



Design Development

Alterations and Additions / Secondary Dwelling
169 Plateau Road, Bilgola Plateau
Lot 5 DP 38402

Register

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Material Key

Existing Structure		Demolition	
Proposed Structure		Boundary	
Metal		Timber	
Masonry		Glass	
Concrete/Plasterboard		Stone / Tile	

Notes

General

This drawings is not to be used for construction unless it is issued for construction, so marked in the amendment column and approved by the architect.

Refer to plans and elevations for positioning and dimensions for all doors and windows. All door and window measurements given as wall opening sizes. All figured dimensions take precedence. Large scale details take precedence over general and smaller scale drawings. Do not scale drawings.

All set outs and dimensions shall be verified on site by the builder prior to commencement of construction and/or fabrication. Builder to co-ordinate all services and components prior to commencement of site work or off-site fabrication and installation.

The builder shall protect all areas new and existing including all materials, finishes and equipment from damage and water. They are required to protect public and adjacent work areas. Damage to new and existing materials, finishes, equipment and structures shall be repaired or replaced to the satisfaction of the owner at the expense of the builder.

This drawing must be read in conjunction with all other drawings for this project, including but not limited to, all consultant documentation and construction notes. Penetrations through existing structural concrete slabs to be reviewed and approved by structural engineer prior to work being carried out.

It is the builder's responsibility to ensure that stairs, balustrades, waterproofing and other building elements comply with the current Australian Standards and Building Code of Australia (BCA).

The builder shall request all inspections required by local governmental agencies and coordinate their work as such.

By submitting a quotation or tender based on this documentation the contractor agrees to complete works described in all drawings, specifications, annexures, or other contract documents, including all work described. Where there is a discrepancy in the documentation the contractor is to both notify the client of the discrepancy in order to seek clarification, and also provide costing to complete all works described in any of the documents. Reference should be given to all consultant, information, or design documents to ensure all work described in any of these (and not necessarily consistently in all) has been allowed for in any submitted quotation or tender.

Engineering

Baikie Corr takes no responsibility of structural capacity of works carried out on site, either new or existing. Refer to structural engineer's documentation for all structural and excavation works.

All excavation, demolition and new structural work to structural engineer's detail and specification. Refer to structural engineer's drawings for all floor, wall, roof and critical junction construction details and member sizes.

All stormwater, sewer and associated work to civil engineer's detail and specification. Location of rainwater and on-site detention tanks shown on plans are indicative only, final location and positioning to be confirmed with civil engineer.

All new hydraulic works installed in place of existing services to be equal to, or exceed, cross sectional area and falls of existing services, or to be completed in accordance with hydraulic engineer's details and specifications. Contractor to test and confirm adequate performance of existing services prior to connecting new services into existing.

Dial Before You Dig

Nominated builder to contact dial before you dig to confirm existing infrastructure before commencing work on site. www.1100.com.au

Notes

Pool Safety

All new and/or altered pool safety barriers and gate systems to be designed, located, installed and maintained in accordance with AS 1926.1, AS 1926.2, BCA and all other relevant codes. Existing pool safety barriers and gates to be inspected by the builder and repaired or replaced to ensure pool enclosure is safe and compliant.

Tree Protection

Tree protection measures to be installed and maintained for the duration of the project in accordance with the details and specifications provided by the project arborist.

Waste

Location for waste & recycling bins shown on the accompany plans. Existing location for collection point to be maintained.

Demolition material may contain asbestos. Safe removal practices to be carried out by suitably qualified person under Safe Work NSW and Safe Work Australia Codes.

Bushfire

All subfloor structures, floors, external walls, external windows and doors systems, roofs, verandahs and all associated materials to meet the construction requirements of the specified Bushfire Attack Level (BAL) in the accompanying Bushfire Assessment Report.

Fire Safety

Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.

Basix

All fixtures and systems in accordance with the specifications listed in the accompanying basix certificate.

All new and altered construction materials in accordance with the specifications listed in the accompanying basix certificate.

Installation of windows, glazed doors, skylights and shading devices in accordance with the specifications listed in the accompanying basix certificate.

DA ONLY
NOT FOR CONSTRUCTION

BAIKIE
CORR

Studio
Baikie Corr Pty Ltd
ABN 59 620 201 112
164 Headland Road
North Curl Curl 2099

Nominated Architect
Liam Corr NSW APB 10811
liam@baikiecorr.com
0433 725 299

Project Contact
Jeffrey Baikie
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Legend
AFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Skylight
VOS Verify on site
WG Window ground level

Notes
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings. Dimensions govern. The contractor shall verify all dimensions and levels on site before construction. It is the builders responsibility to ensure that all building elements comply with the current australian standards and the building code of australia (nco). This drawing is subject to copyright and is not to be used or reproduced without the consent of Baikie Corr.

Revision	Date	Description
A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
C	10.07.22	Preliminary Client Review
D	25.07.22	Driveway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Cover Page and Basix Commitments

Sheet Number
A000

North



Drawn
JB

Checked
LC

Sheet Size
A2

Sheet Scale
NTS

Stage
Design
Development

Issue
E

BASIXCertificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A463787

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 02 August 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	169 Plateau Road - Primary Dwelling
Street address	169 Plateau Road Bilgola Plateau 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 38402
Lot number	5
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: BAIKIE CORR PTY LTD	
ABN (if applicable): 59620201112	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Hot water						
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓			
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓			
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓				
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Insulation requirements						
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓			
Construction	Additional insulation required (R-value)	Other specifications				
external wall: brick veneer	R1.16 (or R1.70 including construction)					
external wall: cavity brick	nil					
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)				
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window no.	Door Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
WL05	SE	2.7	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WL06	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DL03	SE	7.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DL04	SE	4.5	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DL05	SE	2	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG01	SE	4.4	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG02	NE	2	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG03	SE	5.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG04	NW	1	10	9	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG05	NW	2.9	15	7	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG01	SE	12.4	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG02	NW	1	8	8	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG03	NW	4.6	6	7	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.		✓	✓	✓		
The following requirements must also be satisfied in relation to each skylight:			✓	✓		
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			✓	✓		
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
SK01	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK02	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK03	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK04	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK05	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
Legend						
In these commitments, "applicant" means the person carrying out the development.						
Commitments identified with a "✓" in the "Show on DA Plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).						
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.						
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.						

BASIXCertificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1316146S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 02 August 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	169 Plateau Road - Secondary Dwelling
Street address	169 Plateau Road Bilgola Plateau 2107
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 38402
Lot no.	5
Section no.	-
Project type	
Project type	separate dwelling house - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m²)	598
Roof area (m²)	102
Conditioned floor area (m2)	60.0
Unconditioned floor area (m2)	0.0
Total area of garden and lawn (m2)	120
Roof area (m2) of the existing dwelling	169
No. of bedrooms in the existing dwelling	4

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2600 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 102 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 star	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 2 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fired flued heater: Energy rating: 2 star		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof: Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof: Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to facade or roof: Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 2 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 6.6 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
Legend			
In these commitments, "applicant" means the person carrying out the development.			
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.			
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.			

Project summary		
Project name	169 Plateau Road - Secondary Dwelling	
Street address	169 Plateau Road Bilgola Plateau 2107	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 38402	
Lot no.	5	
Section no.	-	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 89	Target 50

Certificate Prepared by	
Name / Company Name: BAIKIE CORR PTY LTD	
ABN (if applicable): 59620201112	

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m²/year)	n/a	
Area adjusted heating load (MJ/m²/year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 89	Target 50

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 34 square metres	nil	
floor - suspended floor above open subfloor, 26 square metres, framed	0.8 (or 1.5 including construction) (down)	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
ceiling and roof - raked ceiling / pitched or skillion roof, ceiling: 4 (up), roof: foil backed blanket (55 mm) framed		framed; medium (solar absorptance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
• For the following glass and frame types, the certifier check can be performed by visual inspection.		✓	✓
- Aluminium single clear		✓	✓
- Aluminium double (air) clear		✓	✓
- Timber/PVC/fibre/glass single clear		✓	✓
- Timber/PVC/fibre/glass double (air) clear		✓	✓
• Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	0.60	timber, low-E/double/argon fill	no shading
S02	0.60	timber, low-E/double/argon fill	no shading

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
WL01	1370	2170	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
WL02	1370	1450	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
DL01	2400	3250	aluminium, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
South-East facing					
DL02	2400	3250	aluminium, single, clear	verandah 2700 mm, 2700 mm above base of window or glazed door	not overshadowed
North-West facing					
WL03	600	1290	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	>4 m high, 5-8 m away
WL04	600	1900	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	>4 m high, 2-5 m away

BAIKIE
CORR

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North Curl Curl 2099

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Legend
AFFL Above finished floor level
SK Skyight
VOS Verify on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Notes
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Revision Date Description
A 26.02.22 Revised Concept B Issue
B 14.06.22 Issue For Stormwater Design
C 10.07.22 Preliminary Client Review
D 25.07.22 Driveway reconfigure
E 02.08.22 DA Issue

Revision Date Description

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Basix Commitments

Sheet Number
A001

North

Drawn
JB

Checked
LC

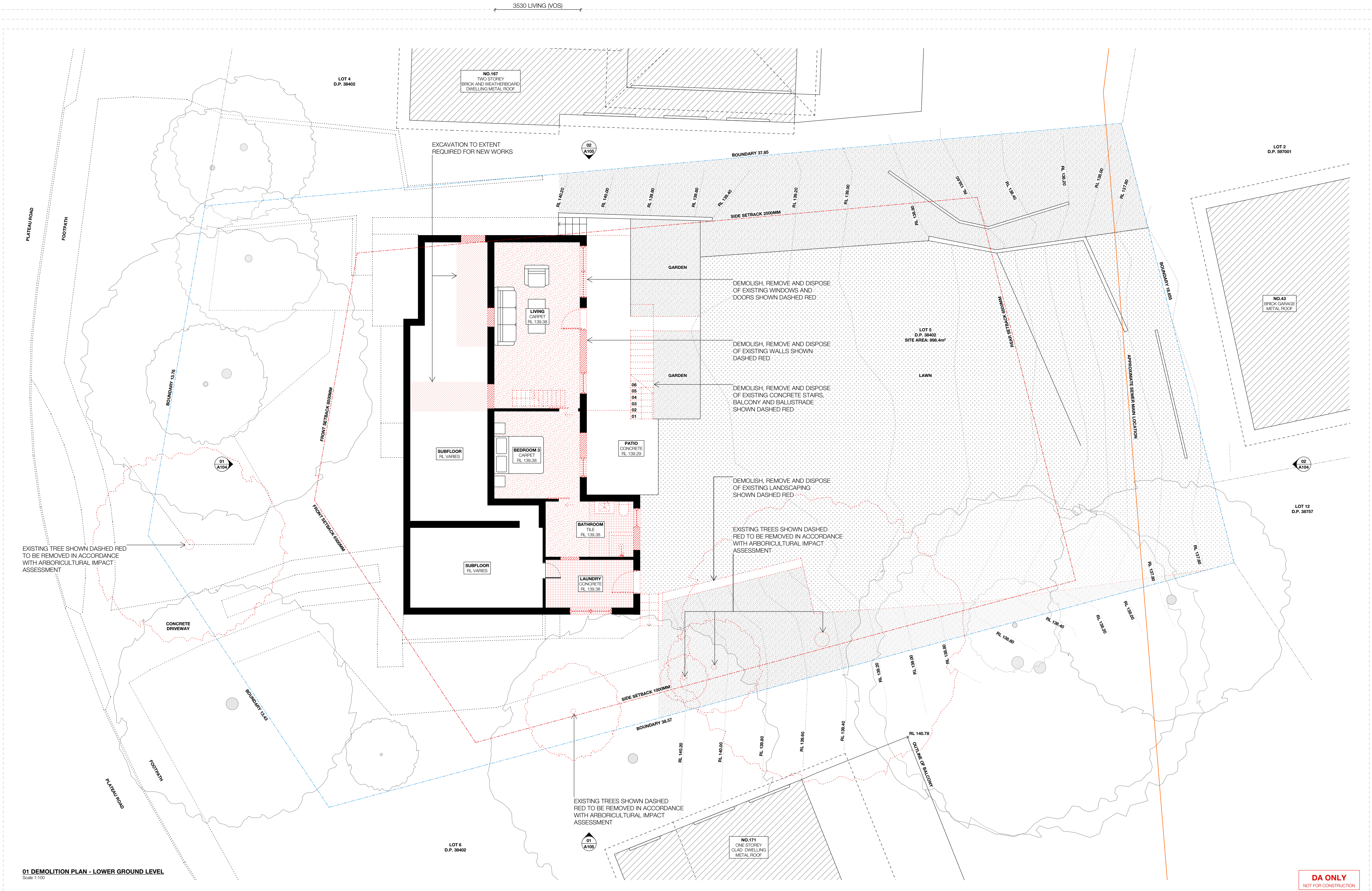
Sheet Size
A2

Sheet Scale
NTS

Stage
Design
Development

Issue
E

DA ONLY
NOT FOR CONSTRUCTION



BAIKIE
CORR

Studio
Baikie Corr Pty Ltd
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164 Headland Road
North Curl Curl 2099

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Project Contact
Jeffrey Baikie
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0466 716 897

Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Skyflight
VOS Verify on site
WG Window ground level

Notes
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Revision	Date	Description
A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
C	10.07.22	Preliminary Client Review
D	25.07.22	Driveway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ilan and Bosilka May

Sheet Title
Demolition Plan - Lower Ground Level

Sheet Number
A100

North

Drawn

JB

Checked

LC

Sheet Size
A2

Sheet Scale
1:100

Stage
Design

Development

Issue

E

DA ONLY
NOT FOR CONSTRUCTION

EXISTING TREE SHOWN DASHED RED TO BE REMOVED IN ACCORDANCE WITH ARBORICULTURAL IMPACT ASSESSMENT

DEMOLISH, REMOVE AND DISPOSE OF EXISTING CONCRETE STRIP DRIVEWAY SHOWN DASHED RED

DEMOLISH, REMOVE AND DISPOSE OF EXISTING WINDOWS AND DOORS SHOWN DASHED RED

DEMOLISH, REMOVE AND DISPOSE OF EXISTING CONCRETE STAIRS, BALCONY AND BALUSTRADE SHOWN DASHED RED

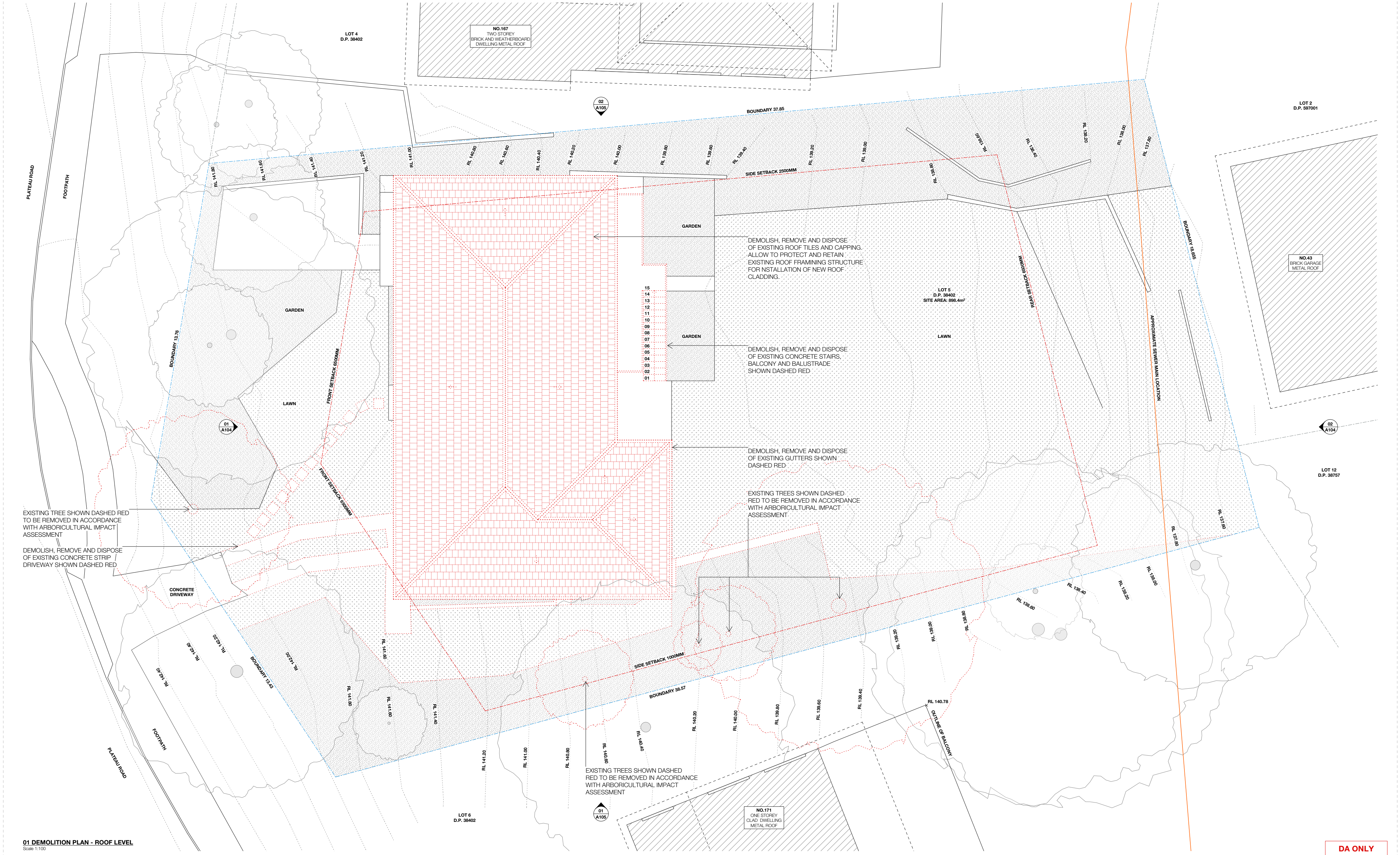
DEMOLISH, REMOVE AND DISPOSE OF EXISTING LANDSCAPING SHOWN DASHED RED

EXISTING TREES SHOWN DASHED RED TO BE REMOVED IN ACCORDANCE WITH ARBORICULTURAL IMPACT ASSESSMENT

EXISTING TREES SHOWN DASHED RED TO BE REMOVED IN ACCORDANCE WITH ARBORICULTURAL IMPACT ASSESSMENT

01 DEMOLITION PLAN - GROUND LEVEL
Scale 1:100

DA ONLY
NOT FOR CONSTRUCTION



01 DEMOLITION PLAN - ROOF LEVEL
Scale 1:100

DA ONLY
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Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Skyflight
VOS Verify on site
WG Window ground level

Notes
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E	02.08.22	DA Issue

Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ilan and Bosilka May

Sheet Title
Demolition Plan - Roof Level

Sheet Number
A103

North

Drawn

JB

Checked

LC

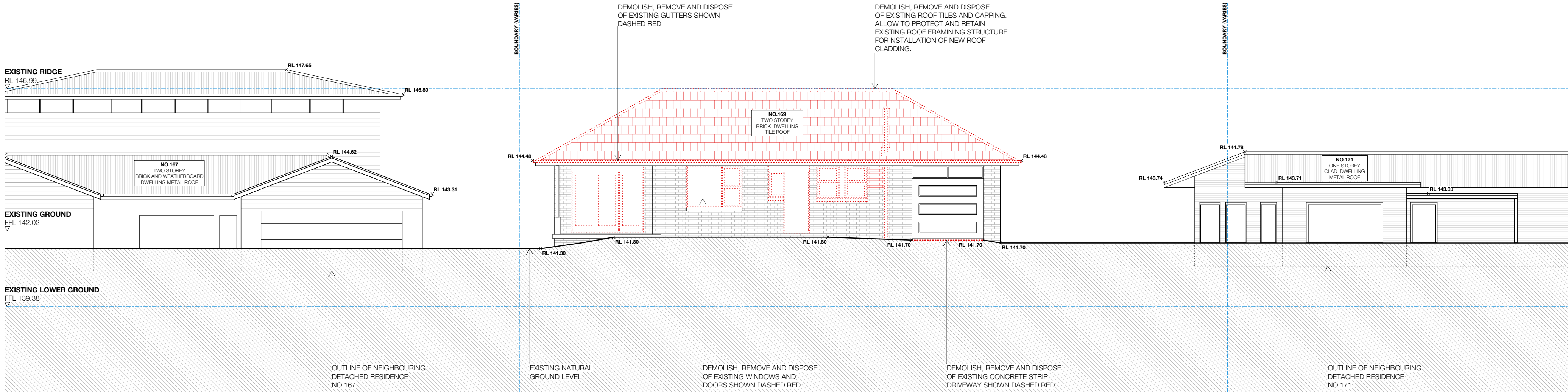
Sheet Size
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Sheet Scale
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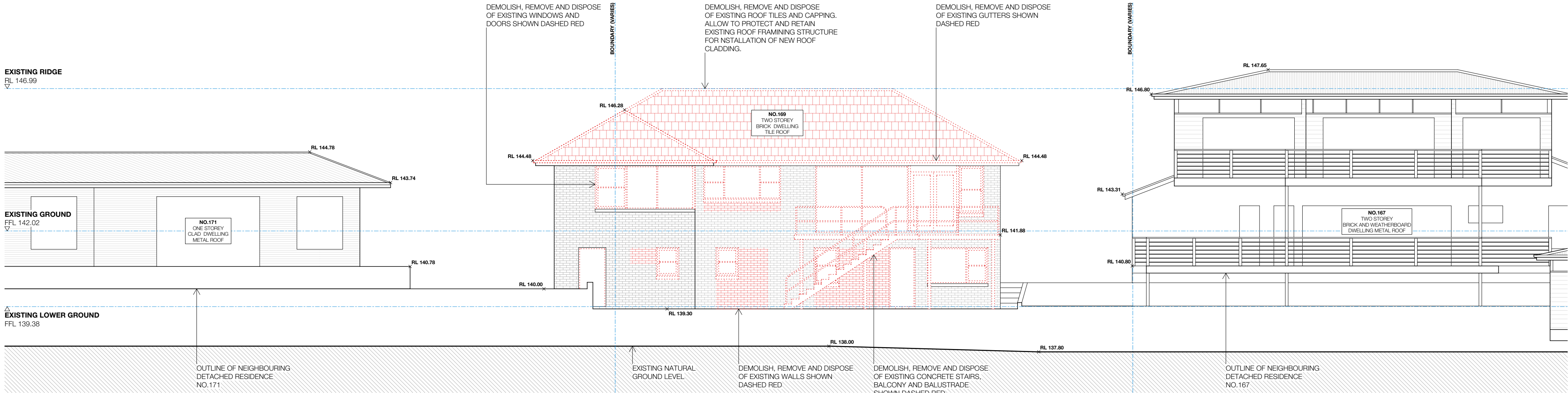
Stage
Design
Development

Issue

E



01 DEMOLITION ELEVATION - WEST
Scale 1:100



02 DEMOLITION ELEVATION - EAST
Scale 1:100

DA ONLY
NOT FOR CONSTRUCTION

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Project Contact
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Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
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WG Window ground level

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A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
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E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Demolition Elevations - East and West

Sheet Number
A104

North

Drawn
JB

Checked
LC

Sheet Size
A2

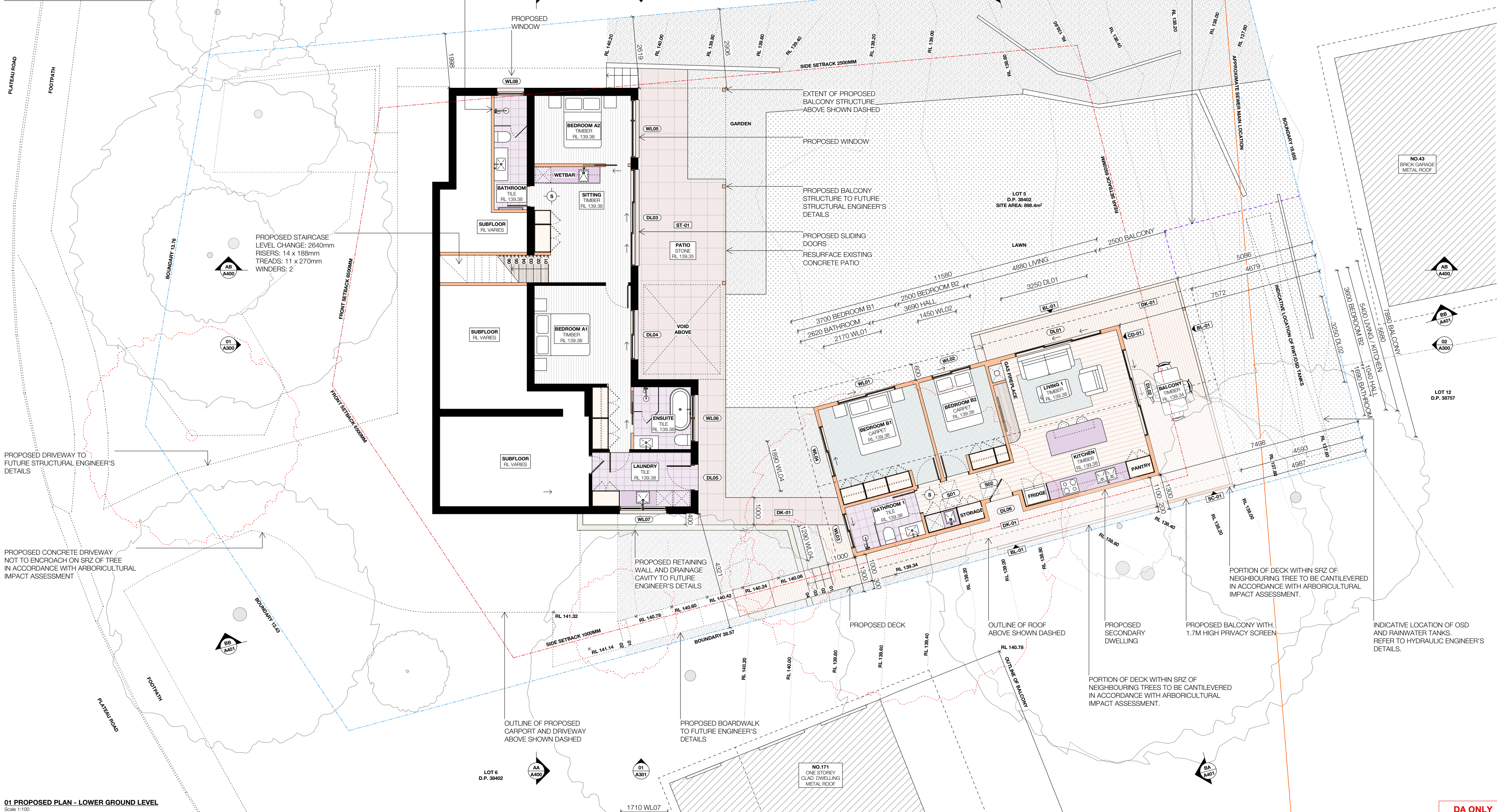
Sheet Scale
1:100

Stage
Design
Development

Issue
E

OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



01 PROPOSED PLAN - GROUND LEVEL
Scale 1:100

DA ONLY
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Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
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FFL Finished floor level

Legend
RL Relative level
SK Skyflight
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Revision	Date	Description
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E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ilan and Bosilka May

Sheet Title
Proposed Plan - Ground Level

Sheet Number
A201

North

Drawn
JB

Checked
LC

Sheet Size
A2

Sheet Scale
1:100

Stage
Design
Development

Issue
E

OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



01 PROPOSED PLAN - ROOF LEVEL
Scale 1:100

DA ONLY
NOT FOR CONSTRUCTION

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Project Contact
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jeffrey@baikiecorr.com
0468 716 897

Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Skylight
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WG Window ground level

Notes
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Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Plan - Roof Level

Sheet Number
A202

North

Drawn
JB

Checked
LC

Sheet Size
A2

Sheet Scale
1:100

Stage
Design
Development

Issue
E



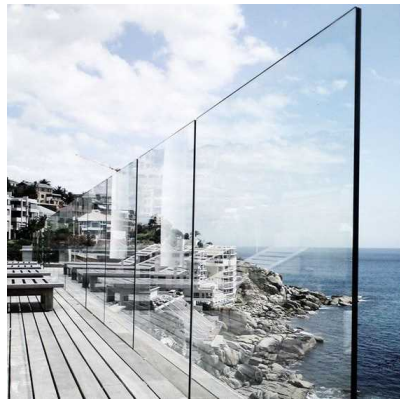
DK-01
Timber Deck
Photo: CM Studio - Woorak House



BK-01
Mid-Grey Painted Brick
Photo: Whiting Architect - O'Grady Project



BL-01
Light Timber Balustrade



BL-02
Glass Balustrade



CD-01
Mid-Grey Weatherboard Cladding



CN-01
Pain Concrete



RF-01
Mid-Grey Roofing



SC-01
Light Privacy Screen



ST-01
Stone paving



OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

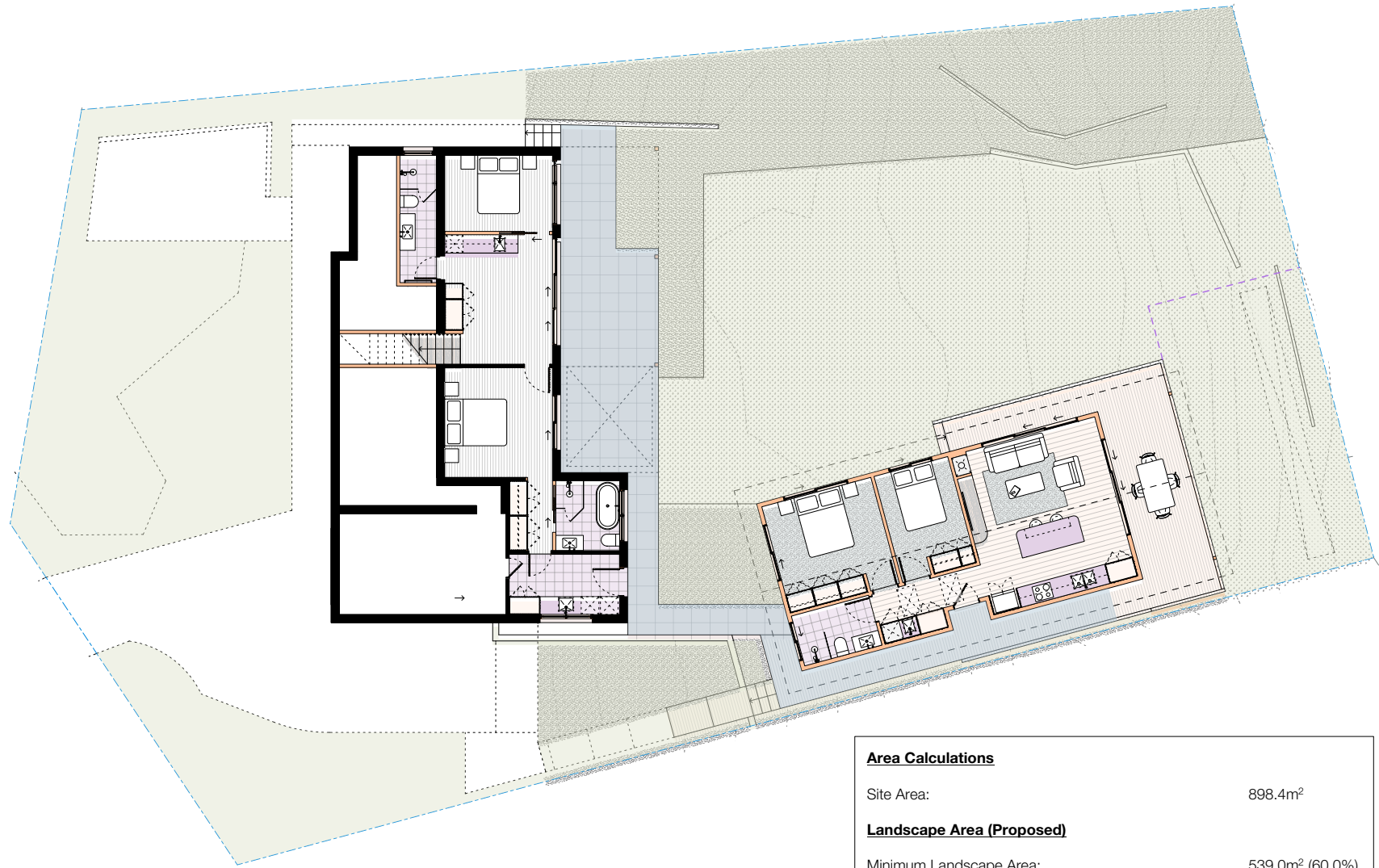
FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.

01 SCHEDULE - MATERIALS AND FINISHES
Scale NTS

02 PROPOSED PLAN - SITE ANALYSIS
Scale 1:200

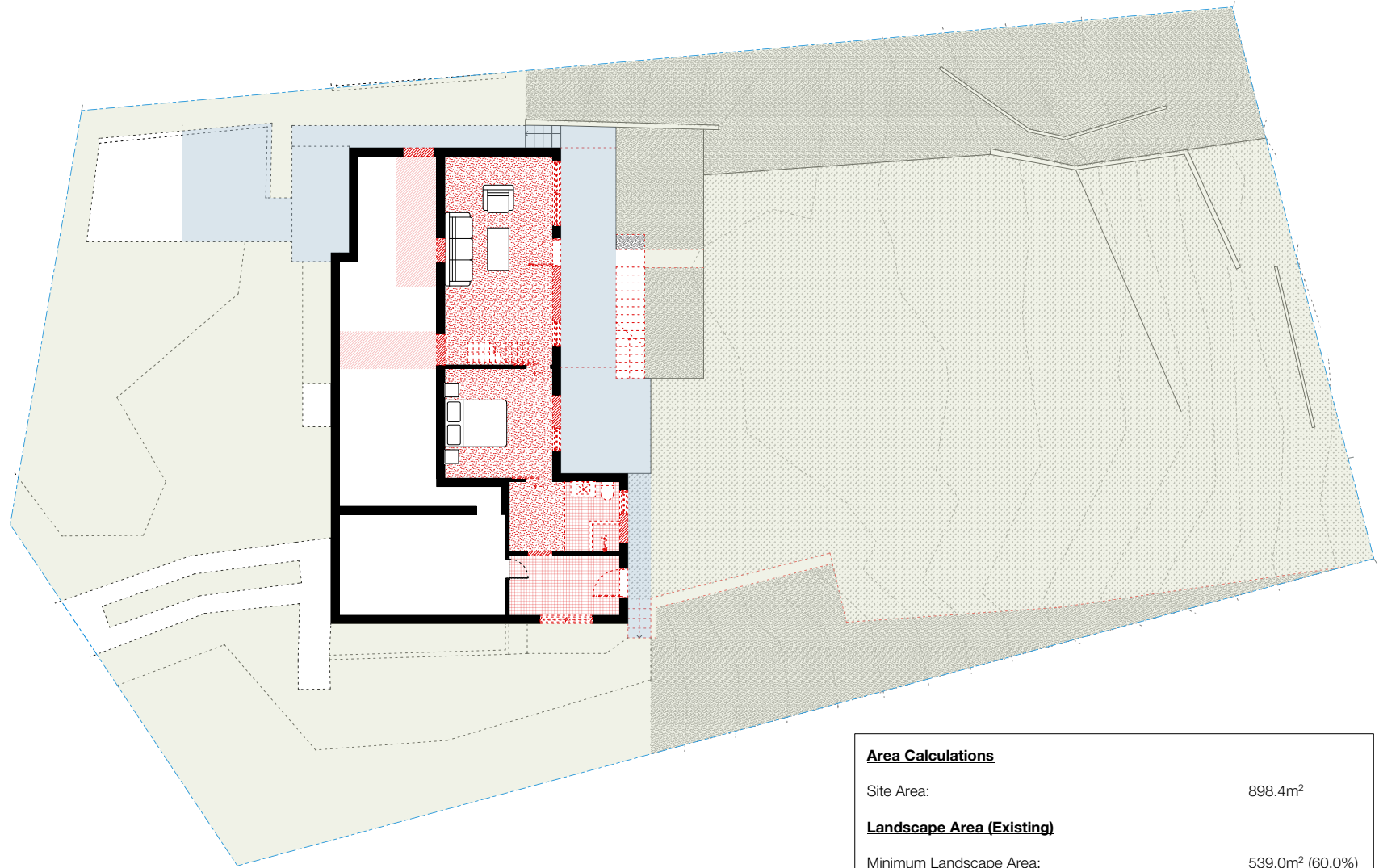
DA ONLY
NOT FOR CONSTRUCTION





01 CALCULATION - PROPOSED LANDSCAPE AREA
Scale 1:200

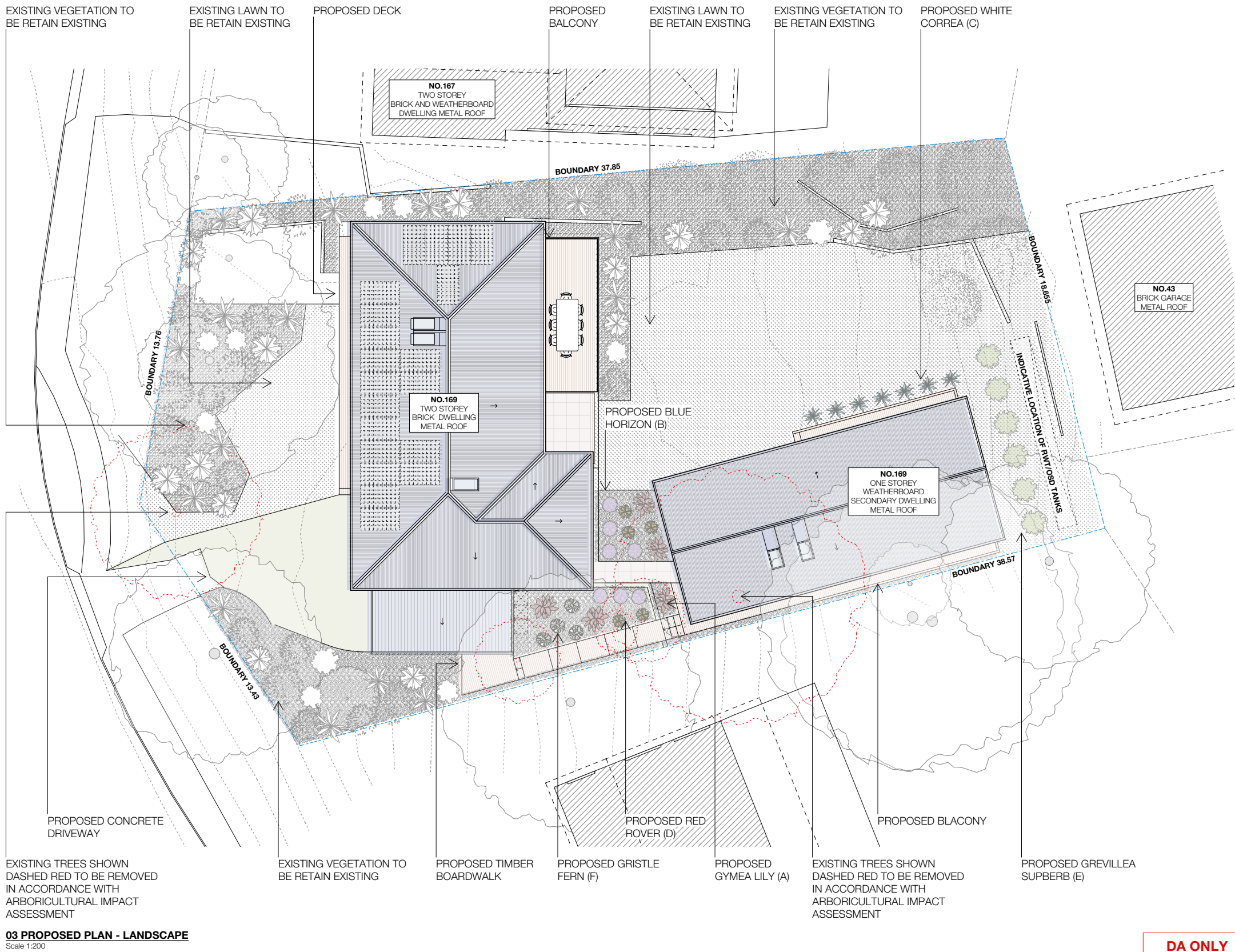
Area Calculations	
Site Area:	898.4m ²
Landscape Area (Proposed)	
Minimum Landscape Area:	539.0m ² (60.0%)
Proposed Landscape Area (Green):	504.8m ² (56.1%)
Proposed 6.0% Variation (Blue):	53.9m ² (6.0%)
Total Proposed Landscape Area (Green + Blue):	558.7m ² (62.1%)



02 CALCULATION - EXISTING LANDSCAPE AREA
Scale 1:200

Area Calculations	
Site Area:	898.4m ²
Landscape Area (Existing)	
Minimum Landscape Area:	539.0m ² (60.0%)
Existing Landscape Area (Green):	687.7m ² (62.7%)
Existing 6.0% Variation (Blue):	53.9m ² (6.0%)
Total Existing Landscape Area (Green + Blue):	741.6m ² (82.5%)

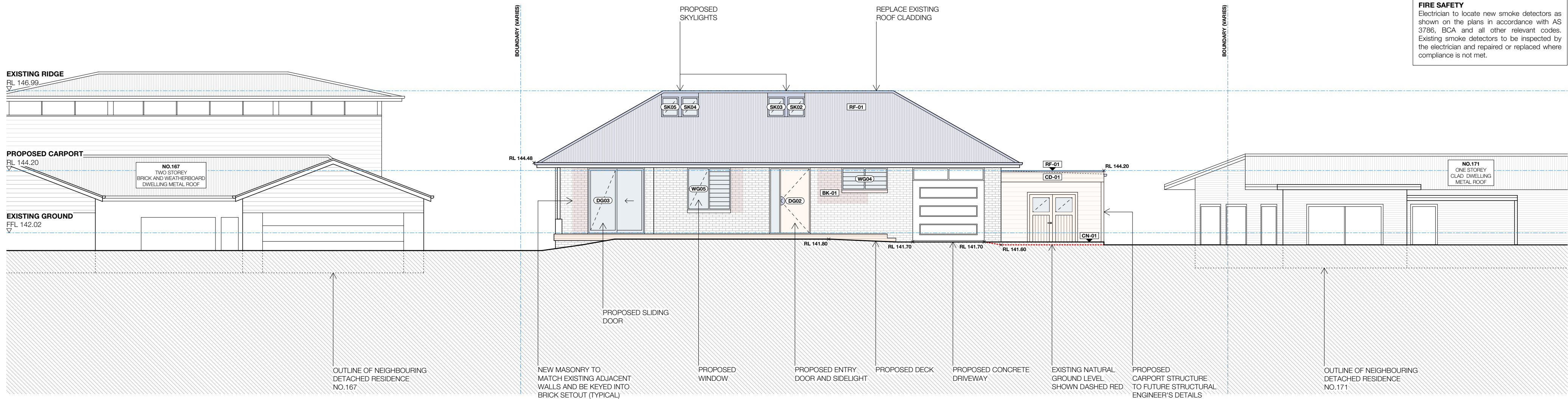
PLANTING SCHEDULE					
SYMBOL	COMMON NAME	SCIENTIFIC NAME	POT SIZE	HEIGHT	QUANTITY
	Gymea Lily (A)	Doryanthes Excelsa	250mm	1.5m	5
	Blue Horizon (B)	Eremophila Glabra Prostrate	200mm	0.5m	7
	White Correa (C)	Correa Alba	200mm	1.5m	7
	Red Rover (D)	Callistemon	200mm	0.5m	5
	Grevillea Superb (E)	Grevillea x Superb	200mm	2.0m	6
	Gristle Fern (F)	Blechnum Cartilagineum	150mm	0.5m	4
	Sir Walter Lawn (G)	Stenotaphrum Secundatum	N/A	N/A	TBC



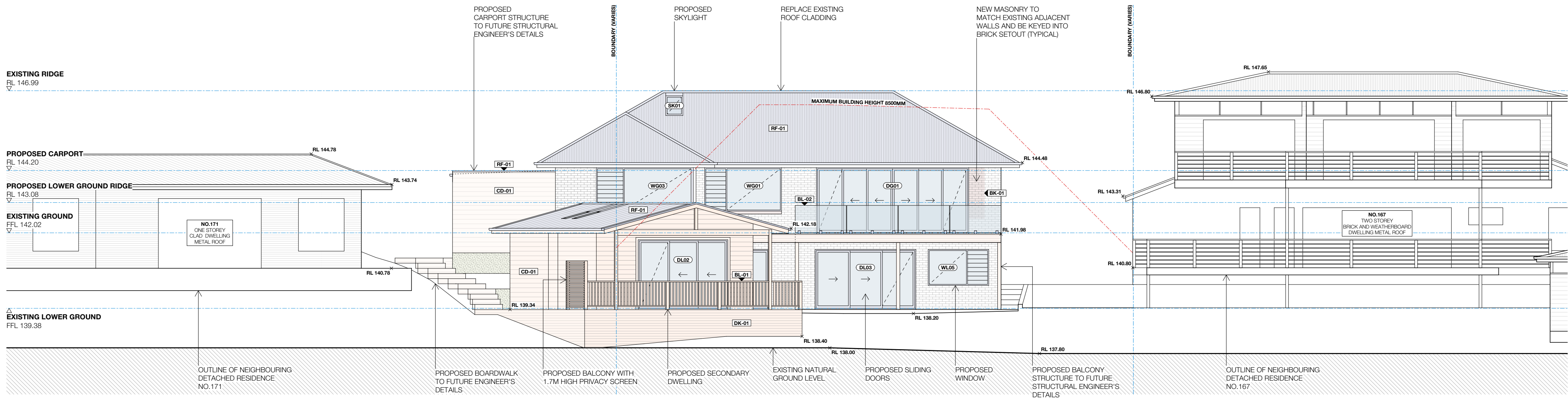
DA ONLY
NOT FOR CONSTRUCTION

OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



01 PROPOSED ELEVATION - WEST
Scale 1:100



02 PROPOSED ELEVATION - EAST
Scale 1:100

DA ONLY
NOT FOR CONSTRUCTION

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Legend
AFFL Above finished floor level
COS Confirm on site
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FFL Finished floor level

Legend
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WG Window ground level

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A	26.02.22	Revised Concept B Issue
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D	25.07.22	Driveway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Elevations - East and West

Sheet Number
A300

North

Drawn

Checked

Sheet Size

Sheet Scale

Stage

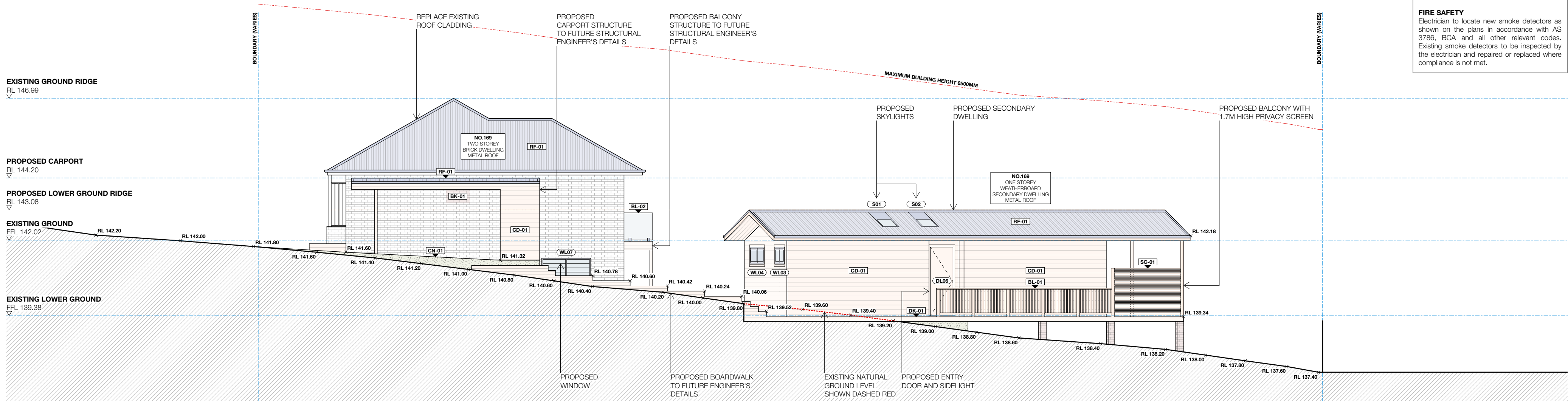
Issue

FIRE SAFETY
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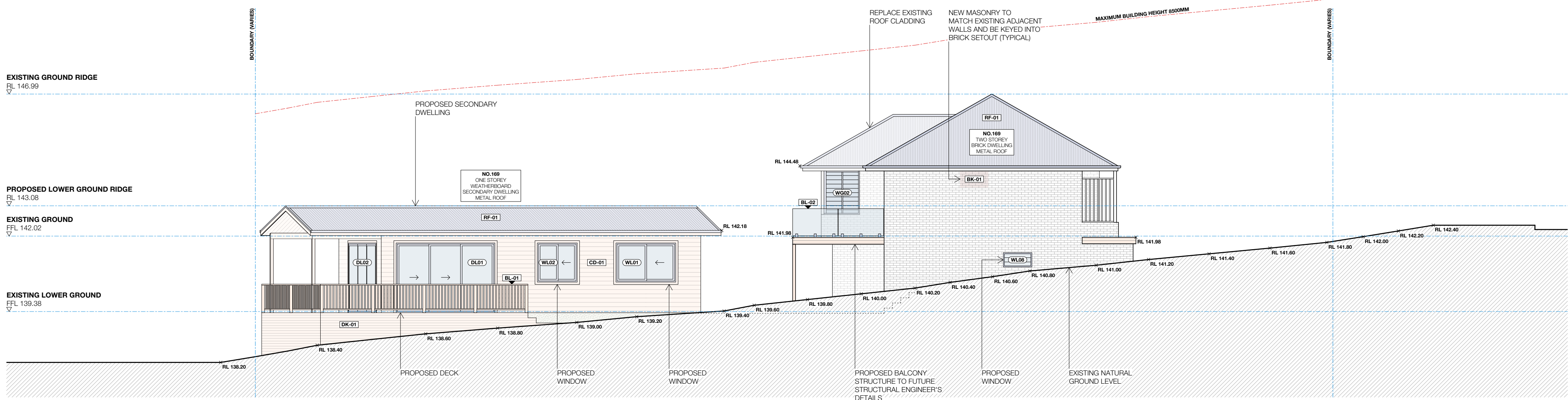


OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
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01 PROPOSED ELEVATION - SOUTH
Scale 1:100



02 PROPOSED ELEVATION - NORTH
Scale 1:100

DA ONLY
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Legend
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Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Elevations - North and South

Sheet Number
A302

North

Drawn

JB

Checked

LC

Sheet Size

A2

Sheet Scale

1:100

Stage

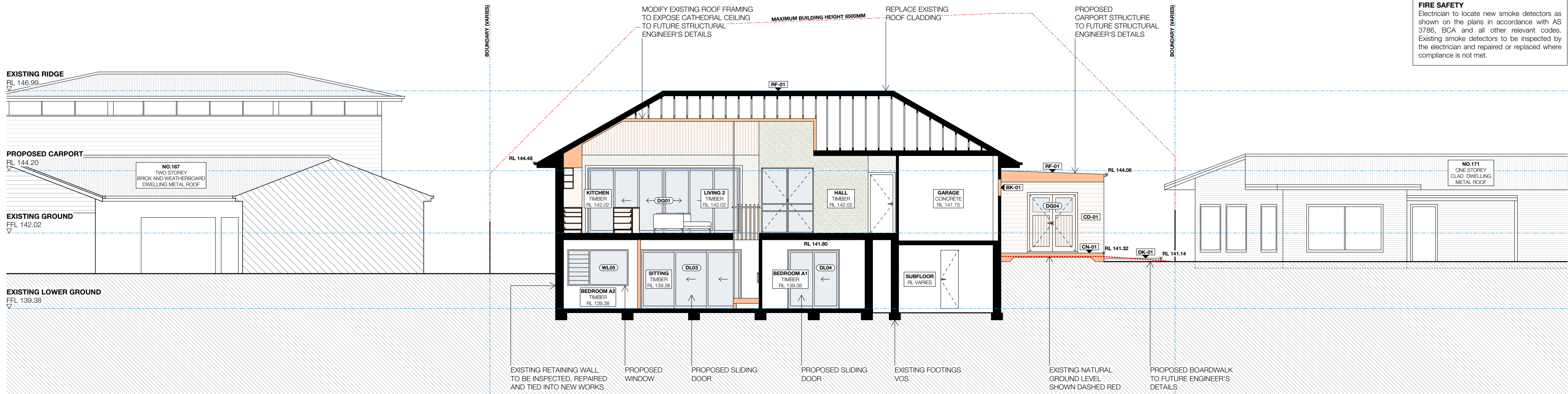
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Issue

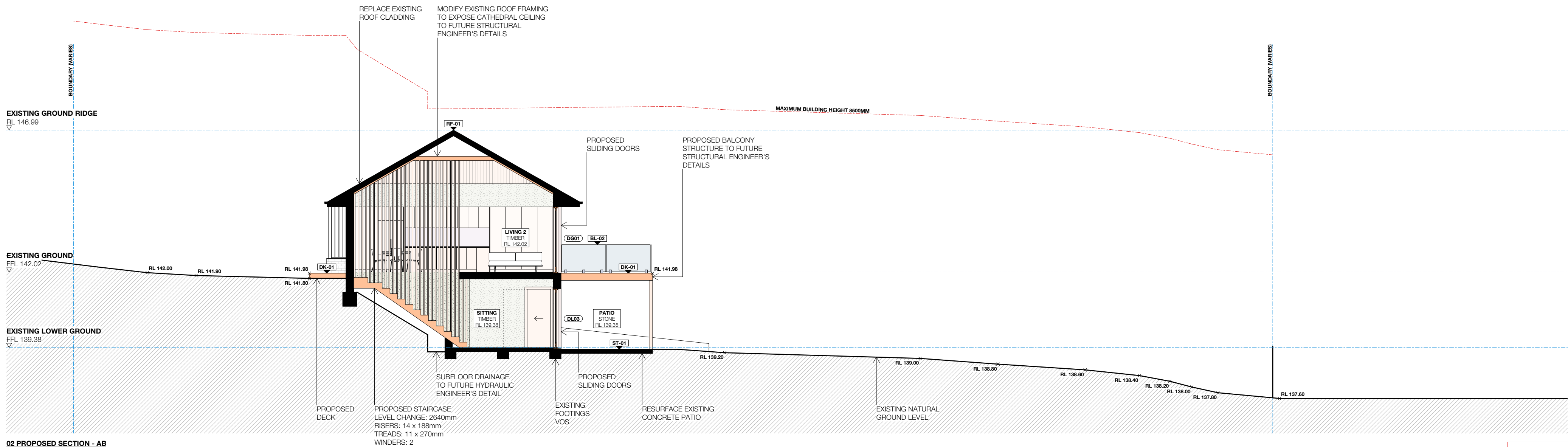
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OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



01 PROPOSED SECTION - AA
Scale 1:100



02 PROPOSED SECTION - AB
Scale 1:100

DA ONLY
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Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
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Legend
RL Relative level
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E	02.08.22	DA Issue

Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Sections - AA and AB

Sheet Number
A400

North

Drawn

JB

Checked

LC

Sheet Size

A2

Sheet Scale

1:100

Stage

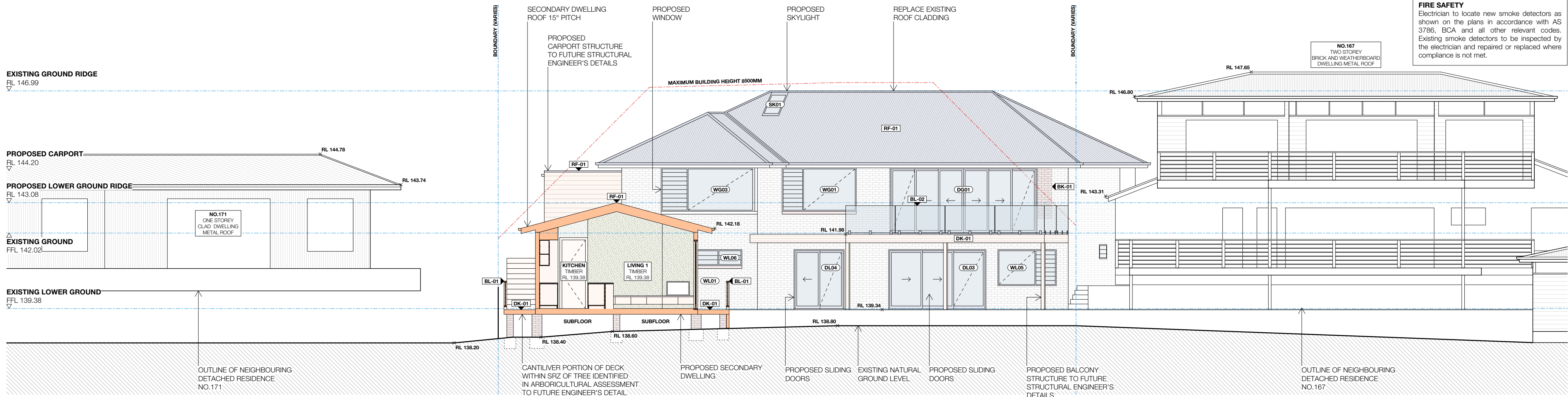
Design

Issue

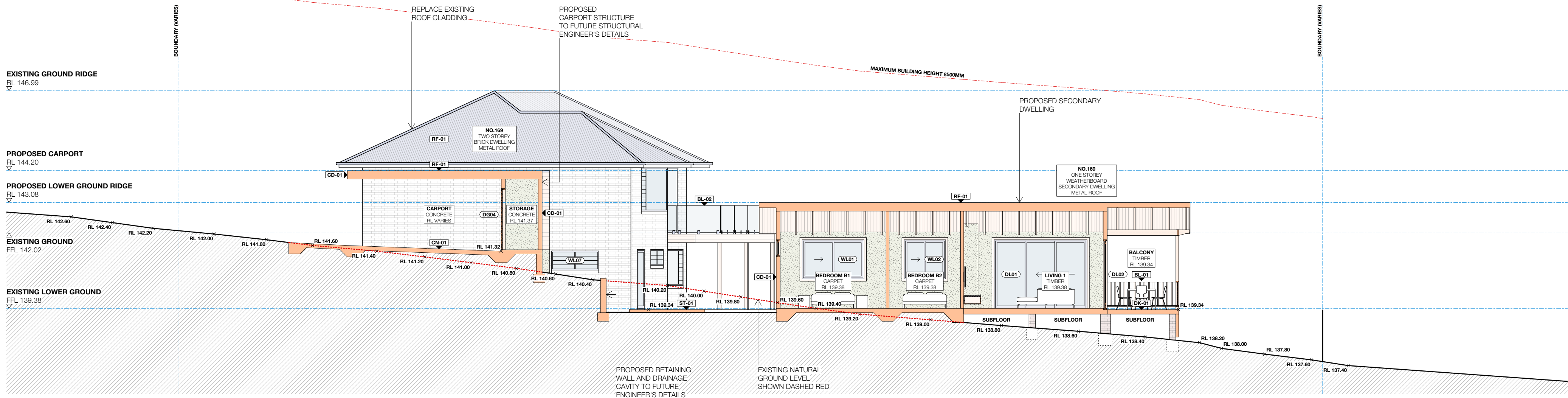
E

OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

FIRE SAFETY
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant codes. Existing smoke detectors to be inspected by the electrician and repaired or replaced where compliance is not met.



01 PROPOSED SECTION - BA
Scale 1:100



02 PROPOSED SECTION - BB
Scale 1:100

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jeffrey@baikiecorr.com
0468 716 897

Legend
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WG Window ground level

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E	02.08.22	DA Issue

Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Sections - BA and BB

Sheet Number
A401

North

Drawn
JB

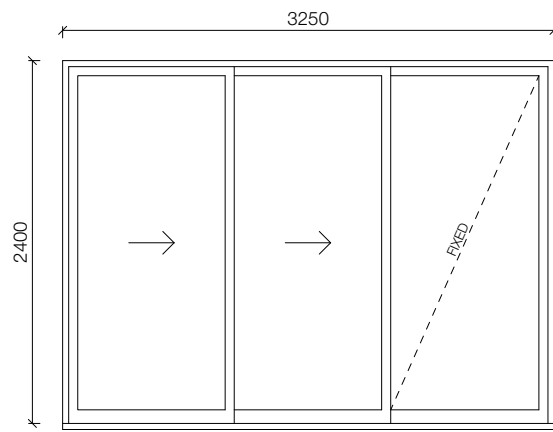
Checked
LC

Sheet Size
A2

Sheet Scale
1:100

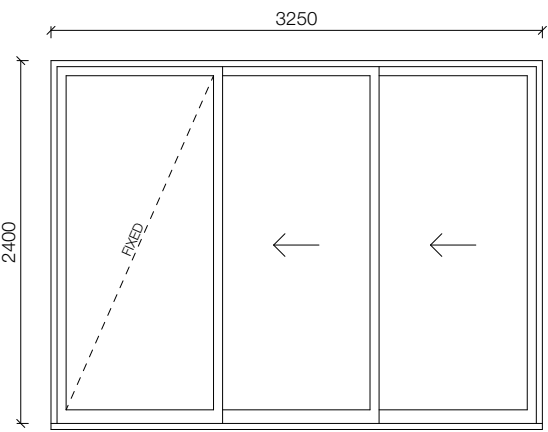
Stage
Design
Development

Issue
E



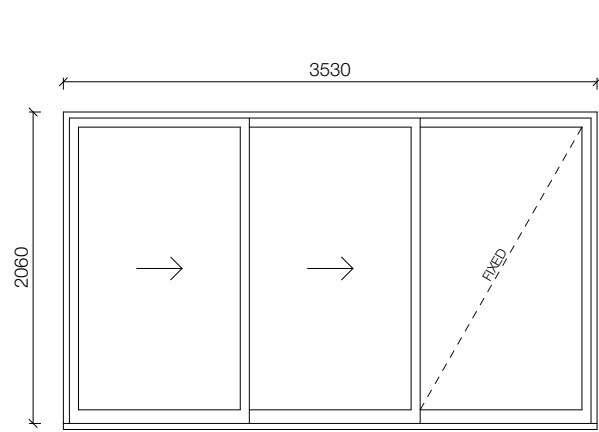
DL01 - Stacking Doors (Living 1)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Sliding insect screens with finish to match frames.



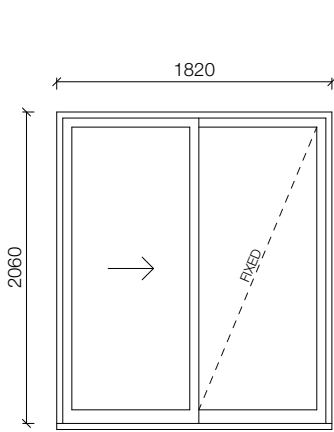
DL02 - Stacking Doors (Living 1)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Sliding insect screens with finish to match frames.



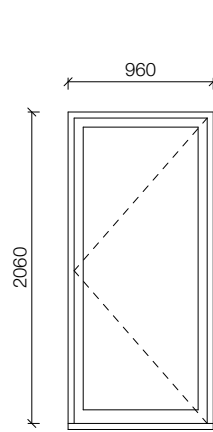
DL03 - Stacking Doors (Sitting Room)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Sliding insect screens with finish to match frames.



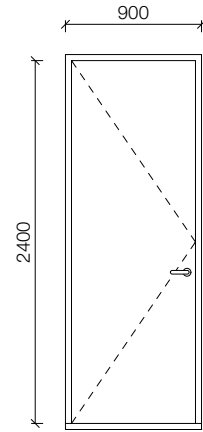
DL04 - Stacking Doors (Bedroom A1)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Sliding insect screens with finish to match frames.



DL05 - Hinged Door (Laundry)

Frame
- AWS vantage designer series 548 hinged doors.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon hinged door lever with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Viridian DecorPattern Satinlite obscured glass.
Screen
- N/A



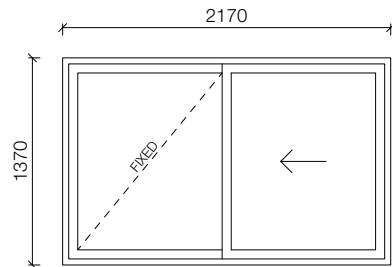
DL06 - Hinged Door (Hall)

Frame
- Western red cedar.
Finish/Colour
- Dulux Aquanamel low sheen. Colour TBC.
Hardware
- TBC
Glazing
- N/A
Screen
- N/A

GLAZING
All new or altered window and door glazing to be designed and installed in accordance with AS 1288, AS 2047, BCA and all other relevant codes.

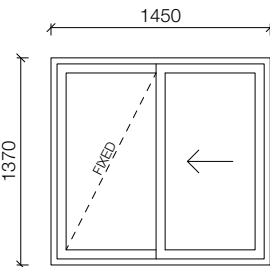
OPENABLE WINDOW PROTECTION
All new or altered openable windows to be designed, constructed, installed and maintained with appropriate window protection system in accordance with the BCA and all other relevant codes.

BASIX COMMITMENTS
Glazing and frames of all new or altered windows, doors and skylights to meet the commitments of the accompanying BASIX certificate.



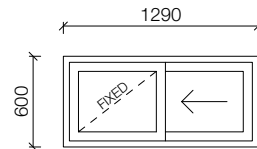
WL01 - Sliding Window (Bedroom B1)

Frame
- AWS vantage designer series 602 sliding window.
Finish/Colour
- Powder coated matt finish frames.
- Colour TBC.
Hardware
- Ando sliding window lock.
Glazing
- Refer to BASIX Certificate.
Screen
- Insect screen.



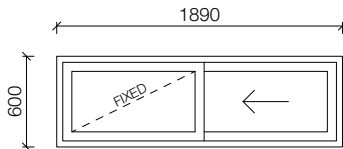
WL02 - Sliding Window (Bedroom B2)

Frame
- AWS vantage designer series 602 sliding window.
Finish/Colour
- Powder coated matt finish frames.
- Colour TBC.
Hardware
- Ando sliding window lock.
Glazing
- Refer to BASIX Certificate.
Screen
- Insect screen.



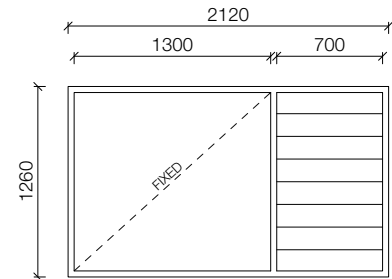
WL03 - Sliding Window (Bathroom 1)

Frame
- AWS vantage designer series 602 sliding window.
Finish/Colour
- Powder coated matt finish frames.
- Colour TBC.
Hardware
- Ando sliding window lock.
Glazing
- Refer to BASIX Certificate.
Screen
- Insect screen.



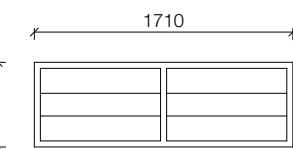
WL04 - Sliding Window (Bedroom B1)

Frame
- AWS vantage designer series 602 sliding window.
Finish/Colour
- Powder coated matt finish frames.
- Colour TBC.
Hardware
- Ando sliding window lock.
Glazing
- Refer to BASIX Certificate.
Screen
- Insect screen.



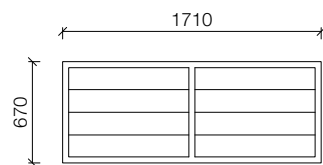
WL05 - Louvre and Fixed Window (Bedroom A2)

Frame
- AWS vantage designer series 525 louvremaster with series 616 fixed window.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



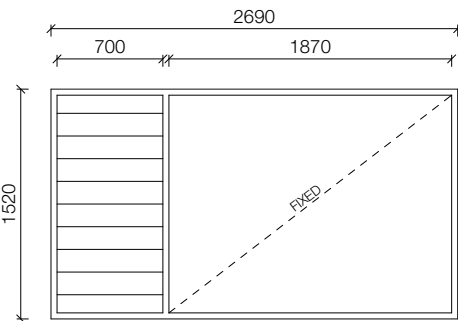
WL06 - Louvre (Ensuite)

Frame
- AWS vantage designer series 525 louvremaster.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
- Viridian DecorPattern Satinlite obscured glass.
Screen
- Insect screen.



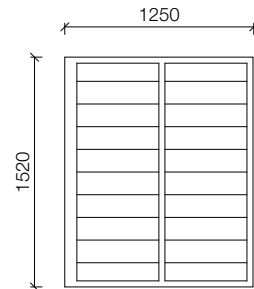
WL07 - Louvre Window (Laundry)

Frame
- AWS vantage designer series 525 louvremaster.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



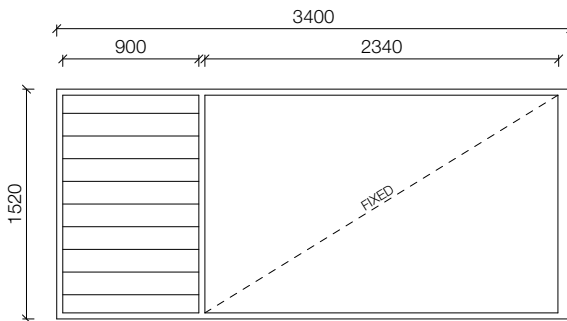
WG01 - Louvre and Fixed Window (Bedroom A3)

Frame
- AWS vantage designer series 525 louvremaster with series 616 fixed window.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



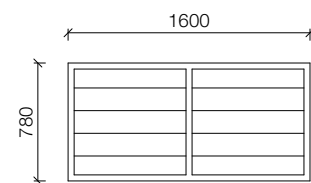
WG02 - Louvre Window (Bedroom A4)

Frame
- AWS vantage designer series 525 louvremaster.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



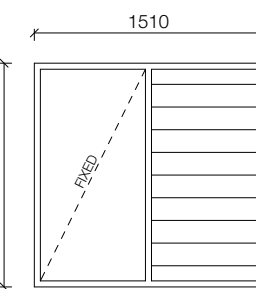
WG03 - Louvre and Fixed Window (Bedroom A4)

Frame
- AWS vantage designer series 525 louvremaster with series 616 fixed window.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



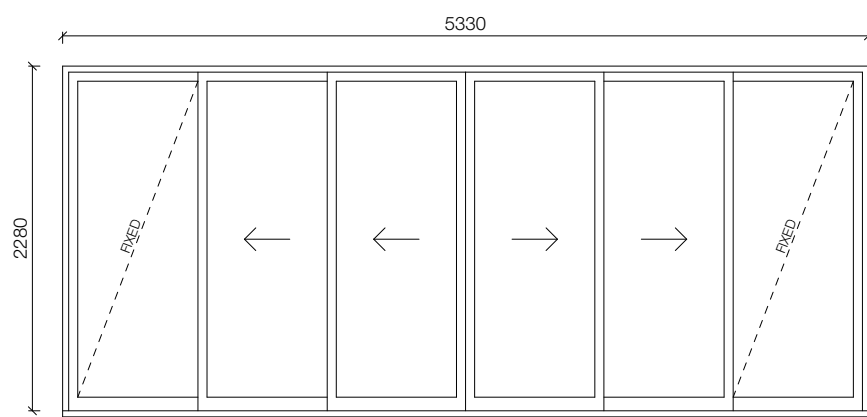
WG04 - Louvre Window (Bathroom)

Frame
- AWS vantage designer series 525 louvremaster.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
- Viridian DecorPattern Satinlite obscured glass.
Screen
- Insect screen.



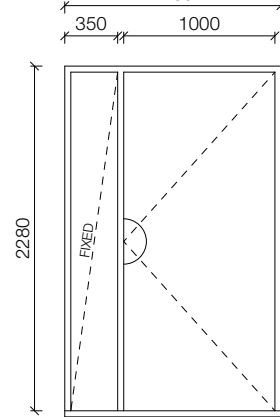
WG05 - Louvre and Fixed Window (Dining)

Frame
- AWS vantage designer series 525 louvremaster with series 616 fixed window.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
- Galleries and clip colour to match frames.
Hardware
- Manual operation with low profile handle.
Glazing
- Refer to BASIX Certificate.
- 152mm glass blades.
Screen
- Insect screen.



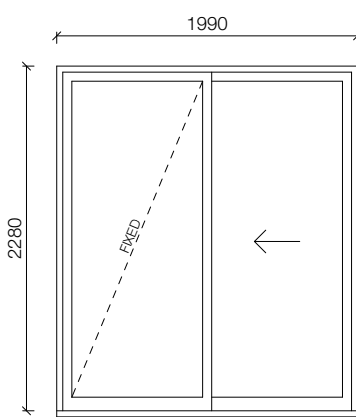
DG01 - Sliding Doors (Living 2 and Kitchen)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Centor architecture S4 double retractable screening system with finish to match frames.



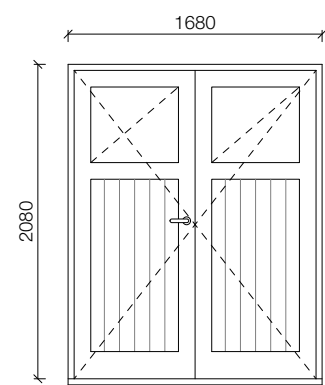
DG02 - Hinged Door + Skylight (Entry)

Frame
- Western red cedar.
Finish/Colour
- Dulux Aquanamel low sheen. Colour TBC.
Hardware
- TBC
Glazing
- Refer to BASIX Certificate
Screen
- N/A



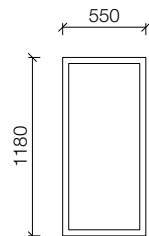
DG03 - Sliding Doors (Kitchen)

Frame
- AWS vantage designer series 618 magnum sliding door system.
Finish/Colour
- Powder coated matt finish frames. Colour TBC.
Hardware
- AWS icon recessed flush pull with mortice lock stainless steel.
Glazing
- Refer to BASIX Certificate.
Screen
- Insect screen with finish to match frames.

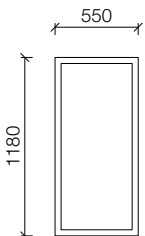


DG04 - French Doors (Carport)

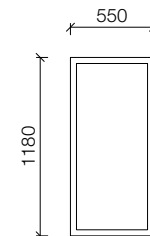
Frame
- Western red cedar.
Finish/Colour
- Dulux Aquanamel low sheen. Colour TBC.
Hardware
- TBC
Glazing
- Viridian VFloat clear glass.
Screen
- N/A



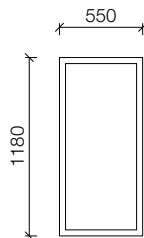
SK01 - Skylight (Hall)
- Velux
- Fixed Skylight



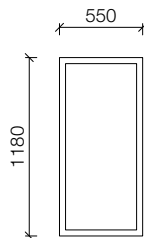
SK02 - Skylight (Entry)
- Velux
- Fixed Skylight



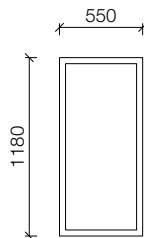
SK03 - Skylight (Entry)
- Velux
- Fixed Skylight



SK04 - Skylight (Dining)
- Velux
- Fixed Skylight



SK05 - Skylight (Dining)
- Velux
- Fixed Skylight



S02 - Skylight (Entry)
- Velux
- Fixed Skylight

DA ONLY
NOT FOR CONSTRUCTION

BAIKIE
CORR

Studio
Baikie Corr Pty Ltd
ABN 59 620 201 112
164 Headland Road
North Curl Curl 2099

Nominated Architect
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Project Contact
Jeffrey Baikie
jeffrey@baikiecorr.com
0466 716 897

Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Sky/light
VOS Verify on site
WG Window ground level

Notes
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings. Dimensions govern. The contractor shall verify all dimensions and levels on site before construction. It is the builders responsibility to ensure that all building elements comply with the current Australian standards and the building code of Australia (NCC). This drawing is subject to copyright and is not to be used or reproduced without the consent of Baikie Corr.

Revision	Date	Description
A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
C	10.07.22	Preliminary Client Review
D	25.07.22	Driveaway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
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Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ilan and Bosilka May

Sheet Title
Proposed Schedule - Windows and Doors

Sheet Number
A500

North

Drawn
JB

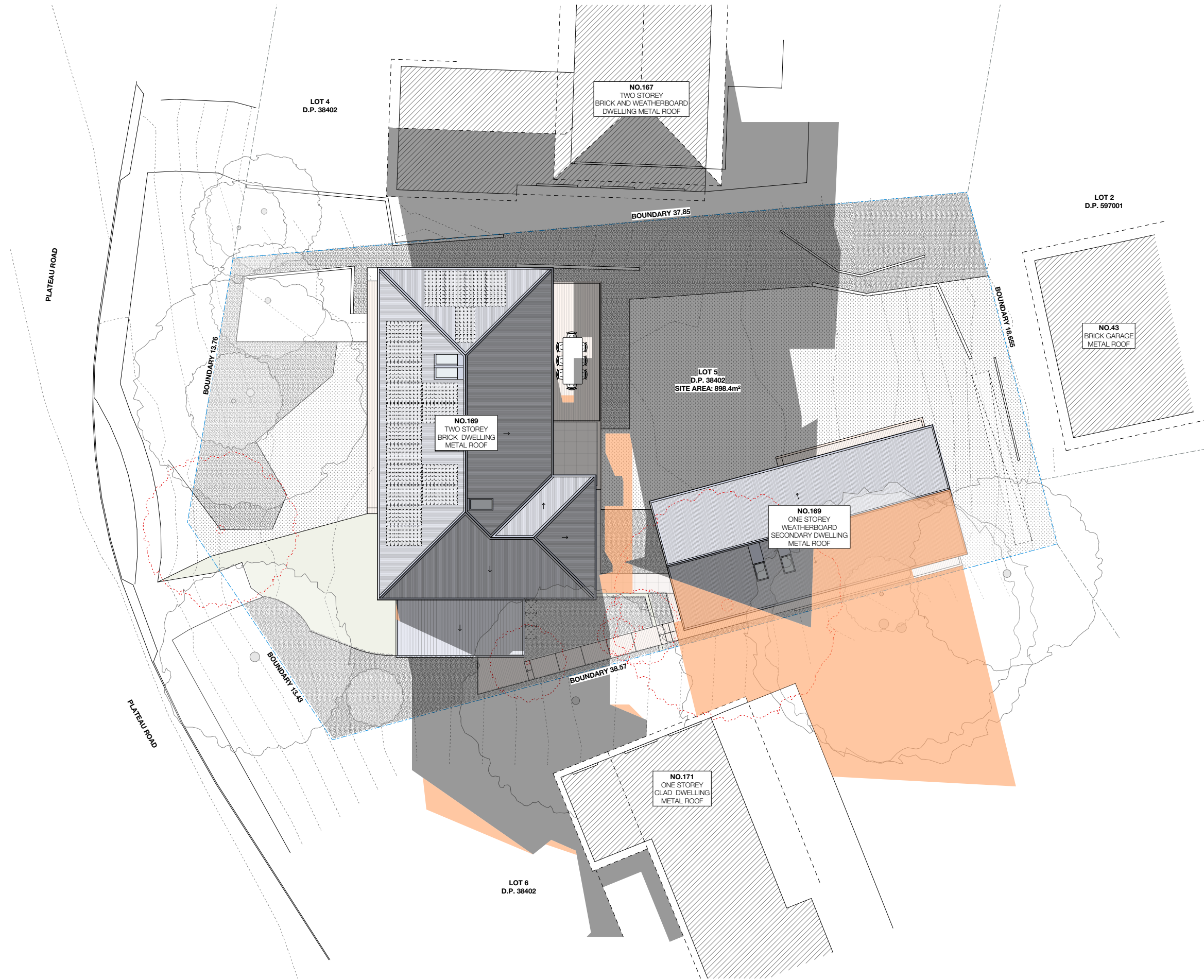
Checked
LC

Sheet Size
A2

Sheet Scale
1:50

Stage
Design
Development

Issue
E



SHADOW KEY	
Shadows from proposed structures	Orange
Shadows from existing structures	Grey

01 PROPOSED SHADOW ANALYSIS - 21st JUNE 9AM
Scale 1:200

DA ONLY
NOT FOR CONSTRUCTION

BAIKIE
CORR

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Project Contact
Jeffrey Baikie
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0468 716 897

Legend	
AFFL	Above finished floor level
COS	Confirm on site
CL	Centreline
DG	Door ground level
EQ	Equal
FCL	Finished ceiling level
FFL	Finished floor level

Legend	
RL	Relative level
SK	Skyflight
VOS	Verify on site
WG	Window ground level

Notes
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Revision	Date	Description
A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
C	10.07.22	Preliminary Client Review
D	25.07.22	Driveway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Plan - Shadow Analysis 21st June 9am

Sheet Number
A600

North



Drawn
JB

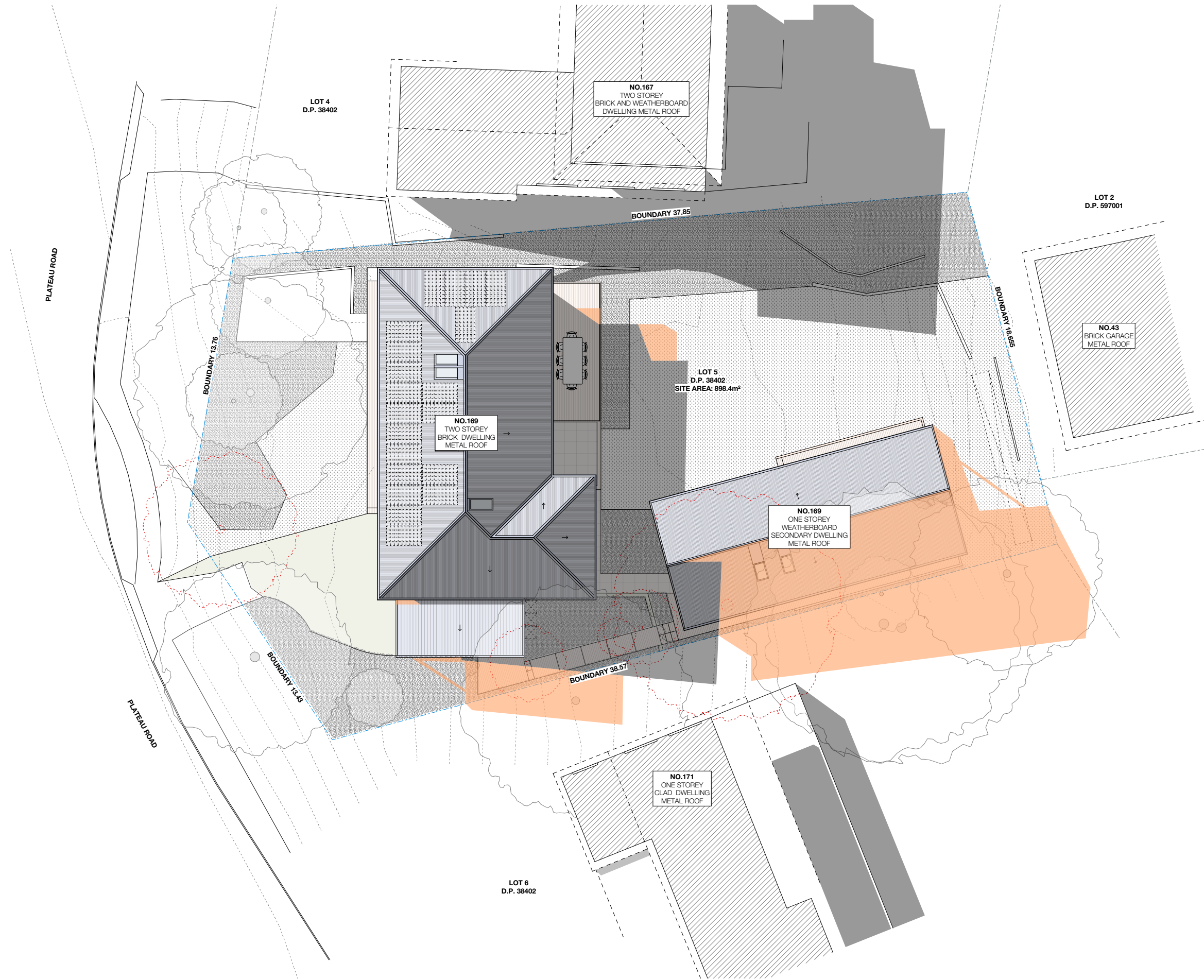
Checked
LC

Sheet Size
A2

Sheet Scale
1:200

Stage
Design

Issue
E



SHADOW KEY

Shadows from proposed structures

Shadows from existing structures

01 PROPOSED SHADOW ANALYSIS - 21st JUNE 12PM
Scale 1:200

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SHADOW KEY

Shadows from proposed structures

Shadows from existing structures

01 PROPOSED SHADOW ANALYSIS - 21st JUNE 3PM
Scale 1:200

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NOT FOR CONSTRUCTION

BAIKIE
CORR

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North Curl Curl 2099

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Project Contact
Jeffrey Baikie
jeffrey@baikiecorr.com
0466 716 897

Legend
AFFL Above finished floor level
COS Confirm on site
CL Centreline
DG Door ground level
EQ Equal
FCL Finished ceiling level
FFL Finished floor level

Legend
RL Relative level
SK Skyflight
VOS Verify on site
WG Window ground level

Notes
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings. Dimensions govern. The contractor shall verify all dimensions and levels on site before construction. It is the builders responsibility to ensure that all building elements comply with the current Australian standards and the building code of Australia (NCC). This drawing is subject to copyright and is not to be used or reproduced without the consent of Baikie Corr.

Revision	Date	Description
A	26.02.22	Revised Concept B Issue
B	14.06.22	Issue For Stormwater Design
C	10.07.22	Preliminary Client Review
D	25.07.22	Driveway reconfigure
E	02.08.22	DA Issue

Revision	Date	Description
----------	------	-------------

Project Address
169 Plateau Road, Bilgola Plateau NSW 2107

Project Number
2129

Client
Ian and Bosilka May

Sheet Title
Proposed Plan - Shadow Analysis 21st June 3pm

Sheet Number
A602

North



Drawn
JB

Checked
LC

Sheet Size
A2

Sheet Scale
1:200

Stage
Design

Issue
E