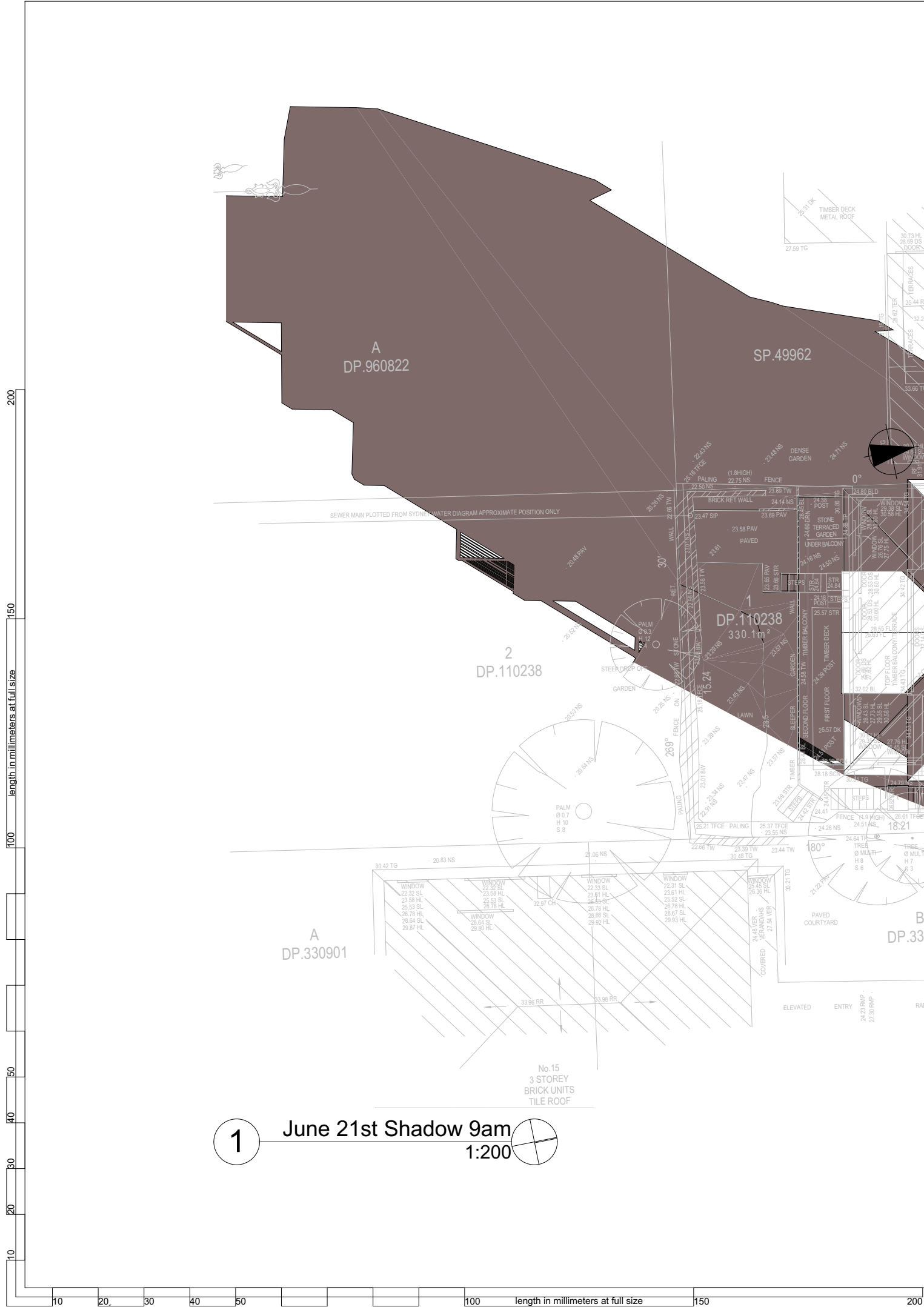




Denotes Existing Shadow

Rapid Plans

Building Design and Architectural Drafting

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BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES
33 Lauderdale Avenue, Fairlight is zoned R1 General Residential.
All Plans to be read in conjunction with Basix Certificate Subject Works to be constructed shown in Shaded/Blue

33 Lauderdale Avenue, Fairlight is not considered a heritage item.

Construction
Existing Floors, Existing Walls
Roof to remain Existing
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number N/A
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

Site Information	Proposed	Compliance
Site Area	330.1m2	Exist
Housing Density (dwelling/m2)	1	Exist
Floor Space Ratio	0.6:1	Exist
Max Building Height Above Natural GL	8.5m	Exist
Front Setback (Min.)	6.0m	Exist
Rear Setback (Min.)	8.0m	Exist
Minimum side boundry setback (Min.)	1/3 Wall Ht	Exist
% of landscape open space (35% min)	26%	Exist
Impervious area (m2)	244.7m2	Exist
Maximum cut into ground (m)	N/A	Exist
Maximum depth of fill (m)	N/A	Exist
Number of car spaces provided	2	Exist

Building Certificate ONLY

NOT FOR CONSTRUCTION

Client
Angus Bishop

Project Name
Alterations & Additions
33 Lauderdale Avenue, Fairlight
2094

Drawing Title:
Sun Study - June 21st Shadow 9am
June 21st Shadow 9am

Scale: A3 as noted

Date: 24-03-2015

Status: BC

Checked By: GBJ

Project No:
RP0315BIS

Drawing No.
BC5001