXTILE FABRIC

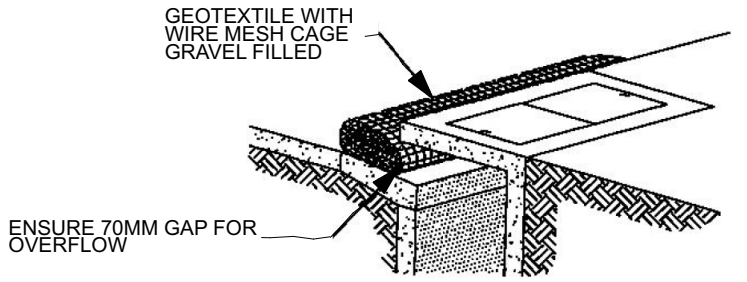


SEDIMENT FENCE - STAW BALE

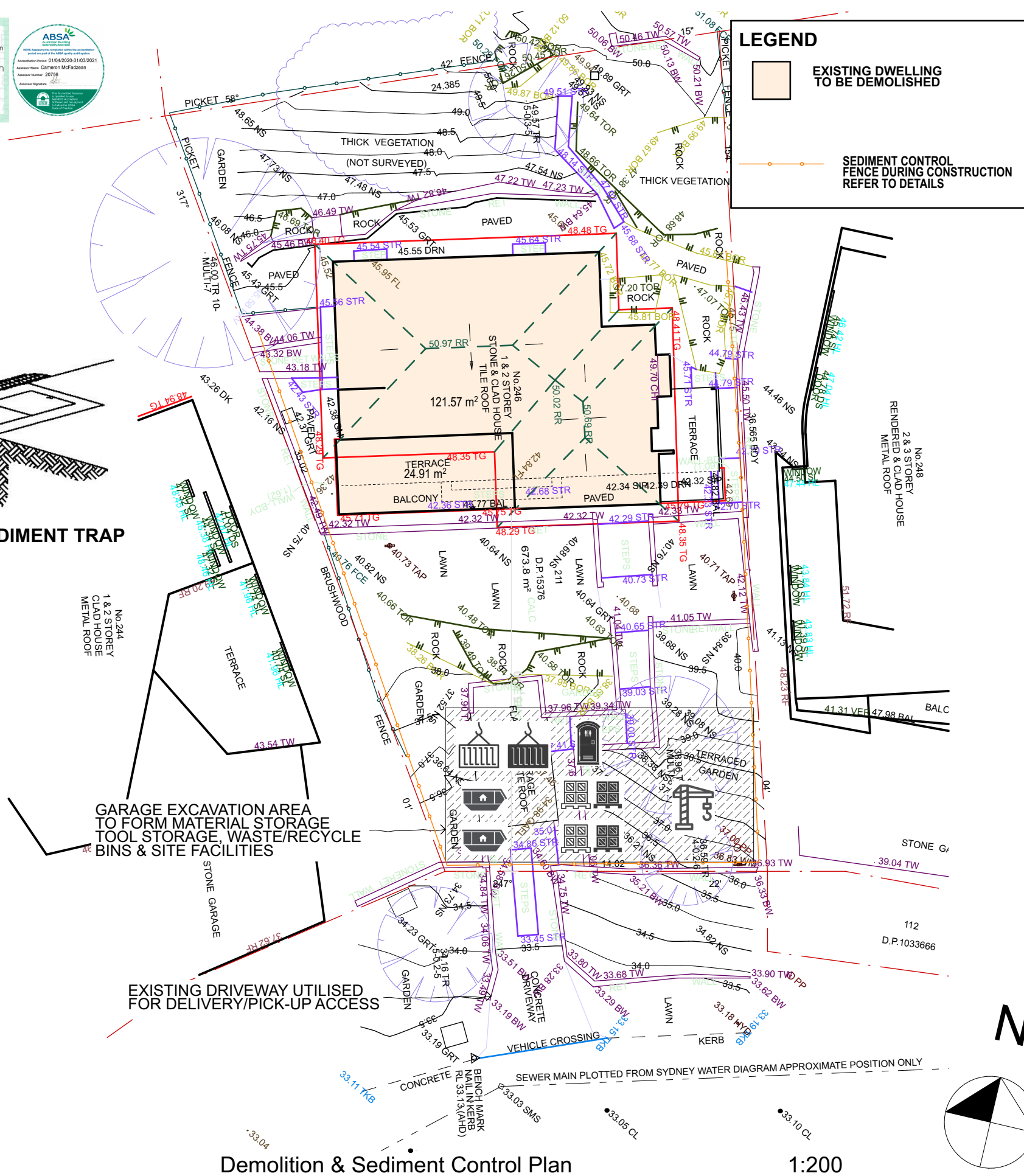
WIRE OR STEEL MESH

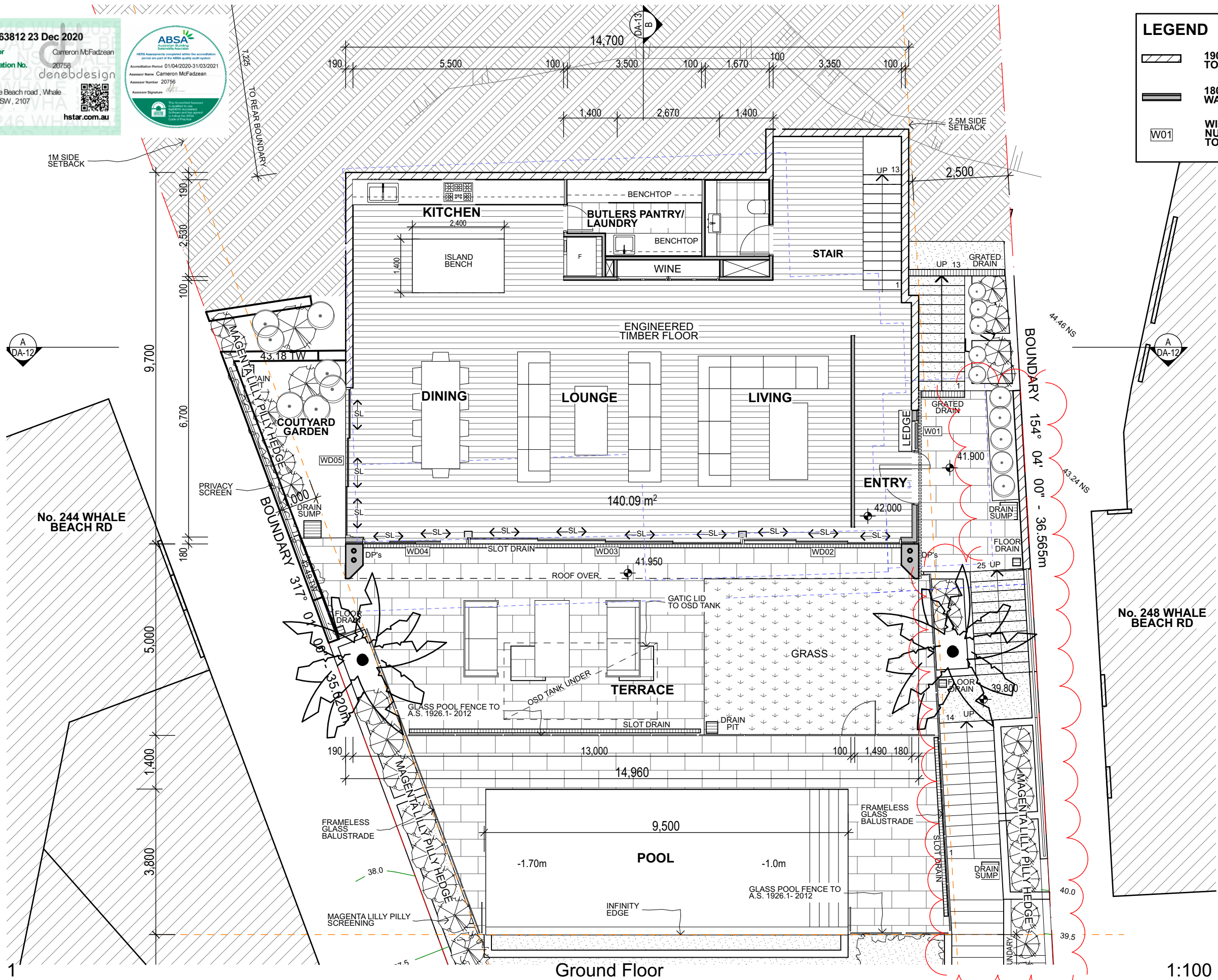


SEDIMENT FENCE - MESH



KERB & GRATE SEDIMENT TRAP





LEGEND	
	190 CONC. BLOCK / DINCELL TO ENG. DETAIL
	180- 50 AAC PANEL TIMBER STUD WALL- RENDER & PAINT
	WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's

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Grant Seghers Design

REV	DATE	AMENDMENT
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B	APRIL 2021	GENERAL AMENDMENTS SHOWN CLOUDED



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PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
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M:0424 428 602

DRAWING TITLE
GROUND FLOOR

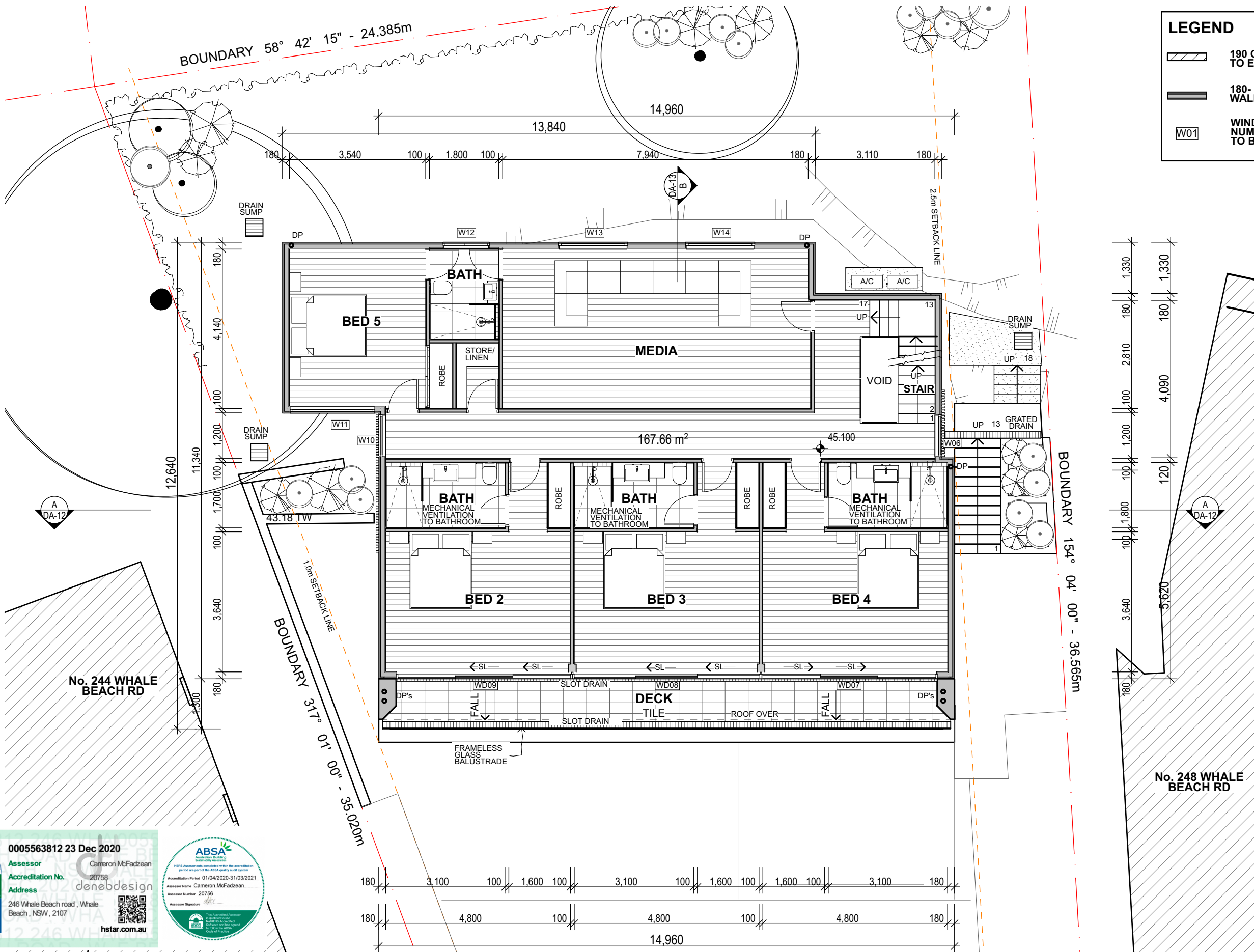
SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	15/4/21
PROJECT NO.	DRAWING NO.	REVISION
1232	DA-05	B

LEGEND

 190 CONC. BLOCK / DINCELL TO ENG. DETAIL

 180- 50 AAC PANEL TIMBER STUD WALL- RENDER & PAINT

 WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's



First Floor

1:100

5.4
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
60.8
MUMI
www.nathers.gov.au

0005563812 23 Dec 2020
Assessor Cameron McFadzean
Accreditation No. 20758
Address 246 Whale Beach road, Whale Beach, NSW, 2107
Assessor Number 20759
Assessor Signature [Signature]
hstar.com.au

ABSA
Australian Building Sustainability Association
ABSA Assessments completed within the accreditation period are part of the ABSA quality seal system
Accreditation Period 01/04/2020-31/03/2021
Assessor Name Cameron McFadzean
Assessor Number 20759
Assessor Signature [Signature]

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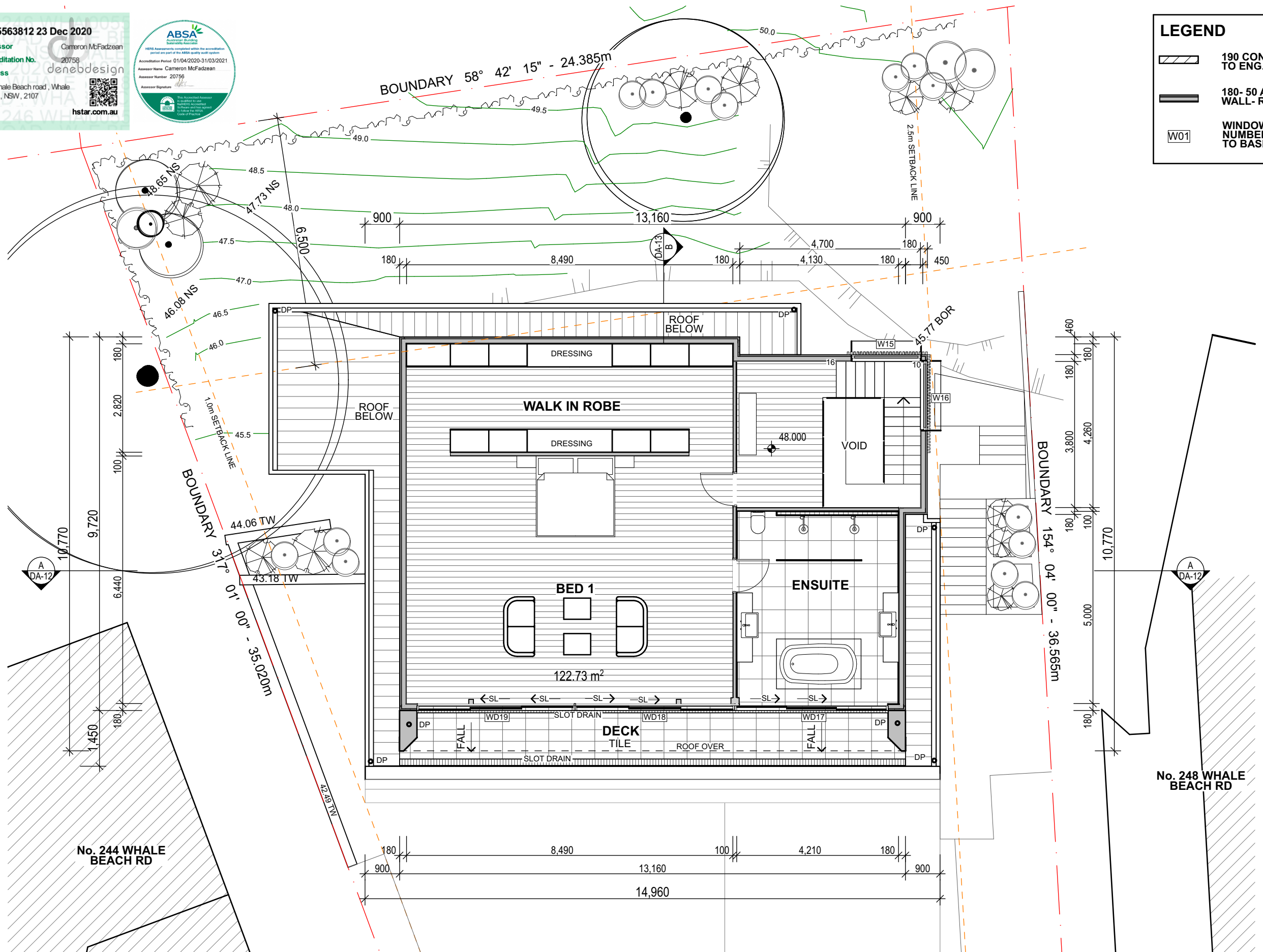
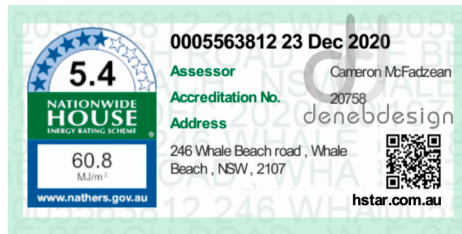
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DRAWING TITLE
FIRST FLOOR PLAN

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	1/2/21

PROJECT NO.	DRAWING NO.	REVISION
1232	DA-06	A



LEGEND	
	190 CONC. BLOCK / DINCELL TO ENG. DETAIL
	180- 50 AAC PANEL TIMBER STUD WALL- RENDER & PAINT
	WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's

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DRAWING TITLE
SECOND FLOOR PLAN

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	1/2/21
PROJECT NO.	DRAWING NO.	REVISION
1232	DA-07	A

0005563812 23 Dec 2020

Assessor Cameron McFadzean

Accreditation No. 20758

Address 246 Whale Beach road, Whale Beach, NSW, 2107

60.8 MJ/m²

www.nathers.gov.au

hstar.com.au

ABSA

Accreditation Period: 01/04/2020-31/03/2021

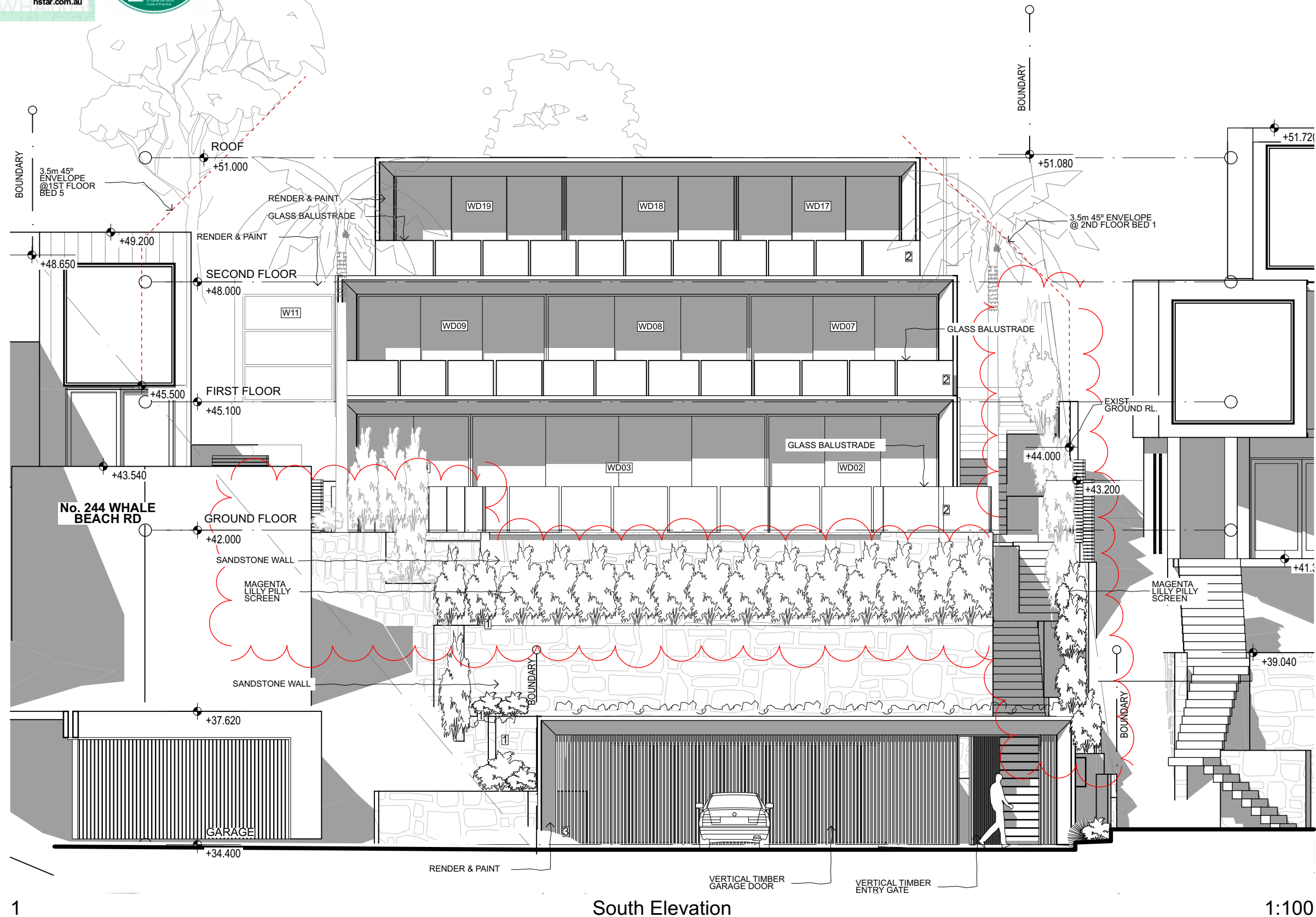
Assessor Name: Cameron McFadzean

Assessor Number: 20758

Assessor Signature: [Signature]

ALL CONSTRUCTION THIS FACADE TO MEET **BAL 19** - AS 3959 -2018 & SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION-2019. REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

- SANDSTONE
- RENDER - DULUX LEXICON HALF 4W
- VERTICAL TIMBER SCREENING SPOTTED GUM



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DRAWING TITLE
ELEVATIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	15/4/21
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1232	DA-08	B

SCHEDULE OF EXTERNAL FINISHES

AREA	SUBSTRATE	FINISH	COLOUR
Walls - Ground Floor	Conc Block/ Dincell	Render & Paint	Dulux-Lexicon Half 4W
Walls - First Floor/Second Floor	AAC Panel Stud Frame	Render & Paint	Dulux-Lexicon Half 4W
Roof	Custom Orb Steel - Trimdeck	Colorbond	Colorbond - Windspray
Window/Glass Door Frame	Aluminium	Powdercoat	Woodland Grey
Walls/ Garage, Ground, First & Second	Vertical Timber on spacing frame	Pre-finished	Natural - Spotted Gum
Retaining Walls	Conc. Block-Dincell	Eco - Outdoor-Crackencak	Natural Sandstaone



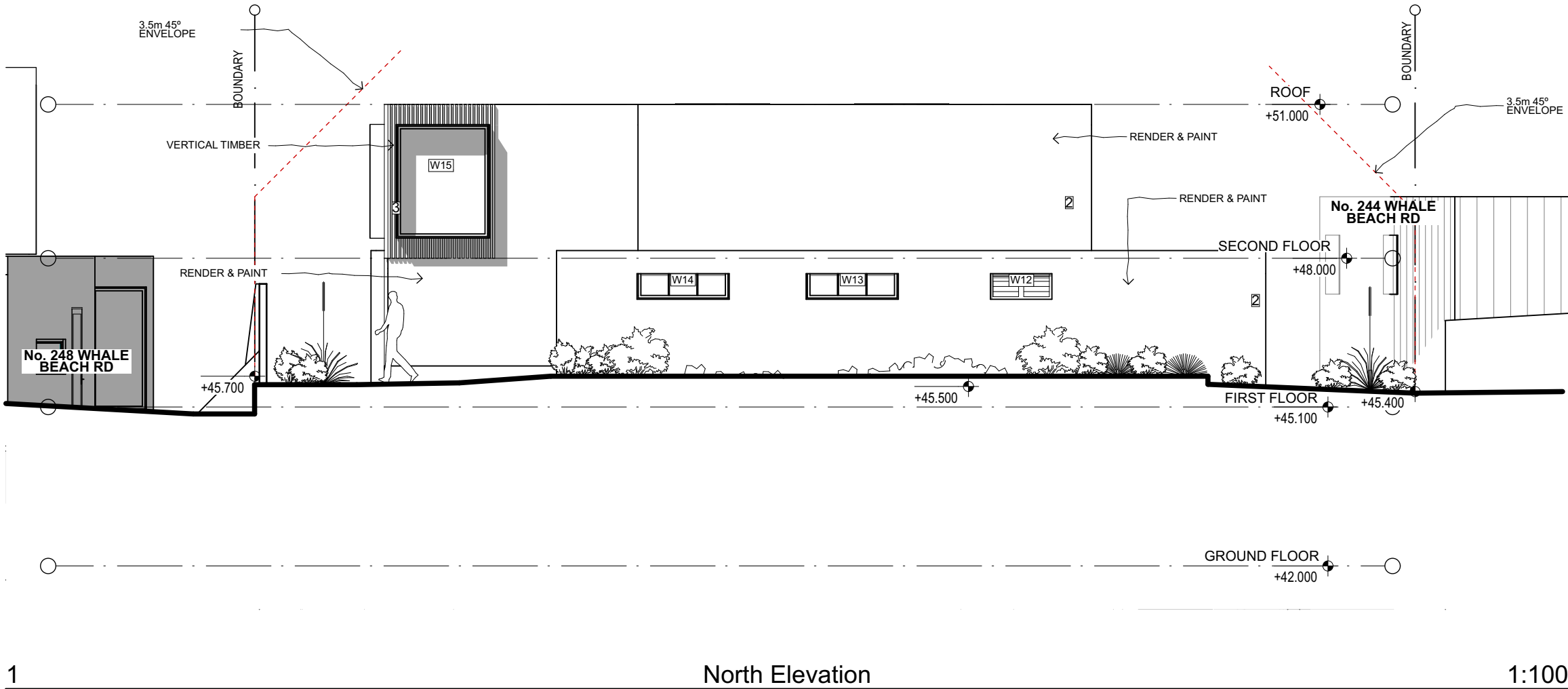
- 1

SANDSTONE - ECO OUTDOOR-CRACKENBACK
- 2

RENDER - DULUX LEXICON HALF 4W
- 3

VERTICAL TIMBER SCREENING SPOTTED GUM

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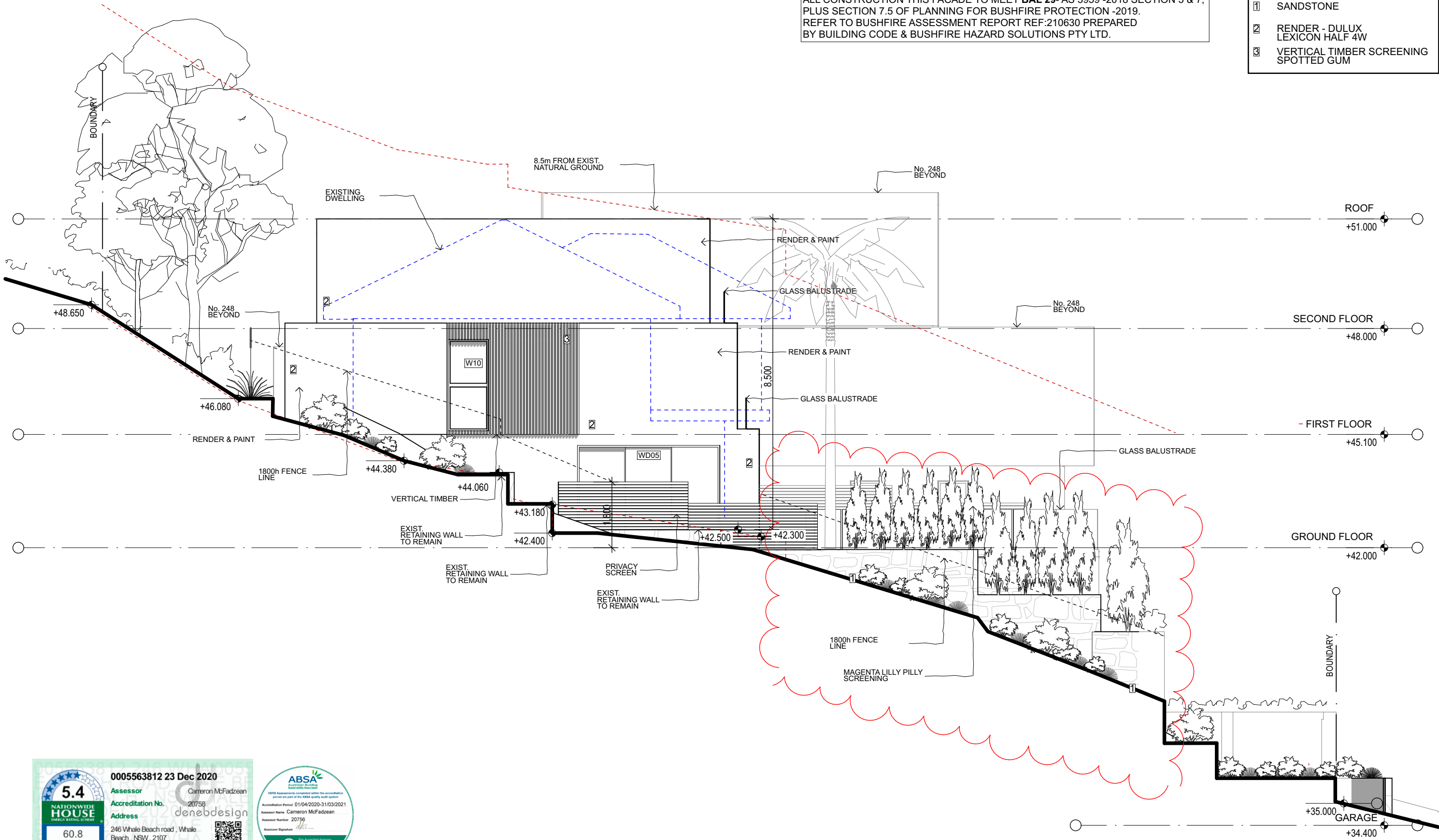
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ELEVATION

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1232	DA-09	B

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- 1 SANDSTONE
- 2 RENDER - DULUX LEXICON HALF 4W
- 3 VERTICAL TIMBER SCREENING SPOTTED GUM



1

West Elevation

1:100

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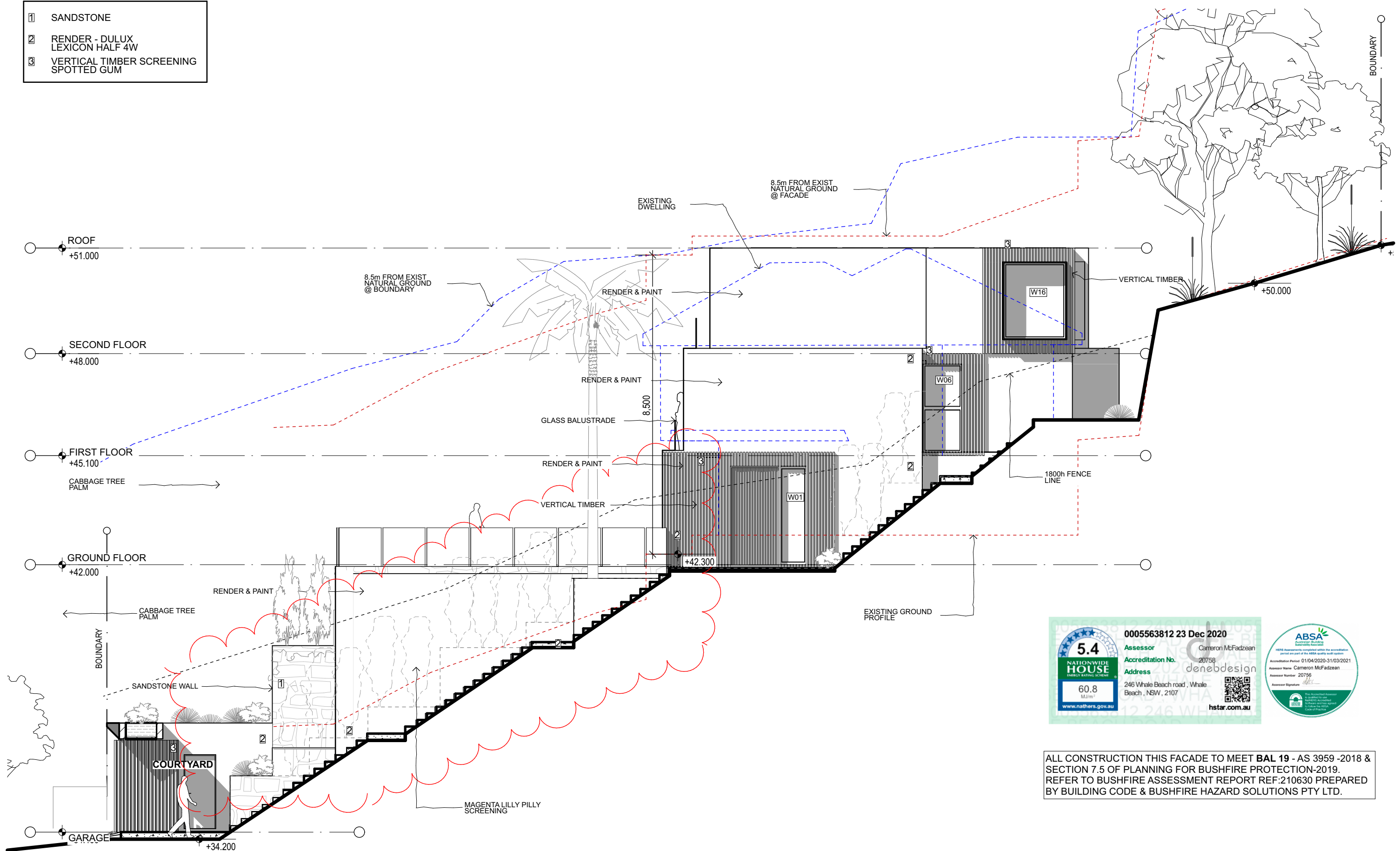
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DRAWING TITLE
ELEVATION

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	15/4/21

PROJECT NO.	DRAWING NO.	REVISION
1232	DA-10	B

- 1 SANDSTONE
2 RENDER - DULUX
LEXICON HALF 4W
3 VERTICAL TIMBER SCREENING
SPOTTED GUM



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1

East Elevation

1:100

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B APRIL 2021 GENERAL AMENDMENTS SHOWN CLOUDED

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DRAWING TITLE
ELEVATION

SCALE
1:100@A3
PROJECT NO.
1232

DRAWN BY
GS
DRAWING NO.
DA-11

PLOT DATE
15/4/21
REVISION
B

NOTES:
REFER TO INSULATION SPECIFICATION,
NATHERS CERTIFICATE AND BASIX CERTIFICATE

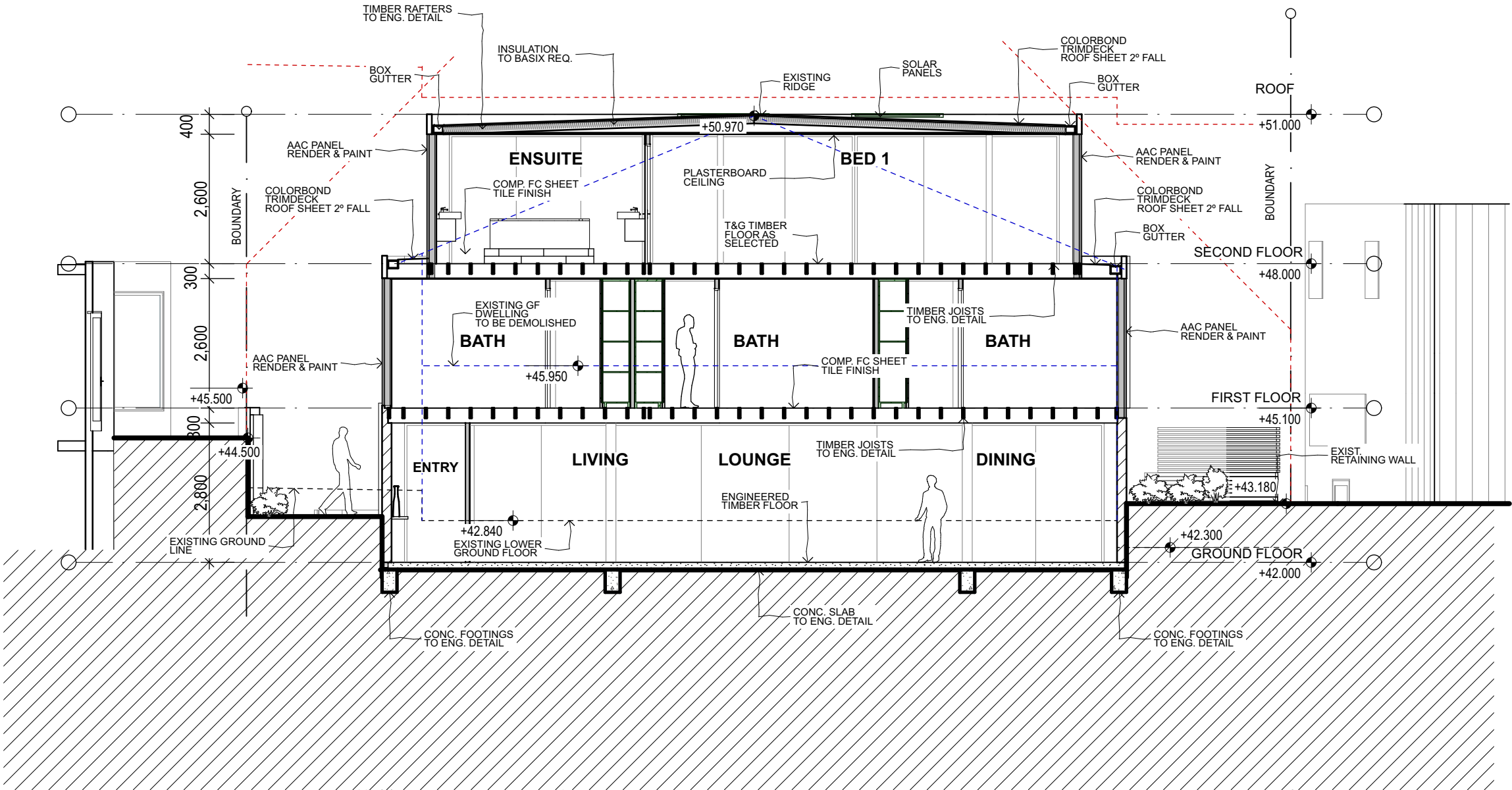


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LEGEND

190 CONC. BLOCK / DINCCELL
TO ENG. DETAIL

180- 50 AAC PANEL TIMBER STUD
WALL- RENDER & PAINT



1

Section A:A

1:100

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 SECTION 3 & 7,
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REV DATE
A JAN 2021

AMENDMENT
DEVELOPMENT APPLICATION

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DRAWING TITLE
SECTION A:A

SCALE
1:100@A3

PROJECT NO.
1232

DRAWN BY
GS

PLOT DATE
1/2/21

DRAWING NO.
DA-12

REVISION
A

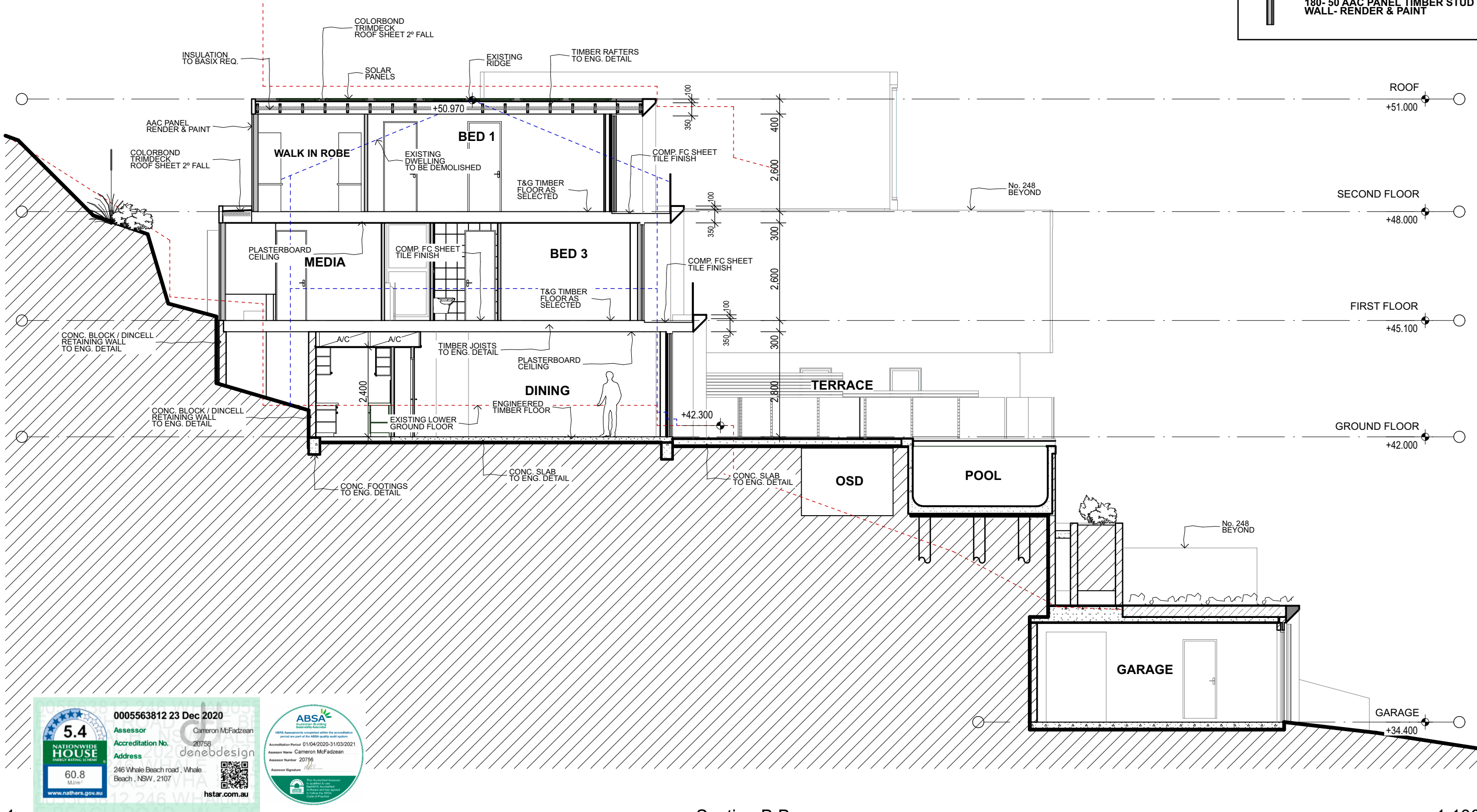
NOTES:
REFER TO INSULATION SPECIFICATION,
NATHERS CERTIFICATE AND BASIX CERTIFICATE

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 &
SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

LEGEND

190 CONC. BLOCK / DINCELL
TO ENG. DETAIL

180- 50 AAC PANEL TIMBER STUD
WALL- RENDER & PAINT



5.4
NATIONWIDE
HOUSE
ENERGY RATING 5.4
60.8
MUMI
www.nathers.gov.au

0005563812 23 Dec 2020
Assessor Cameron McFadzean
Accreditation No. 20758
Address 246 Whale Beach road, Whale Beach, NSW, 2107
hstar.com.au



1

Section B:B

1:100

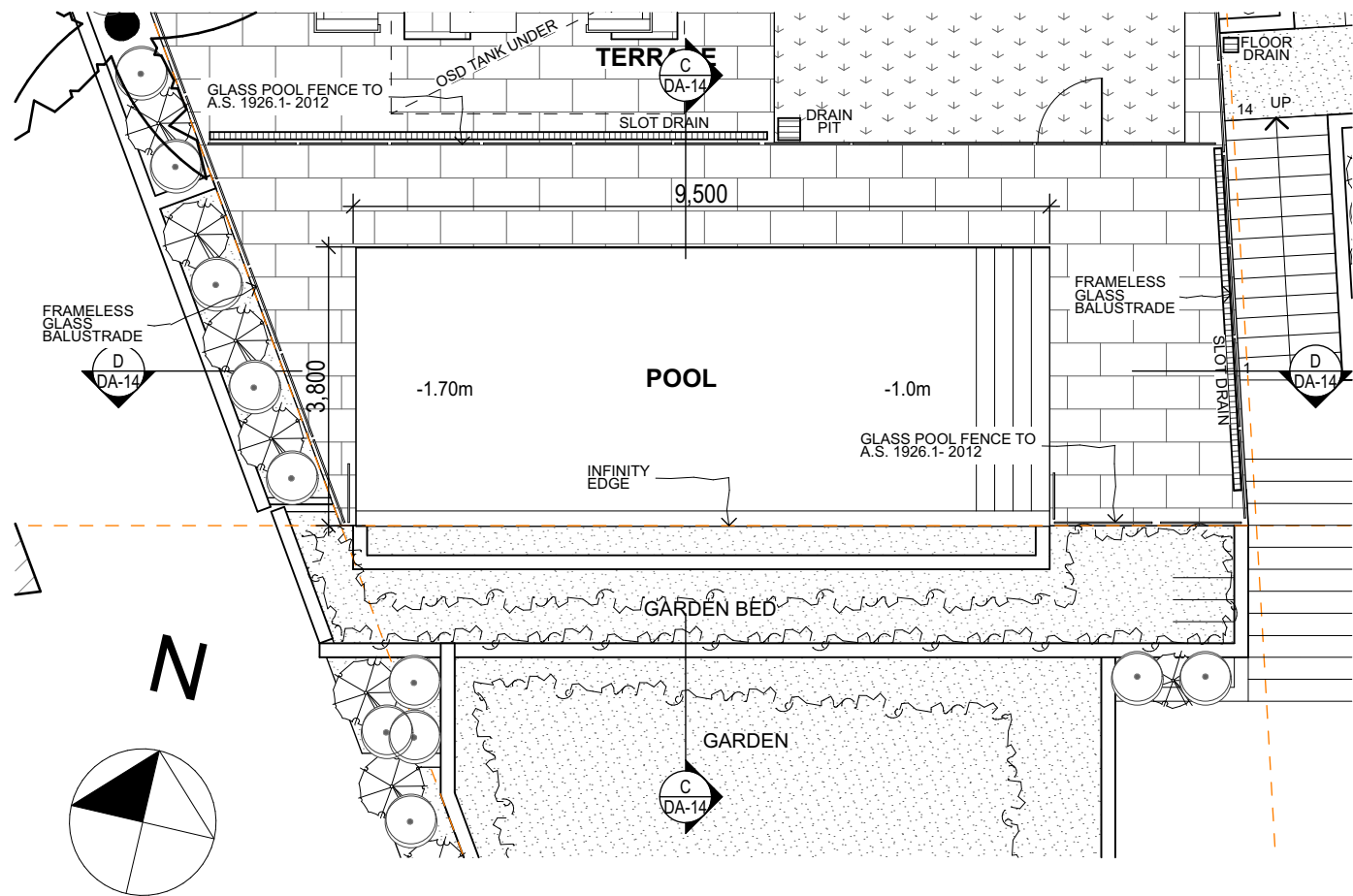
NOTES	REV	DATE	AMENDMENT
This drawing shall be read in conjunction with all other drawings and specifications for the project. Any discrepancies shall be referred to the building designer for clarification before proceeding with work. All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site. Figured dimensions to be used rather than scaling. All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards. CAD Ref: 246 Whale Beach Rd DA07.pln Grant Seghers Design	A	JAN 2021	DEVELOPMENT APPLICATION

grantseghers
design

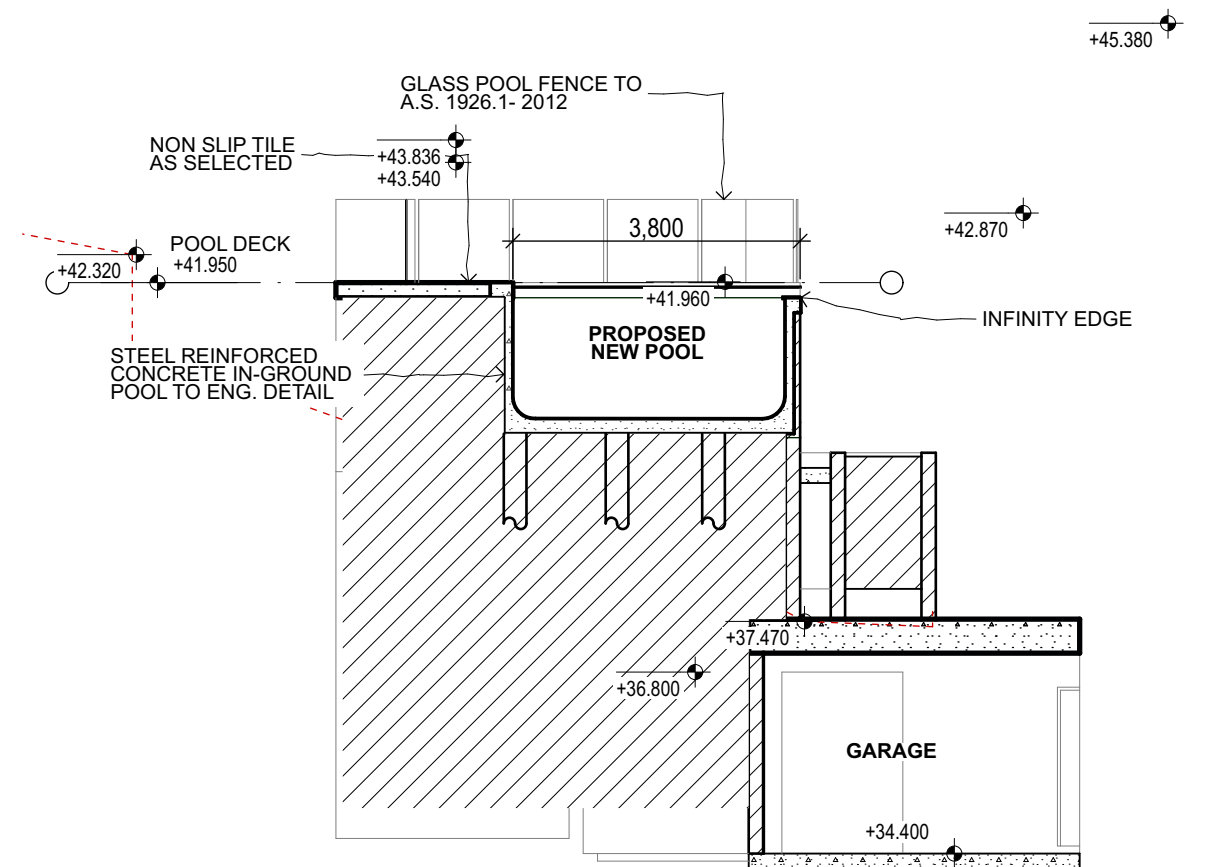
Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

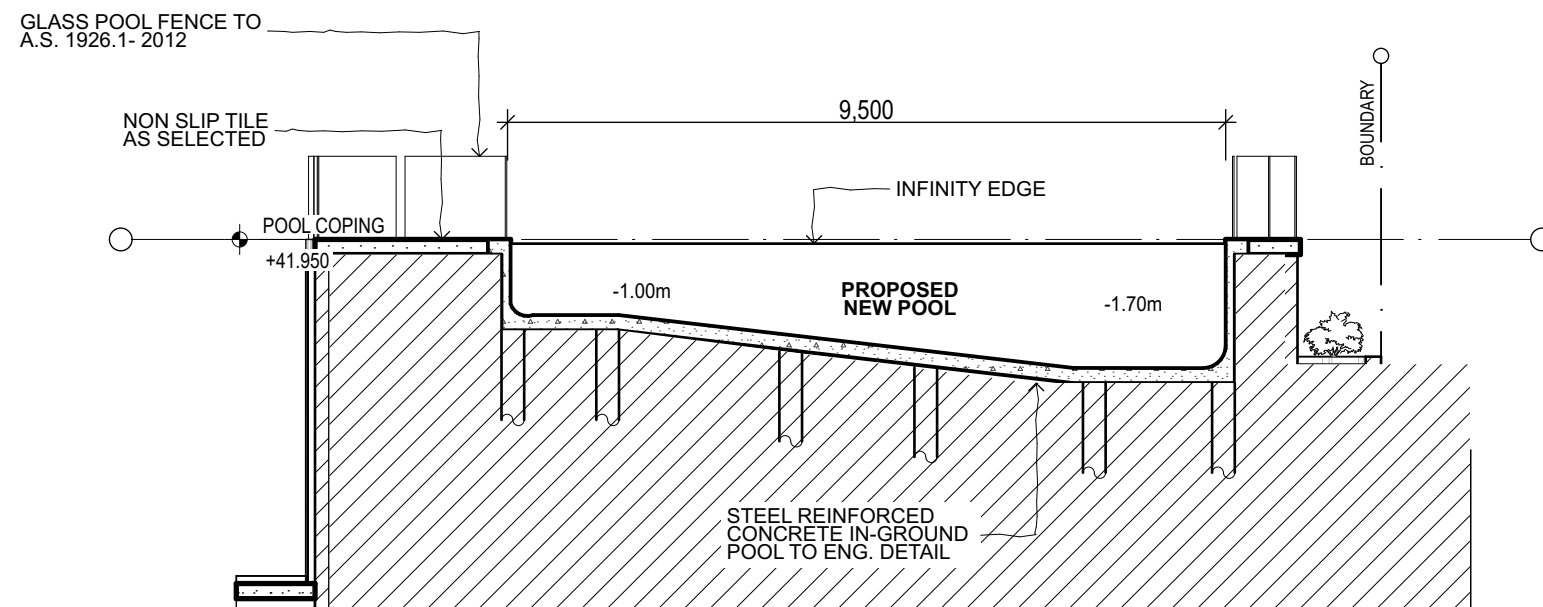
DRAWING TITLE	SCALE	DRAWN BY	PLOT DATE
SECTION B:B	1:100@A3	GS	1/2/21
	PROJECT NO.	DRAWING NO.	REVISION
	1232	DA-13	A



1 Pool Plan 1:100



2 Section C:C 1:100



3 Section D:D 1:100



NOTES
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Grant Seghers Design

REV DATE
A JAN 2021

AMENDMENT
DEVELOPMENT APPLICATION

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DRAWING TITLE
POOL DETAIL

SCALE
1:100@A3

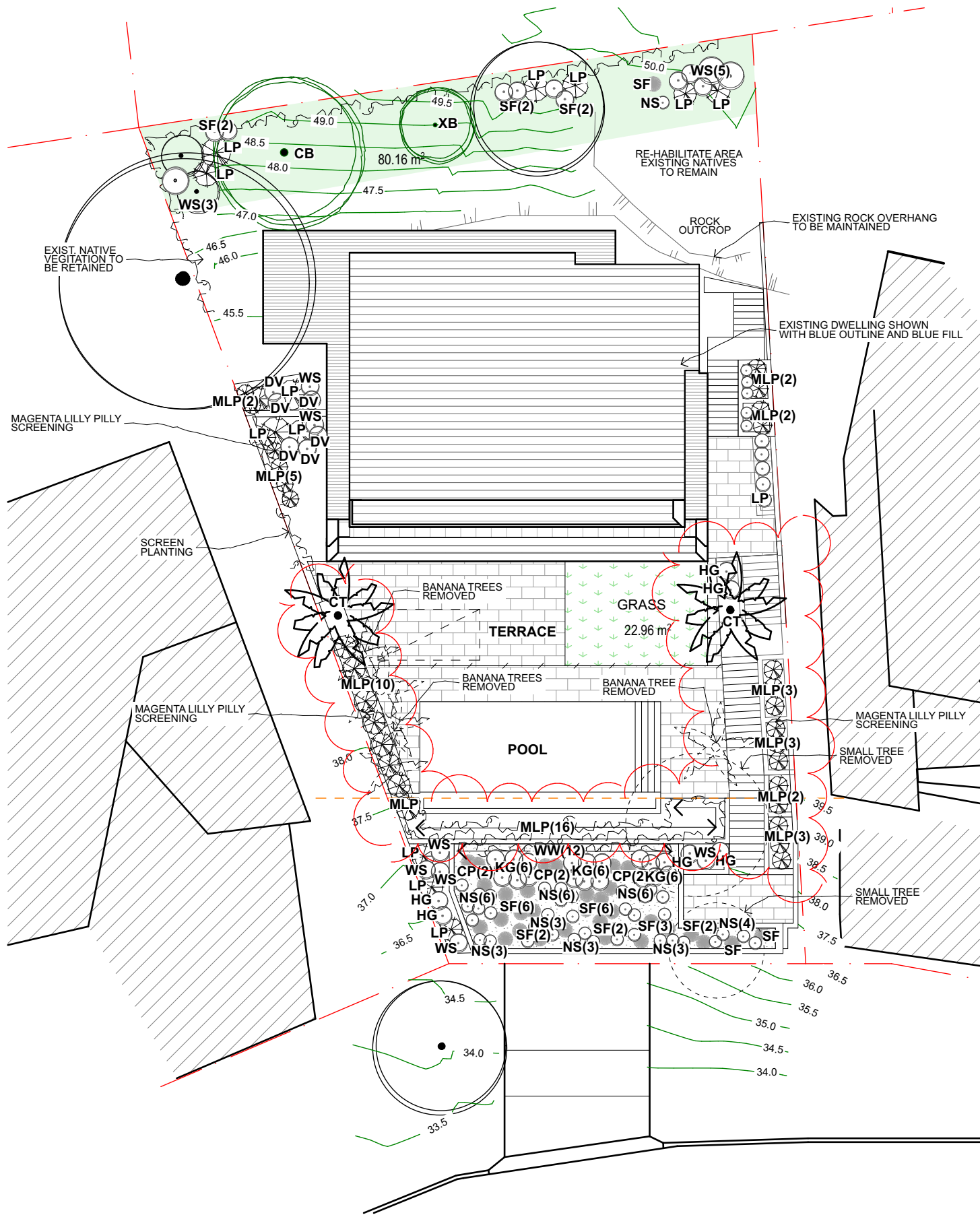
PROJECT NO.
1232

DRAWN BY
GS

DRAWING NO.
DA-14

PLOT DATE
1/2/21

REVISION
A



REFER TO
BASIX CERTIFICATE

LEGEND	
	GRASSED LAWN
	EXISTING NON-SIGNIFICANT TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED
	NATIVE PLANTING AREA BASIX REQUIREMENT

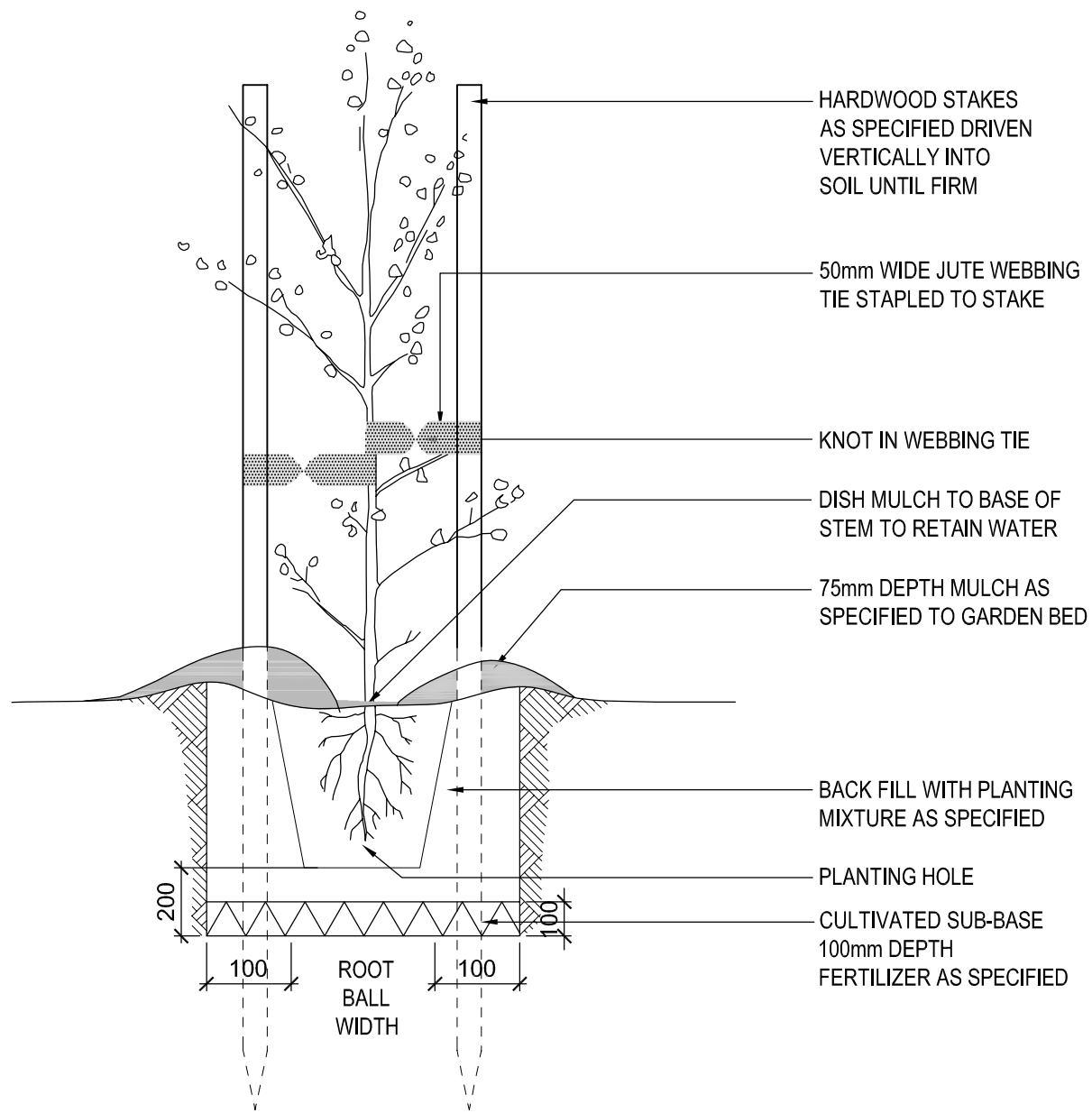
PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT	QUANTITY
TREES					
CB	Banksia integrifolia	Coastal Banksia	45L	8-10m	1
XB	Ceratopetalum gummiferum	NSW Christmas Bush	20L	6-8m	1
CT	Livistona australis	Cabbage Tree Palm	45L	10-12m	2
SHRUBS					
MLP	Syzygium paniculatum	Magenta Lilly Pilly	300mm	3-4m	30
LP	Acmena smithii minor	Dwarf Lilly Pilly	200mm	3.0m	16
HG	Goodenia ovata	Hop Goodenia	200mm	1.0m	4
WS	Grevillea linearifolia	White Spider Flower	200mm	1.5m	12
DV	Desmodium varians	Desmodium	100mm	ground	6
GRASSES & GROUND COVERS					
CP	Hardenbergia violacea	Purple Coral Pea	140mm	0.2m	16
KG	Themada australis	Kangaroo Grass	100mm	0.3m	18
NS	Carex appressa	Native Sedge	140mm	0.7m	12
SF	Gymnostachys anceps	Settlers Flax	140mm	0.6m	14
WW	Pandorea pandora	Wonga-Wonga Vine	140mm	0.5m	12

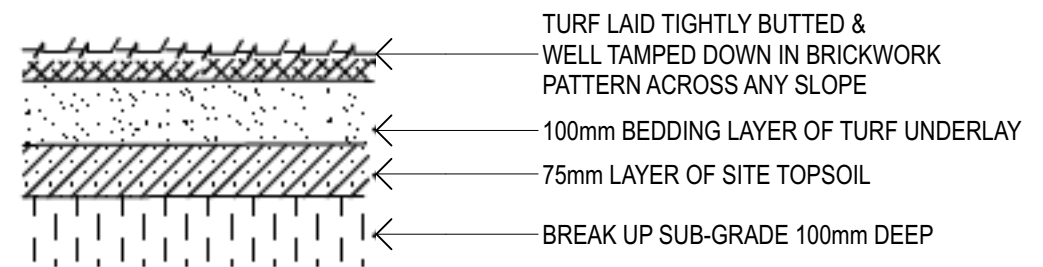
SOIL WORKS

TOPSOIL
Topsoil shall be an approved quality sandy loam comprising 85% coarse and fine sands and no more than 15% humus and fine materials. It shall be in a friable state and free from any materials toxic to plant growth, and free from stumps, roots, clay lumps or similar materials. It shall be entirely free from noxious weeds. Topsoil shall not be worked whilst in a sodden condition.

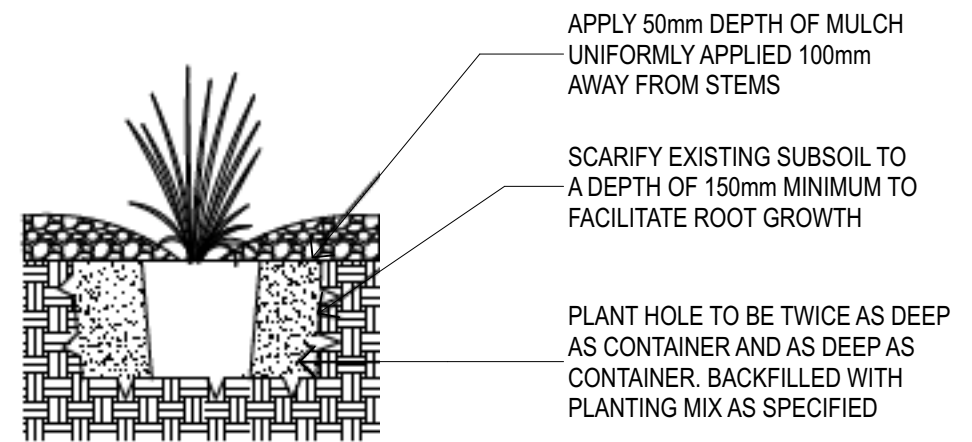
PLANTING SOIL
Planting soil shall be a mixture of site topsoil, humus and appropriate fertiliser. Add organic matter in the form of compost to a minimum depth of 200mm. Organic matter shall be thoroughly mixed through the prepared soil before planting.



1 TREE PLANTING

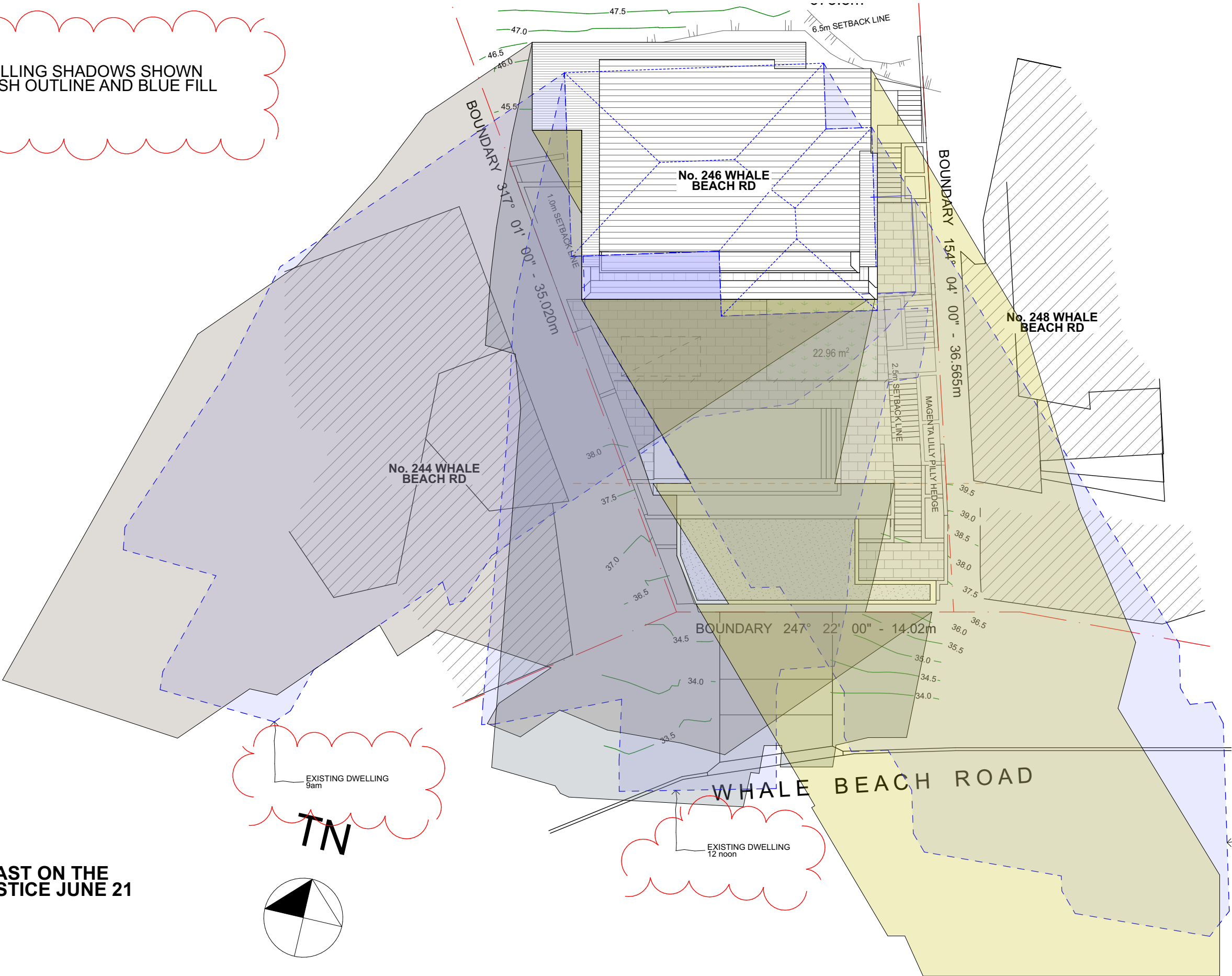


2 TURF DETAIL



3 SHRUB DETAIL

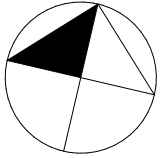
EXISTING DWELLING SHADOWS SHOWN
WITH BLUE DASH OUTLINE AND BLUE FILL



SHADOWS CAST ON THE
WINTER SOLSTICE JUNE 21

- 9 am
- 12 noon
- 3 pm

EXISTING DWELLING
9am



EXISTING DWELLING
12 noon

EXISTING DWELLING
3 pm

Shadow Diagram

1:200

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CAD Ref: 246 Whale Beach Rd DA08.pln
Grant Seghers Design

REV	DATE	AMENDMENT
A	JAN 2021	DEVELOPMENT APPLICATION
B	APRIL 2021	GENERAL AMENDMENTS SHOWN CLOUDED

grantseghers
design

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DRAWING TITLE
SHADOW DIAGRAM

SCALE	DRAWN BY	PLOT DATE
1:200@A3	GS	15/4/21

PROJECT NO.	DRAWING NO.	REVISION
1232	DA-17	B

INSULATION SPECIFICATION

External Wall - R1.7 added throughout
7.0 m2 Concrete Block No Insulation - Garage
72.5 m2 Concrete Block to earth No Insulation - Garage 196.3 m2 AAC Cavity Panel Direct Fix Bulk Insulation R1.70 17.4 m2 Concrete Block Bulk Insulation R1.70
64.4 m2 Concrete Block to earth Bulk Insulation R1.70

Internal Wall – R1 added throughout
10.8 m2 Cavity wall, direct fix plasterboard, single gap No Insulation - Garage
244.4 m2 Cavity wall, direct fix plasterboard, single gap Bulk Insulation, Air Gap R 1.0

External Floor - R2.5 added throughout
73.4 m2 Concrete Slab on Ground 100mm Bare No Insulation - Garage 144.5 m2 Concrete Slab on Ground 100mm Cork Tiles or Parquetry 8mm Bulk Insulation in Contact with Floor R 2.5
38.7 m2 Suspended Concrete Slab 150mm Cork Tiles or Parquetry 8mm Bulk Insulation in Contact with Floor R 2.5

External Ceiling – R4 added throughout
245.3 m2 Plasterboard Bulk Insulation R4.0 Unventilated roofspace 11.2 m2 Plasterboard No Insulation Unventilated roofspace - Garage

Internal Floor/Ceiling – R2 added throughout
131.3 m2 Concrete Above Plasterboard Bulk Insulation R 2.0 122.6 m2 Timber Above Plasterboard Bulk Insulation R 2.0

Roof (Horizontal area) – anti-con building blanket or equivalent
73.4 m2 Concrete Bulk, Reflective Side Down, No Air Gap Above R 0.7 2° slope Skillion roof - Garage
183.2 m2 Corrugated Iron Bulk, Reflective Side Down, No Air Gap Above R 0.7 2° slope Hip roof

NOTES:

FLYSCREENS TO ALL
OPERABLE WINDOWS & DOORS

ALUMINIUM FRAMED WINDOWS
POWDERCOAT FINISH COLOUR TBA

**REFER TO
BASIX CERTIFICATE No. 1163311S**



BASIX - WINDOW SCHEDULE						
WIn/Door No.	Orientation	Width	Height	W/D opening (m2)	Frame Type	Operation/ Notes
W01	E	800	2800	2.24	Aluminium - Powder-coated	Front Door Side Light
WD02	S	4150	2800	11.62	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD03	S	5760	2800	16.13	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD04	S	4150	2800	11.62	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD05	W	4000	2800	11.6	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide
W06	E	1100	2500	2.75	Aluminium - Powder-coated	Double Hung
WD07	S	4560	2600	11.91	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide
WD08	S	4940	2600	12.74	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD09	S	4560	2600	11.91	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
W10	W	1100	2500	2.75	Aluminium - Powder-coated	Double Hung
W11	S	2200	2600	5.72	Aluminium - Powder-coated	Double Hung
W12	N	1200	600	0.72	Aluminium - Powder-coated	Louvre/Louvre - Opaque
W13	N	1800	600	1.08	Aluminium - Powder-coated	Slide
W14	N	1800	600	1.08	Aluminium - Powder-coated	Slide
W15	N	1800	2200	3.96	Aluminium - Powder-coated	Fixed
W16	E	1800	2200	3.96	Aluminium - Powder-coated	Fixed
WD17	S	3930	2600	10.22	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD18	S	4400	2600	11.44	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD19	S	3930	2600	10.22	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed

REFER TO Nationwide House Energy Rating Scheme (Nathers) CERTIFICATE
FOR THE SPECIFIC PERFORMANCE VALUES OF EACH WINDOW AND
EACH WALL, FLOOR, CEILING AND ROOF ELEMENTS.