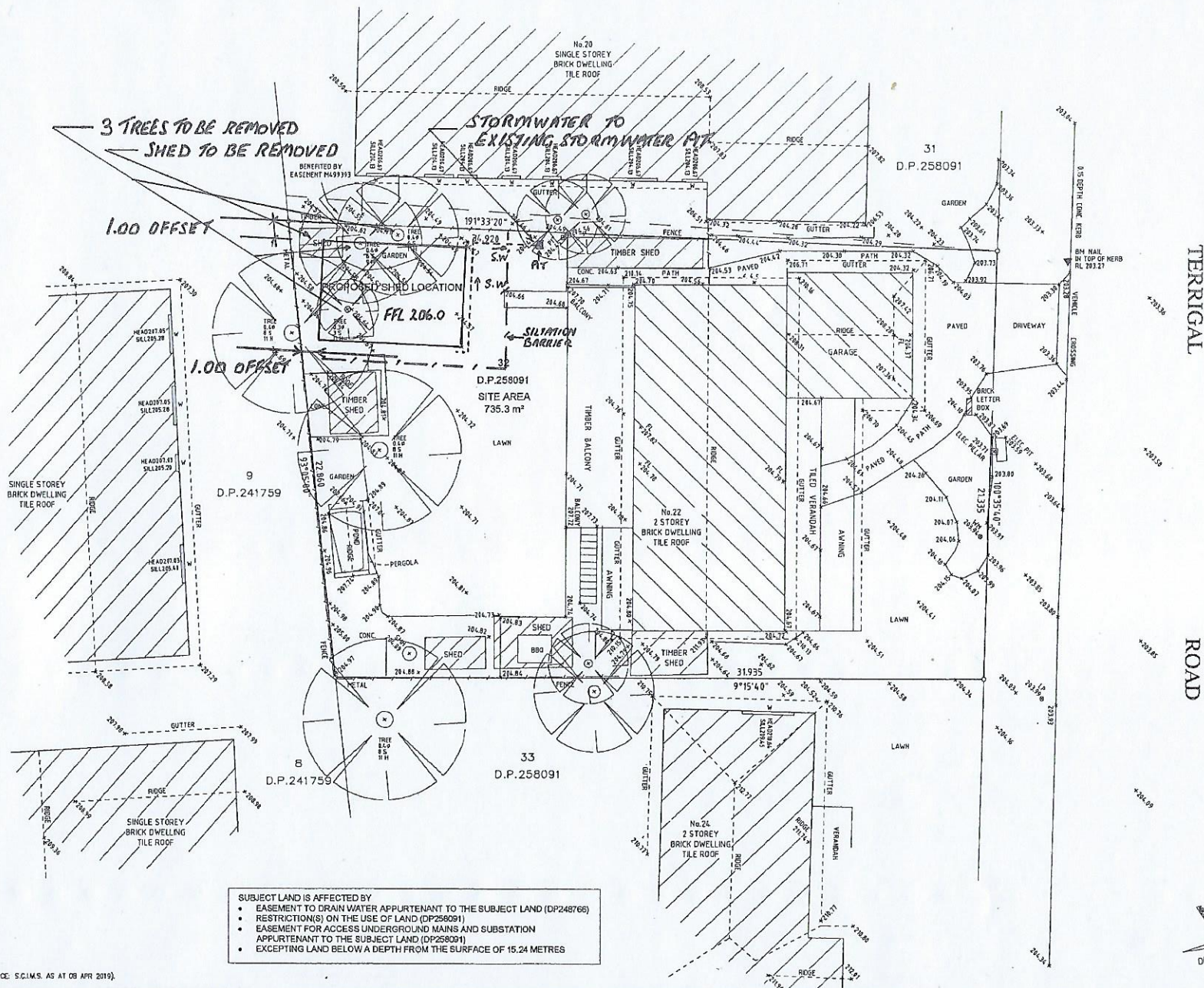




LEGEND

BK	- BOTTOM OF KERB
BW	- BOTTOM OF WALL
BRW	- BOTTOM OF RETAINING WALL
CL	- CENTRE LINE
CH	- CHIMNEY
CONC	- CONCRETE
D	- DOOR
FL	- FLOOR LEVEL
FN	- FIRE HYDRANT
GN	- GAS METER
GAR	- GARDEN
LP	- LIGHT POLE
MUD	- METAL LID
MP	- METAL POST
PARA	- PARAPET
PP	- POWER POLE
RET	- RETAINING
RR	- ROOF RIDGE
SIC	- SEWER INSPECTION CAP
SWH	- SEWER MANHOLE
SRW	- STONE RETAINING WALL
SV	- SEWER VENT
SWCP	- STORM WATER GRATED PIT
TEL	- TELSTRA
TA	- TOP OF ANNING
TF	- TOP OF FENCE
TG	- TOP OF GUTTER
TK	- TOP OF KERB
TP	- TOP OF PARAPET
TR	- TOP OF ROOF
TT	- TOP OF TREE
TW	- TOP OF WALL
TRW	- TOP OF RET. WALL
US	- UNDERSIDE
VC	- VEHICLE CROSSING
W	- WINDOW
WM	- WATER METER
WS	- WATER SWITCH
WV	- WATER VENT

NOTES

1. ORIGIN OF LEVELS 55M 24211 RL 202.339 (A.H.D.) (SOURCE: S.C.I.M.S. AS AT 08 APR 2019).
2. BEARINGS ARE ON W.M. NORTH.
3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW.
4. RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
5. NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS (V.M.O.I.) AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
6. RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY. WILL REQUIRE FURTHER SURVEY.
7. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
8. THE SPREAD & HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

SUBJECT LAND IS AFFECTED BY

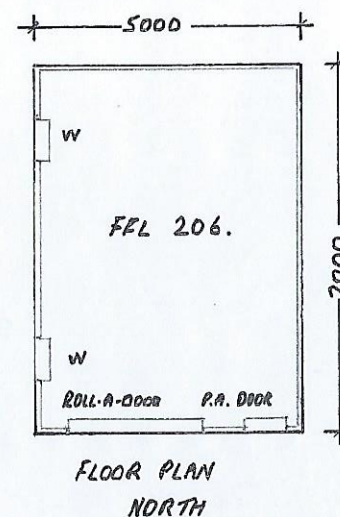
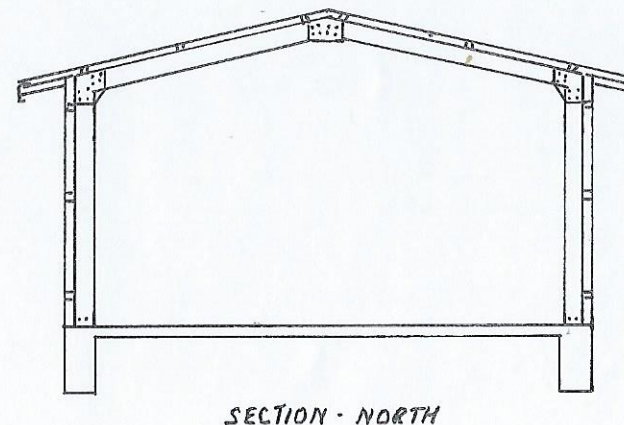
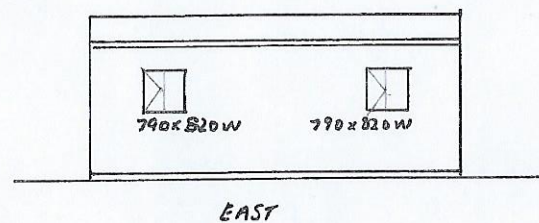
- EASEMENT TO DRAIN WATER APPURTENANT TO THE SUBJECT LAND (DP248766)
- RESTRICTION(S) ON THE USE OF LAND (DP258091)
- EASEMENT FOR ACCESS UNDERGROUND MAINS AND SUBSTATION APPURTENANT TO THE SUBJECT LAND (DP258091)
- EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES

DATE	BY	REVISION	ISSUE
5-6-19	A	CLIENT - TAC HONG LAM KHUY FAN SHENG	1

PLAN SHOWING PHYSICAL FEATURES AND LEVELS AT
 No. 22 TERRIGAL ROAD, TERRY HILLS
 LOT 32 IN DP 258091
PROPOSED SHED



RATIO: 1:200	DATE: 25-04-2019
DATUM: AHD	ISSUE: 0
DRAWN: TK/BY	SHEET: A1 1 OF 1
REF. No: 3549	DATE OF SURVEY: 10-04-2019



GENERAL NOTES:
 Faced dimensions take preference, do not scale from plans. IF IN DOUBT, ASK.
 Contractors are responsible to check and verify all information prior to tendering and shall report any discrepancies or omissions. Incorrect inclusions or omissions or typographical errors are not to be used in the interpretation of any information in these drawings. Nor can they be used to claim any additional or alternate items or services as a result of such errors. The Incomplete or omitted details shall be subject to subsequent correction by CEO and the documentation re-issued.
 These drawings are to be read in conjunction with the relevant client-builder contract, the contract is to take precedence over these drawings in all matters including but not limited to: finishes, inclusions, upgrades, exclusions, additional costs and works by owner/builder.
 All work to be carried out in a tradesman like manner, and in accordance with local codes, the BCA, Australian Standards and any relevant authority requirements.
 All concrete and structural details to engineer's specification. Engineers details and specifications take precedence over these plans.
 Finished ground levels are approximate only and should be confirmed onsite.

8		COUNCIL SUBMISSION
A		PRELIMINARY FOR CLIENT CHECK
Issue	Date	Amendments

SHEET TITLE **FLOOR PLAN-
ELEVATIONS - SECTION**

SHEET No. 2A	JOB No. SGOS190015
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