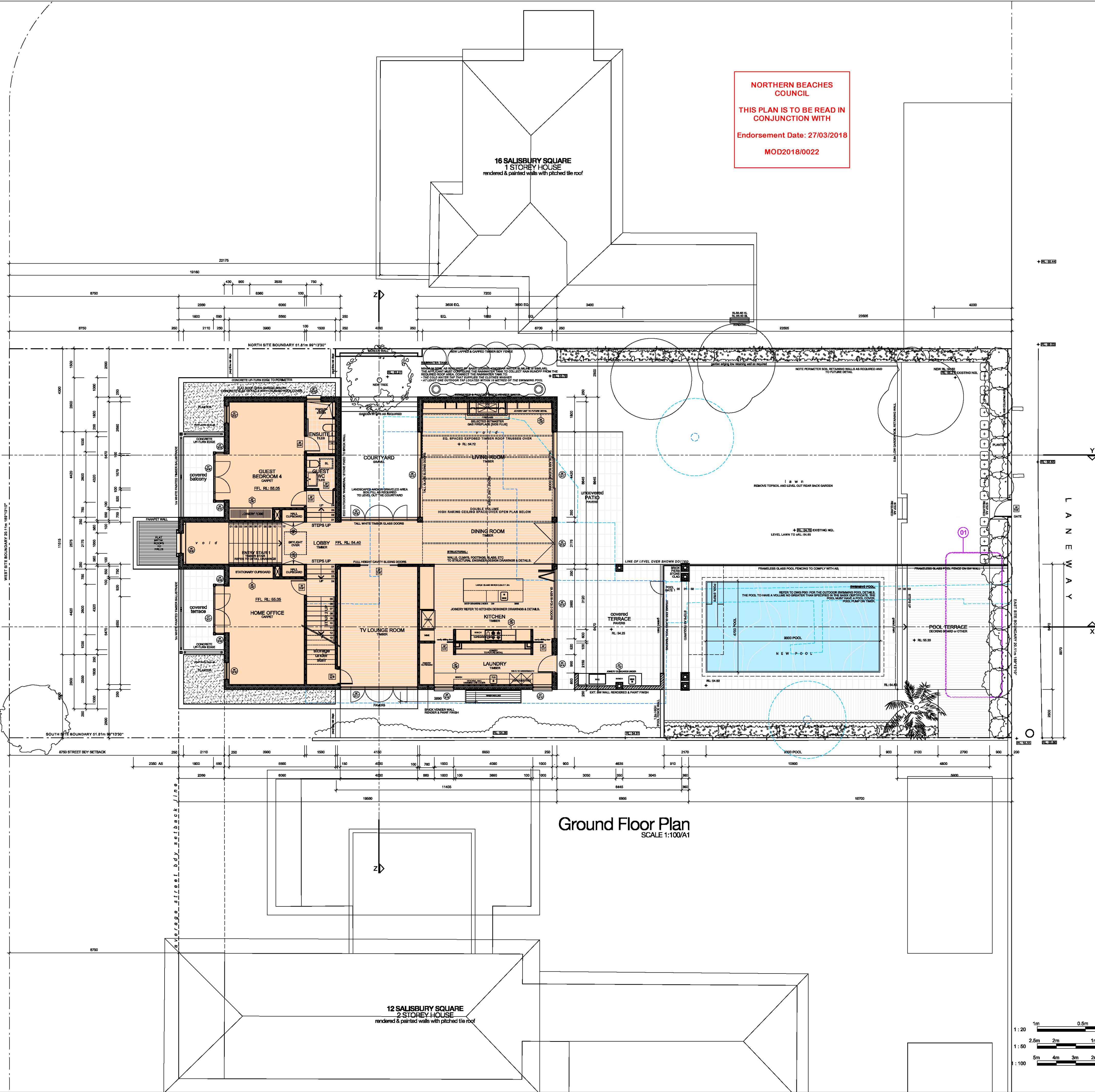


BASIX COMMITMENTS

- READ THE DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE & BASIX NOTES.
- LANDSCAPE: PLANTING AREAS TO HAVE INDIGENOUS PLANTS w/ LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 60% OF THE SITE.
- FIXTURES: ALL NEW SHOWERHEADS, TOILETS, TAPS & BASIN/TAPS FIXTURES TO ACHIEVE THE REQUIRED STAR RATING.
- ALTERNATIVE WATER: THE APPLICATION MUST INSTALL A 500L RAINWATER TANK. CONFIGURE THE TANK TO COLLECT RAIN WATER RUNOFF FROM AT LEAST 317m² OF THE HOUSE ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOT TO BE USED FOR HUMAN CONSUMPTION).
 - A TAP THAT IS LOCATED WITHIN 10 METRES OF THE SWIMMING POOL IN THE DEVELOPMENT.
- SWIMMING POOL: THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 75 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE SWIMMING POOL MUST BE OUTDOORS. THE APPLICANT MUST INSTALL A SOLAR HEATING SYSTEM FOR THE SWIMMING POOL IN THE DEVELOPMENT (OR ALTERNATIVELY MUST NOT INSTALL ANY HEATING SYSTEM FOR THE SWIMMING POOL). THE APPLICANT MUST INSTALL A TIMER FOR THE SWIMMING POOL PUMP.
- THERMAL COMFORT COMMITMENTS: THE HOUSE MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE CODE USED TO CALCULATE THOSE SPECIFICATIONS. THE NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM VALUES AS SPECIFIED:
 - CONCRETE SLAB ON GROUND w/ ADDED INSULATION.
 - BRICK VENER 122 INSULATION AND WEATHERBOARD w/ OTHER R1.8 INSULATION PLUS FOIL.
 - HOUSE ROOF CEILING 96.8 BULK INSULATION & BASEMENT INTERNAL W/ CEILING INSULATION.
 - WINDOW 16.1 W/1. W/1.5 & 16.1 W/1.5 TO LIVING AREAS REQUIRES LOW E GLASSING AS SPECIFIED.
- HOT WATER: NEW 5 STAR GAS INSTANTANEOUS HOT WATER SYSTEMS TO BE INSTALLED.
- COOLING & HEATING SYSTEM: THE APPLICANT MUST INSTALL A 1-PHASE AIR CONDITIONING WITH A 5 STAR ENERGY RATING. AC & CEILING FANS TO AT LEAST 1 LIVING AREA & 1 BEDROOM.
- VENTILATION SYSTEM: THE APPLICANT MUST INSTALL EXHAUST SYSTEMS TO THE WET AREA, BATHROOMS, KITCHEN & LAUNDRY.
- ARTIFICIAL LIGHTING: THE APPLICANT MUST ENSURE THAT THE "PRIMARY" TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN EACH OF THE FOLLOWING ROOMS: AT LEAST 6 OF THE BEDROOMS / STUDY, AT LEAST 2 OF THE LIVING/DINING ROOMS, KITCHEN, BATHROOMS, LAUNDRY & HALLWAYS.
- NATURAL LIGHTING: THE APPLICANT MUST INSTALL A WINDOW/BAYLIGHT IN THE KITCHEN & BATHROOMS OF THE DEVELOPMENT.
- ALTERNATIVE ENERGY: THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 1.5 KW HOURS OF ELECTRICITY & CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM.
- ALTERNATIVE ENERGY: THE APPLICANT MUST INSTALL:
 - A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
 - EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED.
 - A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.
 - A FIXED INDOOR OR SHELTERED CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.



Ground Floor Plan
SCALE 1:100/A1

LEGEND

- DEMOLITION
EXISTING HOUSE & OTHER TO BE DEMOLISHED
- HOUSE WALLS
PROPOSED NEW HOUSE EXTERNAL & INTERNAL WALLS
- WALL 1
BRICK MASONRY WALL (RENDERED & PAINTED)
- WALL 2
REINFORCED BLOCK WORK WALL (TO STRUCTURAL ENG DETAILS)
- WALL 3
INTERNAL PLASTERBOARD WALL (FRAMED LIGHT-WEIGHT)
- ROOF 1
PITCHED TERRACOTTA ROOF TILES
- ROOF 2
FLAT METAL ROOF TO FALLS
- TILING
SELECTED TILES (SET-OUT TO FUTURE DETAILS)
- TIMBER FLOORING
SELECTED HARDWOOD FLOORING
- CONCRETE
REINFORCED CONCRETE TO STRUCTURAL ENGS DETAILS
- GRAVEL
LOOSE GRAVEL ON SAND & CRUSHED BASE
- STONE
STONE WALL CLADDING FINISH T.B.S (STACKED STONE PANELS)
- RL
LEVELS AS PER SURVEY PLAN

NOTES

- SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSFERRED FROM THE TRUE NORTH SURVEYORS SURVEY PLAN NO.8086. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT AND ACCURACY T.B.C ON SITE.
- COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

ISSUE	DATE	DESCRIPTION
A	06.11.2016	PRELIMINARY PLANS
B	17.11.2016	AMENDED DESIGN PLANS
C	28.11.2016	AMENDED DESIGN PLANS
D	28.01.2016	PRELIM. CDC DRAWING SET
E	06.02.2016	CONSULTANT ISSUE
F	18.02.2016	CONSULTANT ISSUE REV.
G	20.02.2016	TO BEYOND CDC ISSUE
H	06.05.2016	MANLY COUNCIL DA ISSUE
I	09.08.2016	CONSTRUCTION CERTIFICATE
J	15.12.2016	SECTION 96 MODIFICATION
K	12.01.2018	SECTION 96 MODIFICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (UNO).

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

COPYRIGHT APPLIES TO THIS DOCUMENT.

THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OR ANY KIND IS NOT PERMITTED WITHOUT CONSENT.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND MANLY COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS ARCHITECTS

8 ARTILLERY DRIVE
MANLY
NSW
2095

0403944578
a@duplessis.com.au
www.duplessis.com.au

NSW
REGISTERED ARCHITECT
#74325

NOMINATED ARCHITECT:
EUGENE DU PLESSIS

PROJECT TITLE:
HOUSE CHOI LEE
New Family Residence

CLIENT:
Brian Choi
Jennifer Lee

ADDRESS:
14 Salisbury Square
Seaford NSW 2092

DRAWING TITLE:
GROUND FLOOR
PLAN

DRAWN:
E DU PLESSIS

CHECKED:
H DU PLESSIS

SCALE:
1:100 [A1]

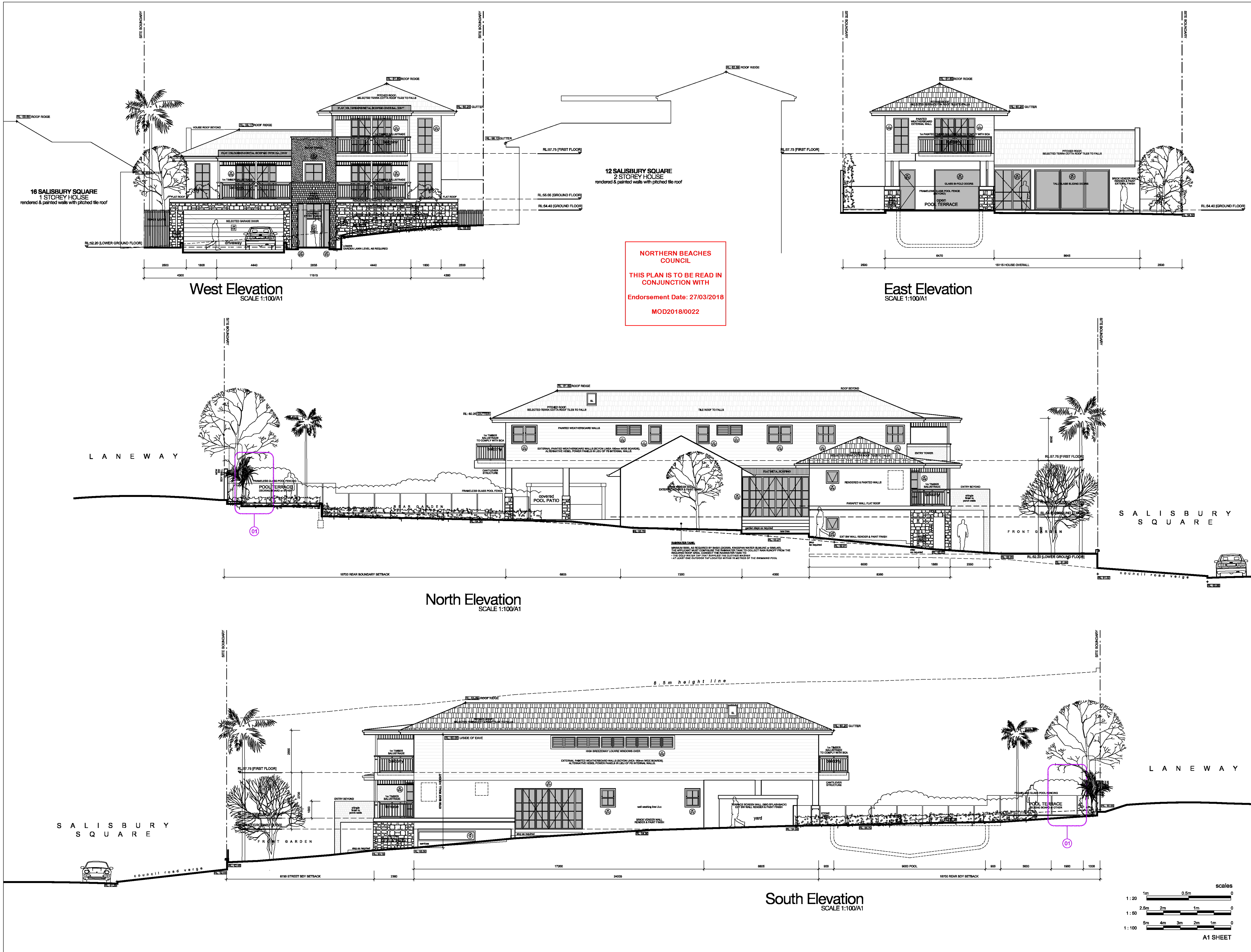
DRAWING NO.:

A.03

ISSUE:
3

DATE:
12.01.2018

DRAWING STATUS:
S96 MODIFICATION APPLICATION



ISSUE	DATE	DESCRIPTION
A	06.11.2016	PRELIMINARY PLANS
B	17.11.2016	AMENDED DESIGN PLANS
C	28.11.2016	AMENDED DESIGN PLANS
D	28.01.2016	PRELIM. CDC DRAWING SET
E	05.02.2016	CONSULTANT ISSUE
F	18.02.2016	CONSULTANT ISSUE REV.
G	29.02.2016	CONTRACTOR ISSUE
H	05.05.2016	MANLY COUNCIL DA ISSUE
I	19.08.2016	CONSTRUCTION CERTIFICATE
J	19.12.2016	SECTION 96 MODIFICATION
K	12.01.2018	SECTION 96 MODIFICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (UNO).

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

COPYRIGHT APPLIES TO THIS DOCUMENT.

THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND MANLY COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS + DU PLESSIS ARCHITECTS

8 ARTILLERY DRIVE
MANLY
NSW
2095

0403944578
e@duplessis.com.au
www.duplessis.com.au

NSW
REGISTERED ARCHITECT
#7435

NOMINATED ARCHITECT:
EUGENE DU PLESSIS

PROJECT TITLE:
HOUSE CHOI LEE
New Family Residence

CLIENT:
Brian Choi
Jennifer Lee

ADDRESS:
14 Salisbury Square
Seaforth NSW 2092

DRAWING TITLE:
HOUSE
ELEVATIONS

DRAWN:
E DU PLESSIS

CHECKED:
H DU PLESSIS

SCALE:
1:100 [A1]

DRAWING NO:
A.05

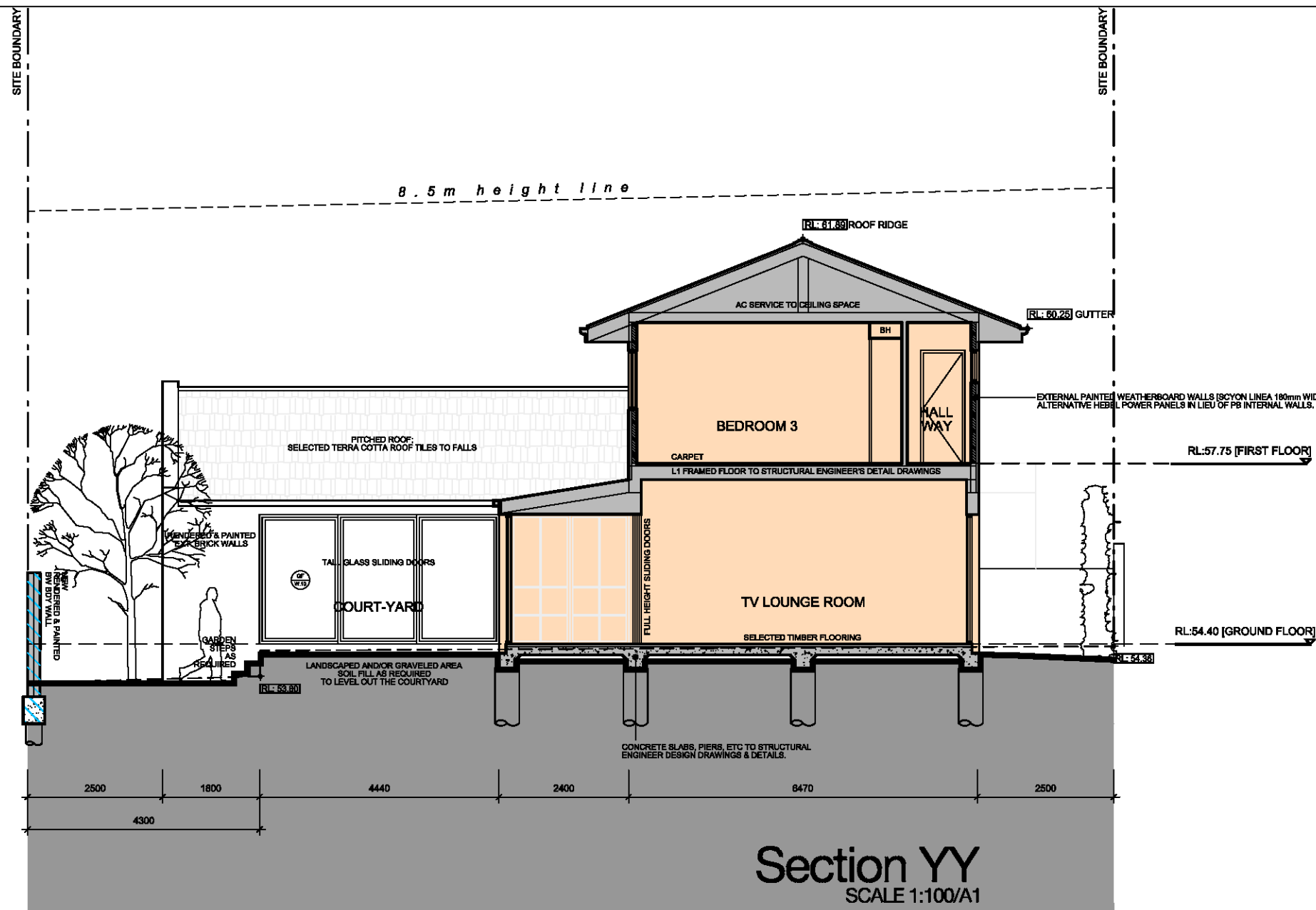
ISSUE:
3

DATE:
12.01.2018

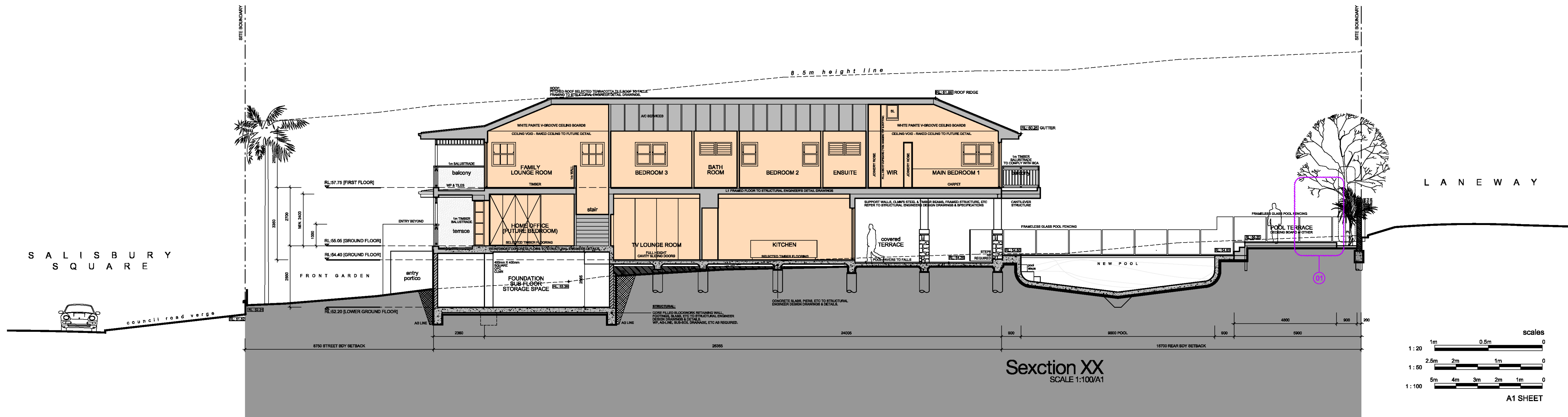
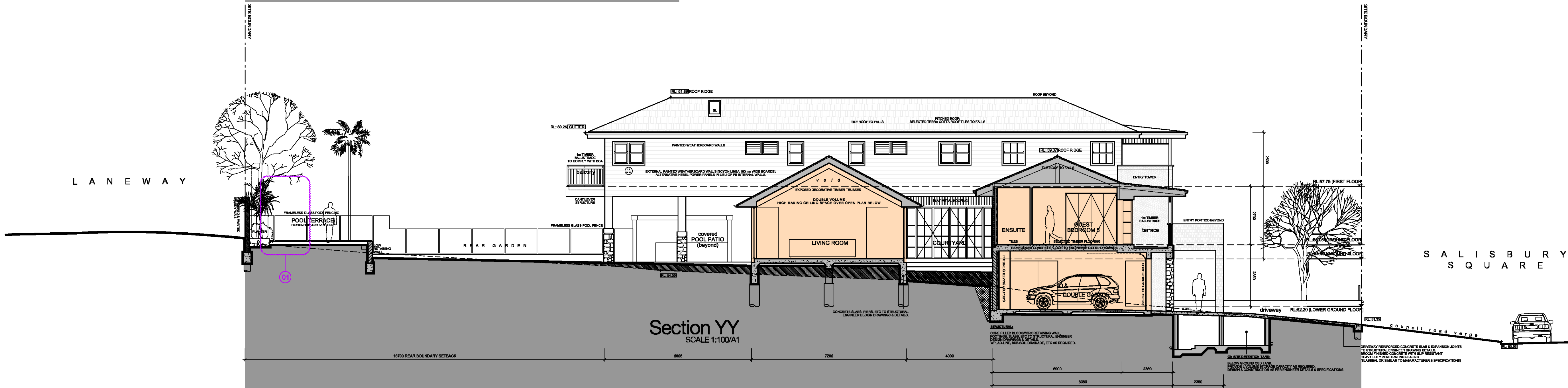
DRAWING STATUS:
S96 MODIFICATION APPLICATION

BASIX COMMITMENTS

- * READ THE DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE & BASIX NOTES:
- LANDSCAPE: PLANTING AREAS TO HAVE INDIGENOUS PLANTS & LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 80% OF THE SITE.
 - FIXTURES: ALL NEW SHOWERHEADS, TOILETS, TAPS & BASIN/TAPS FIXTURES TO ACHIEVE THE REQUIRED STAR RATING.
 - ALTERNATIVE WATER: THE APPLICANT MUST INSTALL A 500L RAINWATER TANK. CONFIGURE THE TANK TO COLLECT RAIN WATER RUNOFF FROM AT LEAST 317m² OF THE HOUSE ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOT TO BE USED FOR HUMAN CONSUMPTION).
 - A TAP THAT IS LOCATED WITHIN 10 METRES OF THE SWIMMING POOL IN THE DEVELOPMENT.
 - SWIMMING POOL: THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 75 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE SWIMMING POOL MUST BE OUTDOORS. THE APPLICANT MUST INSTALL A SOLAR HEATING SYSTEM FOR THE SWIMMING POOL IN THE DEVELOPMENT (OR ALTERNATIVELY MUST NOT INSTALL ANY HEATING SYSTEM FOR THE SWIMMING POOL). THE APPLICANT MUST INSTALL A THERM FOR THE SWIMMING POOL PUMP.
 - THERMAL COMFORT COMMITMENTS: THE HOUSE MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE CCC USED TO CALCULATE THOSE SPECIFICATIONS. THE NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED:
 - CONCRETE SLAB ON GROUND R1 ADDED INSULATION.
 - BRICK VENER R22 INSULATION AND WEATHERBOARD W OTHER R1.8 INSULATION PLUS POIL.
 - HOUSE ROOF CEILING R6.5 BULK INSULATION & BASKETWORK INTERNAL R1 CEILING INSULATION.
 - WINDOWS W1.5 W1.7. WALLS & WINDOWS TO LIVING AREAS REQUIRES LOW E GLASSING AS SPECIFIED.
 - HOT WATER: NEW 5 STAR GAS INSTANTANEOUS HOT WATER SYSTEMS TO BE INSTALLED.
 - COOLING & HEATING SYSTEM: THE APPLICANT MUST INSTALL A 1-PHASE AIR CONDITIONING WITH A 4 STAR ENERGY RATING. AC & CEILING FANS TO AT LEAST 1 LIVING AREA & 1 BEDROOM.
 - VENTILATION SYSTEM: THE APPLICANT MUST INSTALL EXHAUST SYSTEMS TO THE WET AREA, BATHROOMS, KITCHEN & LAUNDRY.
 - ARTIFICIAL LIGHTING: THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN EACH OF THE FOLLOWING ROOMS: AT LEAST 6 OF THE BEDROOMS / STUDY, AT LEAST 2 OF THE LIVING/DINING ROOMS, KITCHEN, BATHROOMS, LAUNDRY & HALLWAYS.
 - NATURAL LIGHTING: THE APPLICANT MUST INSTALL A WINDOW/BAYLIGHT IN THE KITCHEN & BATHROOMS OF THE DEVELOPMENT.
 - ALTERNATIVE ENERGY: THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 1.5 KW HOURS OF ELECTRICITY & CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM.
 - ALTERNATIVE ENERGY: THE APPLICANT MUST INSTALL:
 - A GAS COOKTOP & ELECTRIC OVEN WITHIN THE KITCHEN OF THE DWELLING.
 - A GAS REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED.
 - A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.
 - A FIXED INDOOR OR SHIELDED CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.



NORTHERN BEACHES COUNCIL
THIS PLAN IS TO BE READ IN CONJUNCTION WITH
Endorsement Date: 27/03/2018
MOD2018/0022



LEGEND

- DEMOLITION: EXISTING HOUSE & OTHER TO BE DEMOLISHED
- HOUSE WALLS: PROPOSED NEW HOUSE EXTERNAL & INTERNAL WALLS
- WALL 1: BRICK MASONRY WALL (RENDERED & PAINTED)
- WALL 2: REINFORCED BLOCK WORK WALL (TO STRUCTURAL ENG DETAILS)
- WALL 3: INTERNAL PLASTERBOARD WALL (FRAMED LIGHT-WEIGHT)
- ROOF 1: PITCHED TERRACOTTA ROOF TILES
- ROOF 2: FLAT METAL ROOFS TO FALLS
- TILING: SELECTED TILES (SET-OUT TO FUTURE DETAILS)
- FLOORING: SELECTED HARDWOOD FLOORING
- CONCRETE: REINFORCED CONCRETE TO STRUCTURAL ENGS DETAILS
- GRAVEL: LOOSE GRAVEL ON SAND & CRUSHED BASE
- STONE: STONE WALL CLADDING FINISH T.B.S (STACKED STONE PANELS)
- RL: LEVELS AS PER SURVEY PLAN

NOTES

- SITE SURVEY INFORMATION: THE SITE INFORMATION HEREIN HAS BEEN TRANSFERRED FROM THE TRUE NORTH SURVEYORS SURVEY PLAN NO.8086. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT AND ACCURACY T.B.C ON SITE.
- COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS: UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

ISSUE	DATE	DESCRIPTION
A	06.11.2016	PRELIMINARY PLANS
B	17.11.2016	AMENDED DESIGN PLANS
C	28.11.2016	AMENDED DESIGN PLANS
D	28.01.2016	PRELIM. CCC DRAWING SET
E	05.02.2016	CONSULTANT ISSUE
F	18.02.2016	CONSULTANT ISSUE REV.
G	29.03.2016	TENDER / CCC ISSUE
H	05.05.2016	MANLY COUNCIL DA ISSUE
I	19.08.2016	CONSTRUCTION CERTIFICATE
2	15.12.2016	SECTION 96 MODIFICATION
3	12.01.2018	SECTION 96 MODIFICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

SUICIDE DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (UNO).

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

COPYRIGHT APPLIES TO THIS DOCUMENT.

THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OR ANY KIND IS NOT PERMITTED WITHOUT CONSENT.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT'S OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND MANLY COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS + DU PLESSIS ARCHITECTS

8 ARTILLERY DRIVE
MANLY
NSW
2095
0403944578
0403944578
www.duoom.com.au

NSW
REGISTERED ARCHITECT
#7435

NOMINATED ARCHITECT:
EUGENE DU PLESSIS

PROJECT TITLE:
HOUSE CHOI LEE
New Family Residence

CLIENT:
Brian Choi
Jennifer Lee

ADDRESS:
14 Salisbury Square
Seaford NSW 2092

DRAWING TITLE:
HOUSE
SECTIONS XX & YY

DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

SCALE:
1:100 [A1]

DRAWING NO.:
A.06

ISSUE: 3
DATE: 12.01.2018

DRAWING STATUS:
S96 MODIFICATION APPLICATION

