



Member of the Fire Protection Association of Australia

Friday, 14 March 2025

Purpose:

To provide advice to the Principal Certifying Authority regarding compliance with bushfire risk requirements.

Property Address:

29 Condoover Street North Balgowlah.

Lot and DP Number:

Lot 406, DP14137.

Referenced Documents:

- Previous Bushfire Risk Assessment dated Tuesday, 17 October 2023
- Revised plans (attached)

Proposed Works: alterations and additions to a dwelling.

The General Manager Northern Beaches Council.

Dear Sir/Madam,

Re: Bushfire Assessment Review – 29 Condoover Street North Balgowlah.

This letter is to provide an update on the bushfire risk assessment for the proposed alterations and additions to the existing dwelling at the address mentioned above. Revised plans have been submitted, prompting a review of the original Bushfire Risk Assessment completed on 17/10/2023.

The revised plans have been assessed against the recommendations and findings of the original report. A new variable introduced in this assessment is the inclusion of an area of offsite APZ. The APZ is considered as managed land and was previously included in the APZ calculations for an assessment dated 5/5/20 but was not used in the referenced report above. Confirmation has been received by the proponent that council manage¹ the area in question as part of the council's bushfire management plan.

¹ Email from Zac Hunter councils bushfire and biodiversity officer dated 27/2/2025.

Given the introduction of this new variable the outcomes of the assessment dated 17/Oct/2023 remain unchanged and are considered as appropriate for this revised plan.

If further clarification or additional information is required, please feel free to make contact.

Yours faithfully,



Matthew Willis

**Graduate Diploma in Planning for Bushfire Prone Areas
FPAA BPAD Level 3 (BPD-PA 09337)**



ACTION PLANS

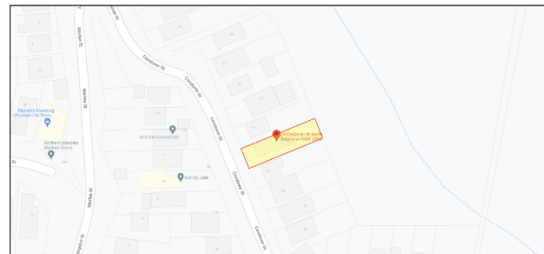
m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

S4.55 MODIFICATION

These plans are for S.455 Approval only.

SHEET NUMBER	SHEET NAME
M0008	COVER
M0001	NOTATION
M0002	SITE ANALYSIS
M0003	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN
M0004	EXISTING LOWER GROUND FLOOR PLAN
M0005	EXISTING GROUND FLOOR PLAN
M0006	EXISTING FIRST FLOOR PLAN
M0007	PROPOSED LOWER GROUND FLOOR PLAN
M0008	PROPOSED GROUND FLOOR PLAN
M0009	PROPOSED FIRST FLOOR PLAN
M0010	NORTH ELEVATION- SIDE
M0011	EAST / WEST ELEVATION - REAR / PRIMARY ROAD
M0012	SOUTH ELEVATION
M0013	LONG SECTION
M0014	CROSS SECTION
M0015	CANOPY / DRIVEWAY LONG / CROSS SECTION
M0016	AREA CALCULATIONS / MATERIAL SAMPLE BOARD
M0017	WINTER SOLSTICE 9 AM
M0018	WINTER SOLSTICE 12 PM
M0019	WINTER SOLSTICE 3 PM
M0020	BASIC COMMITMENTS

29 CONDOVER STREET NORTH BALGOWLAH 2093



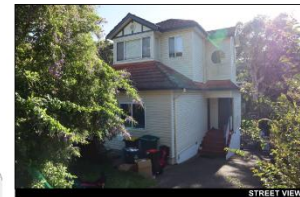
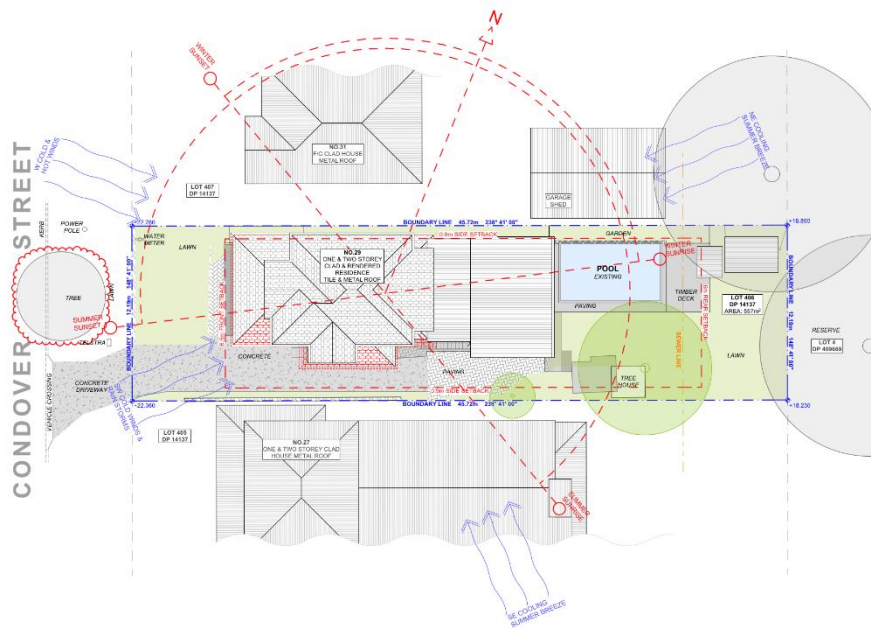
NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAY AND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3600
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 - 2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	29 CONDOVER STREET, NORTH BALGOWLAH 2093			
LOT & SP33P	LOT 406 DP 16137			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	557m²			
FRONTAGE	12.19m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP	R2 - LOW DENSITY RESIDENTIAL	R2	R2	YES
LAND ZONING				
MINIMUM LOT SIZE	650m²	557m²	UNCHANGED	YES
MAXIMUM BUILDING HEIGHT	8.5m	16.65m	UNCHANGED	NO
DCP				
WALL HEIGHT	7.2m	8.3m	UNCHANGED	YES
SIDE BOUNDARY DEVELOPE	4m		UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	N 1.117m S 2.911m	N UNCHANGED S 1.159m	YES
FRONT BOUNDARY SETBACK	6.5m	7.57m (TO HES)	UNCHANGED 9.261m (TO CHIMNEY)	YES NO
REAR BOUNDARY SETBACK	6.0m	16.93m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (222.8m²)	30.57% (170.27m²)	30.58% (170.37m²)	NO
PRIVATE OPEN SPACE	60m²	60m²	UNCHANGED	YES

NOTES

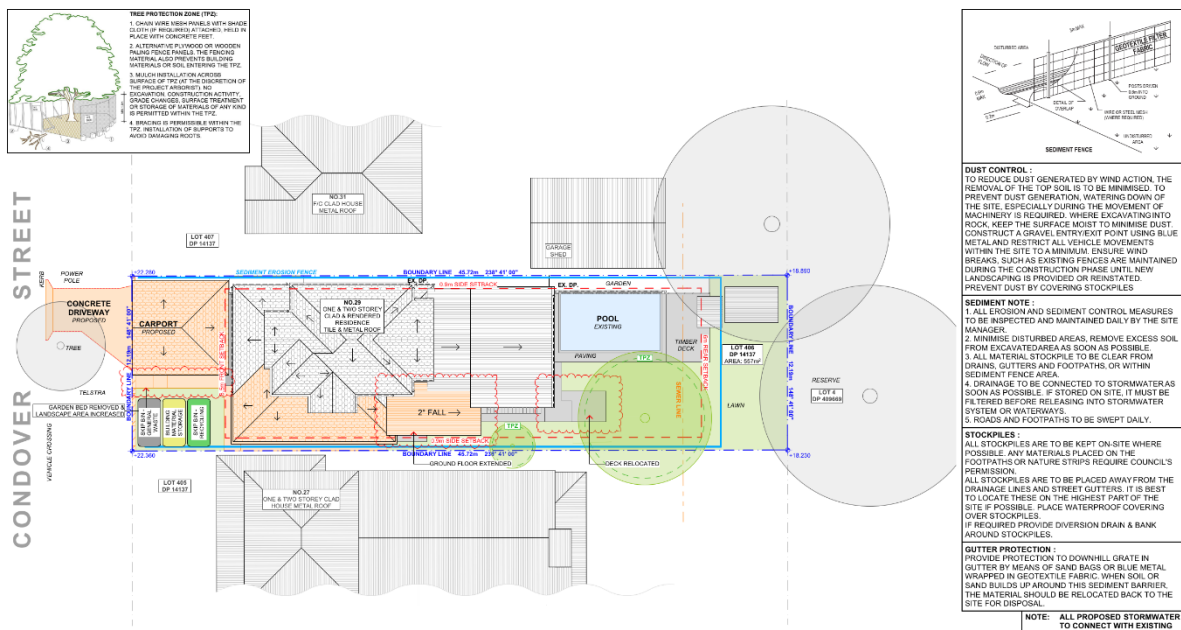
- APPROVED MEANS BY THE 'RELEVANT LOCAL AUTHORITY' OR COUNCIL.
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
 - BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEASE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
 - THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
 - ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
 - ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLECT OF THIS CLAUSE.
 - ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
 - SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
 - THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
 - THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
 - ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE.
 - ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
 - ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ON SITE BY THE OWNER.
 - SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
 - ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN.
 - ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
 - ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
 - ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
 - ANY WORK INDICATED ON THE PLANS NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
 - THE BUILDER SHALL PROVIDE SEDIMENT AND SILTATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
 - A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
 - THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
 - THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
 - THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
 - ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640.
 - ALL MASONRY TO COMPLY WITH AS3700.
 - ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
 - ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
 - ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 'TIMBER FRAMING CODE'.
 - ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
 - ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
 - ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS.
 - STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS.
 - TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
 - ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.



1 SITE ANALYSIS 1:200				NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS 2601 - 2001			
REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND	CLIENT	DRAWING NO.
A	14.12.2023	2D/3D REVISION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work. creation of shop drawings, or fabrication of components, all notes and dimensions are to be verified by the contractor/contractor and related to the Designer prior to the commencement of work.	SOFT LANDSCAPE HARD LANDSCAPE PROPOSED EXISTING DEMOLISHED EX. DP. EXISTING DOWNPIPE PROPOSED DOWNPIPE	CHRIS HUGGET & SHARON SUTTON	MOD02
						PROJECT ADDRESS 20 CONDOVER STREET NORTH BALGOWLAN 2093	DATE Monday, 24 February 2023
							SCALE 1:200 @A3

ACTION PLANS
 (02) 9654 567 518
 e: operations@actionplans.com.au
 w: www.actionplans.com.au





REV.	DATE	COMMENTS	DRW
A	24.10.2025	SH-25 MODIFICATION	AL

NOTES

This drawing is the copyright of Action Plans and not
attend, reproduced or transmitted in any form or by any
means in part or in whole with the written permission of
Action Plans.

Do not scale measure from drawings. Figured dimensions
are to be used only.

The Builder/Contractor shall check and verify all levels and
dimensions on site prior to commencement of any work,
creation of shop drawings, or fabrication of components.

All errors and omissions are to be verified by the
Builder/Contractor and referred to the designer prior to the

LEGEND

	SOFT LANDSCAPE
	HARD LANDSCAPE
	PROPOSED
	EXISTING
	DEMOLISHED

CLIENT
CHRIS HUGGET &
SHARON SUTTON

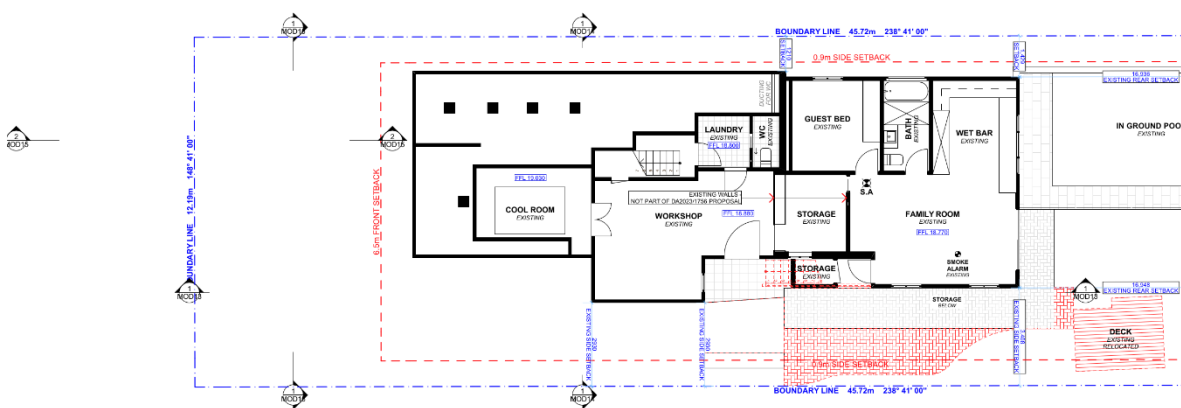
PROJECT ADDRESS
29 CONDOVER STREET
NORTH BALGOWLAH
2093

DRAWING NO.
MOD03

DATE
Monday, 24 February
2025

DRAWING NAME
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE
1:200 @A3



1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2601

REV.	DATE	COMMENTS	DRW
A	24.12.2025	SALDO MODIFICACION	AL

NOTES

This drawing is the copyright of Action Plans and not to be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.

Do not scale measure from drawings. Figured dimensions are to be used only.

The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.

All errors and omissions are to be identified by the Builder/Contractor and referred to the designer prior to the

LEGEND

EXISTING
PROPOSED
DEMOLISHED
S4.55 MODIFICATION (2025)

CLIENT
CHRIS HUGGET &
SHARON SUTTON

PROJECT ADDRESS
29 CONDOVER STREET
NORTH BALGOWLAH
2008

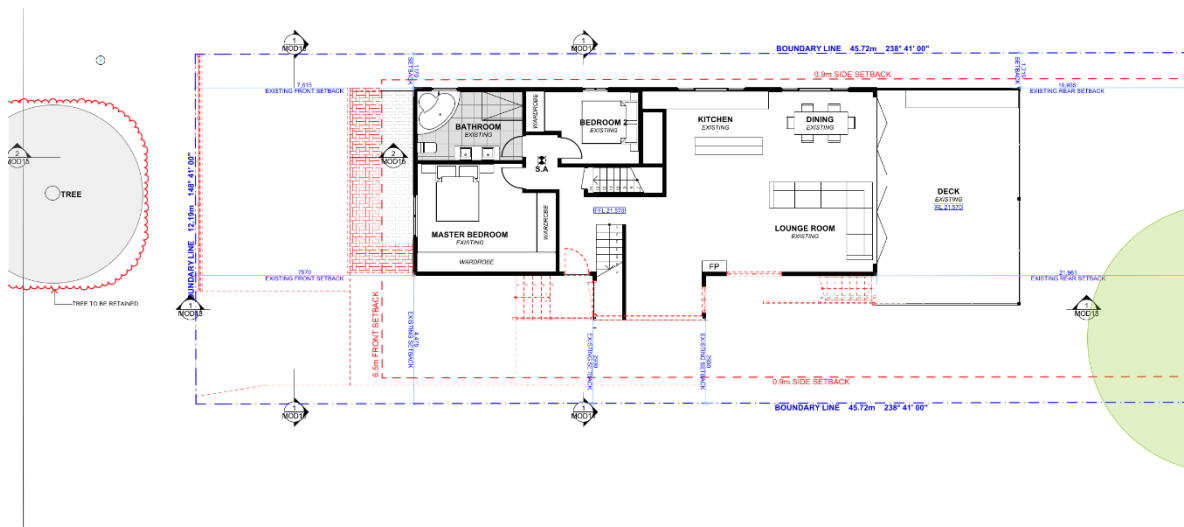
DRAWING NO.
MOD04

DATE
Monday, 24 February
2025

DRAWING NAME
EXISTING LOWER GROUND
FLOOR PLAN

SCALE
1:100 @A3





1

EXISTING GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS 2601 - 2001

ACTION PLANS
m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	14.10.2025	SH-10 MODIFICATION	AL	This drawing is the copyright of Action Plans and not to be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Constructor shall check and verify all levels and discrepancies on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and dimensions are to be verified by the Builder/Constructor and referred to the designer prior to the commencement of works.

LEGEND

EXISTING
PROPOSED
DEMOLISHED
S4.55 MODIFICATION (2025)

CLIENT
CHRIS HUGGET &
SHARON SUTTON

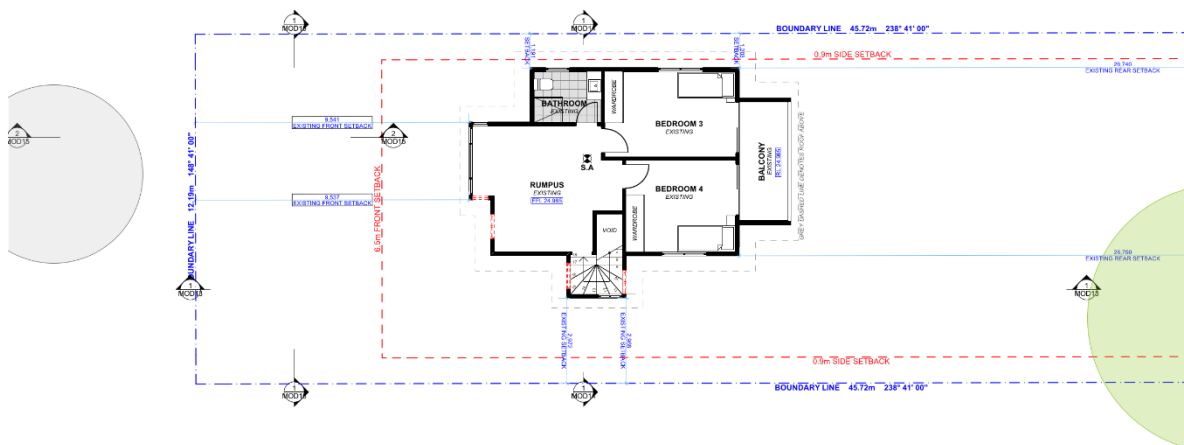
PROJECT ADDRESS
29 CONDOOVER STREET
NORTH BALGOWLAH
2093

DRAWING NO.
MOD05

DATE
Monday, 24 February
2025

DRAWING NAME
EXISTING GROUND FLOOR
PLAN

SCALE
1:100 @A3



1

EXISTING FIRST FLOOR PLAN

1:100

NOTE: NO CHANGES TO THIS LEVEL

ACTION PLANS
m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	14.10.2025	SH-10 MODIFICATION	AL	This drawing is the copyright of Action Plans and not to be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Constructor shall check and verify all levels and discrepancies on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and dimensions are to be verified by the Builder/Constructor and referred to the designer prior to the commencement of works.

LEGEND

EXISTING
PROPOSED
DEMOLISHED
S4.55 MODIFICATION (2025)

CLIENT
CHRIS HUGGET &
SHARON SUTTON

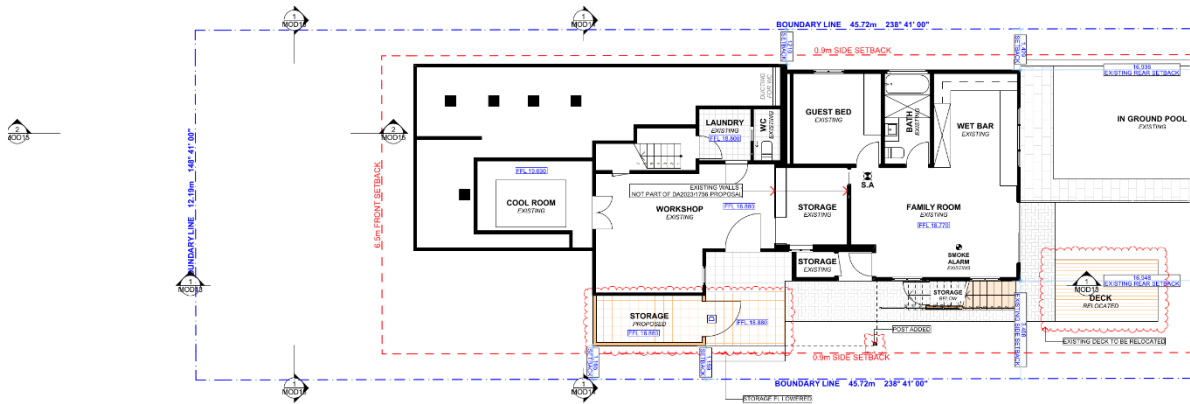
PROJECT ADDRESS
29 CONDOOVER STREET
NORTH BALGOWLAH
2093

DRAWING NO.
MOD06

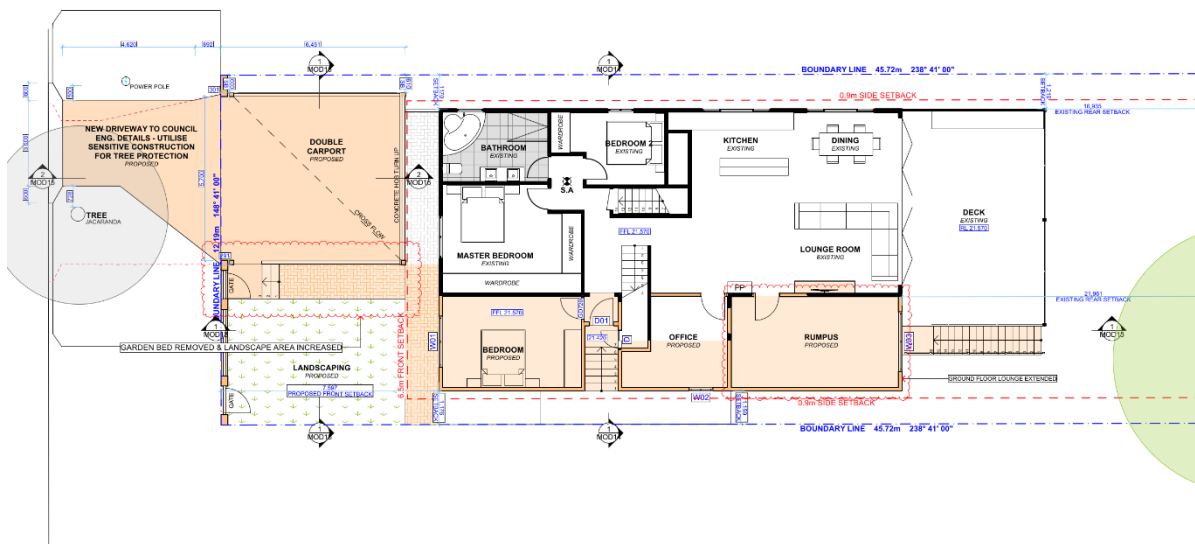
DATE
Monday, 24 February
2025

DRAWING NAME
EXISTING FIRST FLOOR PLAN

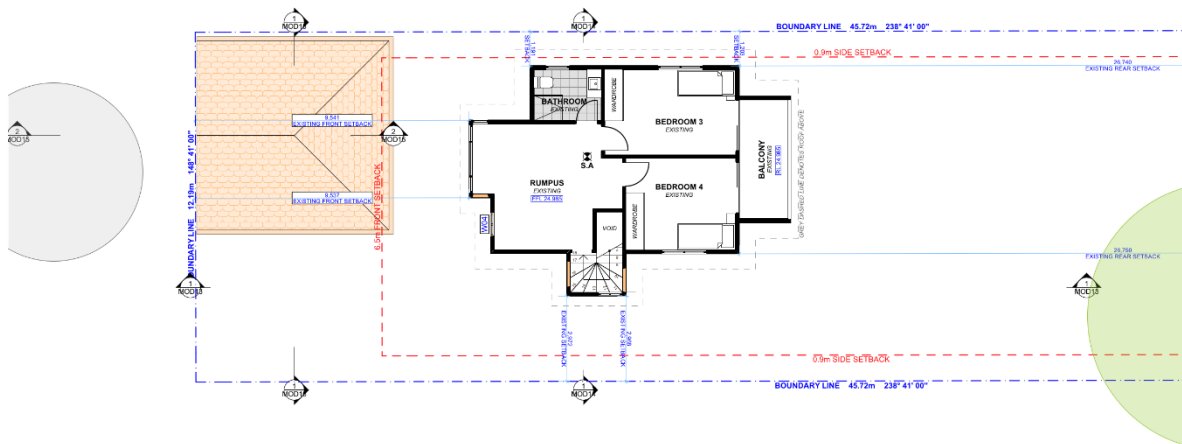
SCALE
1:100 @A3



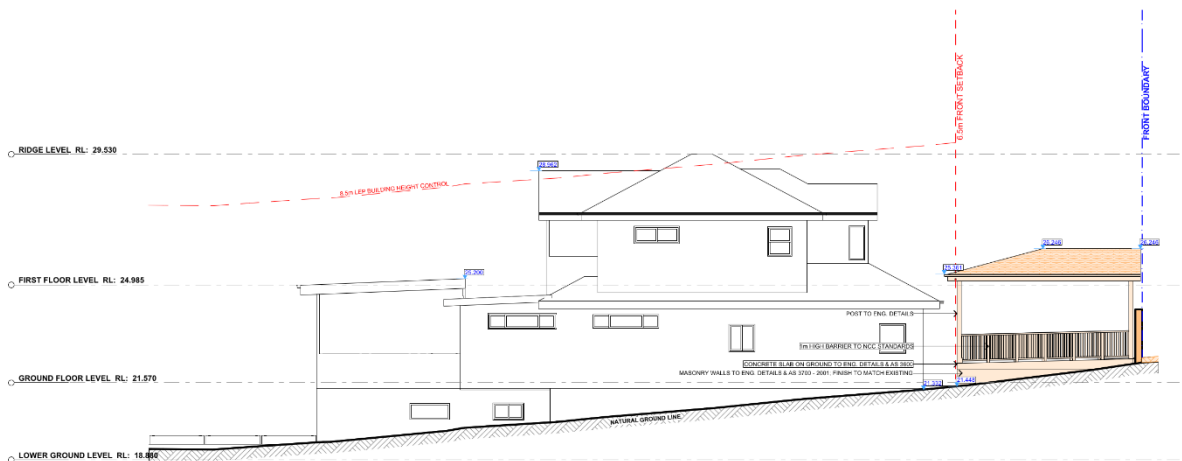
1 PROPOSED LOWER GROUND FLOOR PLAN 1:100				NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC	
ACTION PLANS Tel: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES
	A	14.12.2025	SH-10 MODIFICATION	AL	The drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and dimensions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
				LEGEND EXISTING PROPOSED DEMOLISHED S4.55 MODIFICATION (2025)	
				CLIENT CHRIS HUGGET & SHARON SUTTON PROJECT ADDRESS 29 CONDOVER STREET NORTH BALGOWLAH 2093	
				DRAWING NO. MOD07 DATE Monday, 24 February 2025	
				DRAWING NAME PROPOSED LOWER GROUND FLOOR PLAN SCALE 1:100 @A3	



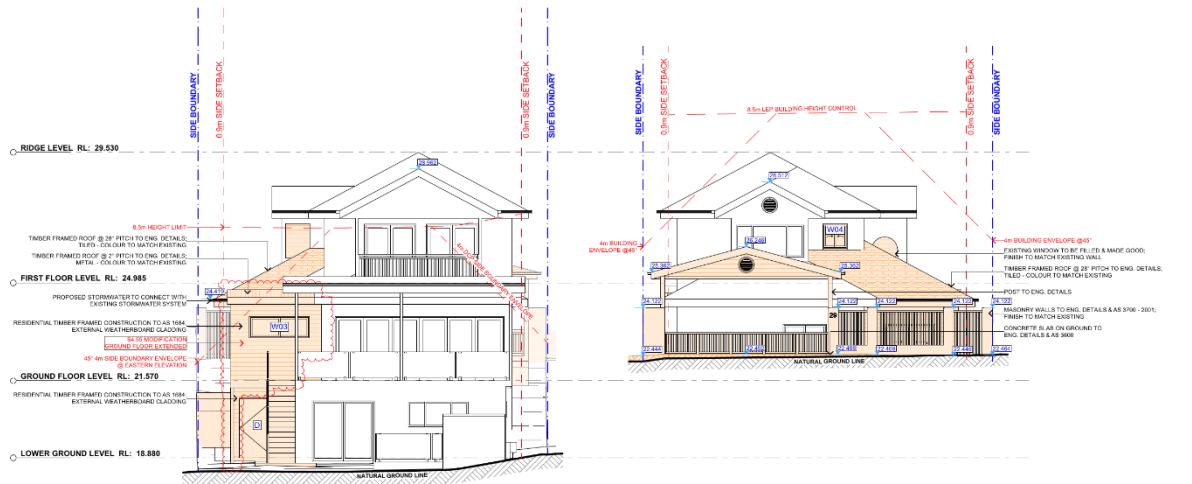
1 PROPOSED GROUND FLOOR PLAN 1:100				NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC	
ACTION PLANS Tel: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES
	A	14.12.2025	SH-10 MODIFICATION	AL	The drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and dimensions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
				LEGEND EXISTING PROPOSED DEMOLISHED S4.55 MODIFICATION (2025)	
				CLIENT CHRIS HUGGET & SHARON SUTTON PROJECT ADDRESS 29 CONDOVER STREET NORTH BALGOWLAH 2093	
				DRAWING NO. MOD08 DATE Monday, 24 February 2025	
				DRAWING NAME PROPOSED GROUND FLOOR PLAN SCALE 1:100 @A3	



1					PROPOSED FIRST FLOOR PLAN		1:100		
 ACTION PLANS tel: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND  EXISTING  PROPOSED  DEMOLISHED  S4.55 MODIFICATION (2025)	CLIENT CHRIS HUGGET & SHARON SUTTON	DRAWING NO. MOD09	DRAWING NAME PROPOSED FIRST FLOOR PLAN
	A	14-12-2025	SH-10 MODIFICATION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and materials are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of work.				
						PROJECT ADDRESS 29 CONDOVER STREET NORTH BALGOWLAH 2093	DATE Monday, 24 February 2025	SCALE 1:100 @A3	

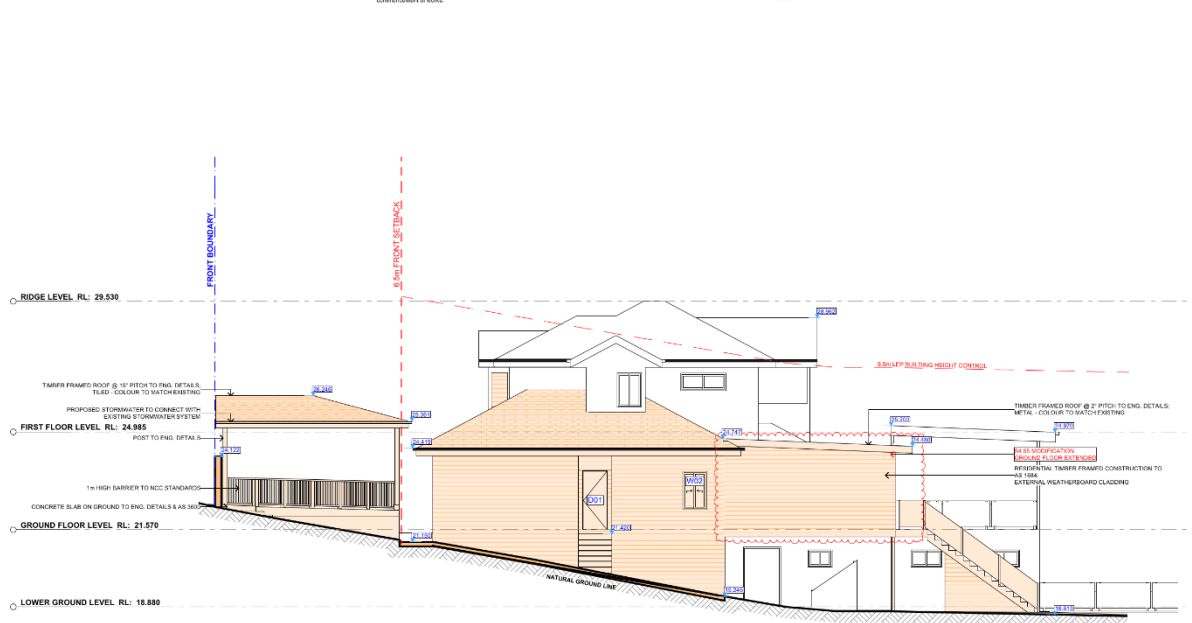


1 NORTH ELEVATION - SIDE					1:100				
 ACTION PLANS tel: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND EXISTING PROPOSED S4.55 MODIFICATION (2025)	CLIENT CHRIS HUGGET & SHARON SUTTON	DRAWING NO. MOD10	DRAWING NAME NORTH ELEVATION - SIDE
	A	14-12-2025	SH-10 MODIFICATION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All sizes and materials are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of work.				



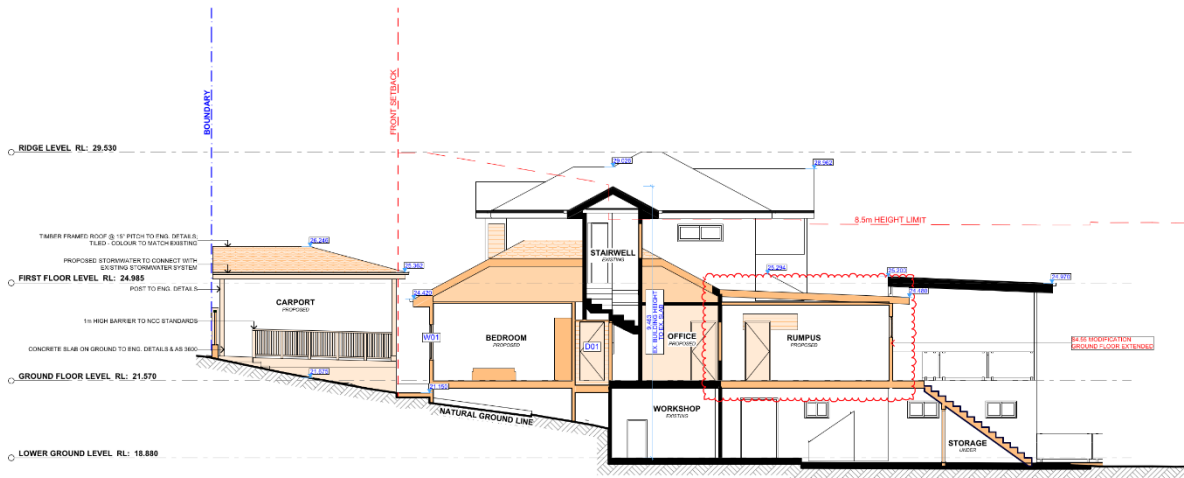
1 EAST ELEVATION - REAR 1:100 2 WEST ELEVATION - PRIMARY ROAD 1:100

REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND	CLIENT	DRAWING NO.	DRAWING NAME
A	14-10-2025	24-10-2025 MODIFICATION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Constructor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and materials are to be verified by the Builder/Constructor and referred to the designer prior to the commencement of work.	EXISTING PROPOSED \$4.55 MODIFICATION (2025)	CLIENT CHRIS HUGGET & SHARON SUTTON PROJECT ADDRESS 29 CONDOVER STREET NORTH BALGOWLAH 2093	DRAWING NO. MOD11 DATE Monday, 24 February 2025	DRAWING NAME EAST / WEST ELEVATION - REAR / PRIMARY ROAD SCALE 1:100 @A3

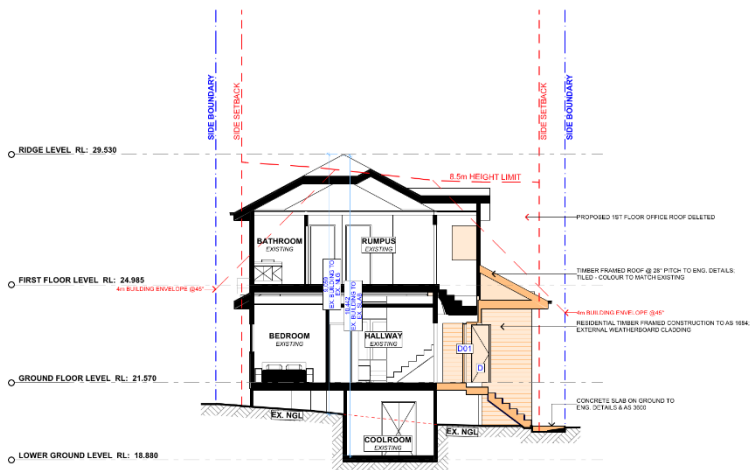


1 SOUTH ELEVATION - SIDE 1:100

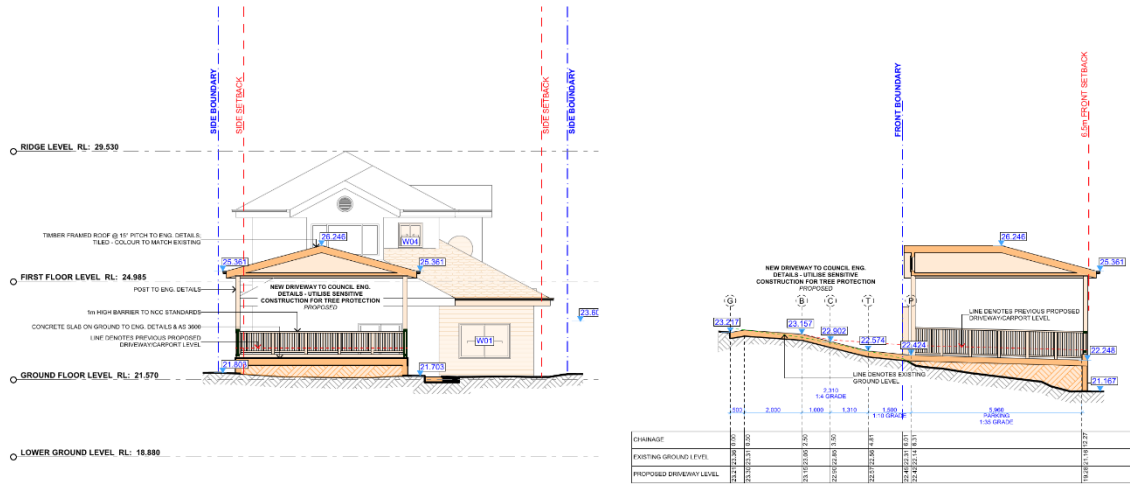
REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND	CLIENT	DRAWING NO.	DRAWING NAME
A	14-10-2025	24-10-2025 MODIFICATION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figure dimensions are to be used only. The Builder/Constructor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and materials are to be verified by the Builder/Constructor and referred to the designer prior to the commencement of work.	EXISTING PROPOSED \$4.55 MODIFICATION (2025)	CLIENT CHRIS HUGGET & SHARON SUTTON PROJECT ADDRESS 29 CONDOVER STREET NORTH BALGOWLAH 2093	DRAWING NO. MOD12 DATE Monday, 24 February 2025	DRAWING NAME SOUTH ELEVATION SCALE 1:100 @A3



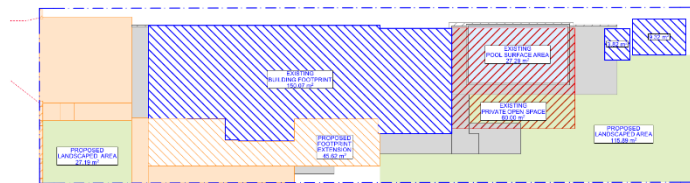
1 LONG SECTION 1:100				CLIENT		DRAWING NO.		DRAWING NAME	
 ACTION PLANS m: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au				CHRIS HUGGET & SHARON SUTTON		MOD13		LONG SECTION	
REV.	DATE	COMMENTS	DRWN NOTES	LEGEND		DATE		SCALE	
A	14.10.2025	SH-10 MODIFICATION	AL: This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Constructor shall check and verify all levels and discrepancies on site prior to commencement of any work. Builder/Constructor and referred to the designer prior to the commencement of works.	EXISTING PROPOSED		Monday, 24 February 2025		1:100 @A3	
				S4.55 MODIFICATION (2025)		PROJECT ADDRESS			
						29 CONDOVER STREET			
						NORTH BALGOWLAH			
						2093			



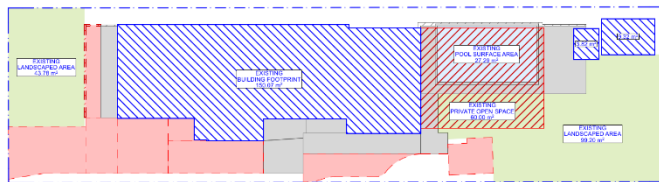
1 CROSS SECTION 1:100				CLIENT		DRAWING NO.		DRAWING NAME	
 ACTION PLANS m: 0426 957 518 e: operations@actionplans.com.au w: www.actionplans.com.au				CHRIS HUGGET & SHARON SUTTON		MOD14		CROSS SECTION	
REV.	DATE	COMMENTS	DRWN NOTES	LEGEND		DATE		SCALE	
A	14.10.2025	SH-10 MODIFICATION	AL: This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Constructor shall check and verify all levels and discrepancies on site prior to commencement of any work. Builder/Constructor and referred to the designer prior to the commencement of works.	EXISTING PROPOSED		Monday, 24 February 2025		1:100 @A3	
				S4.55 MODIFICATION (2025)		PROJECT ADDRESS			
						29 CONDOVER STREET			
						NORTH BALGOWLAH			
						2093			



1					PROPOSED CROSS SECTION - CARPORT		1:100		2		PROPOSED DRIVEWAY LONG SECTION		1:100		
 ACTION PLANS Tel: 0426 567 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES	LEGEND EXISTING PROPOSED \$4.65 MODIFICATION (2025)	CLIENT	CHRIS HUGGETT & SHARON SUTTON	DRAWING NO.	MOD15		DRAWING NAME	CARPORT / DRIVEWAY LONG / CROSS SECTION		
	A	14-10-2025	SH-10 MODIFICATION	AL	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means, in part or in whole, without the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Constructor shall check and verify all levels and dimensions on site prior to commencement of any work. Creation of shop drawings, or fabrication of components, all sizes and materials are to be verified by the Builder/Constructor and referred to the designer prior to the commencement of work.		PROJECT ADDRESS	28 CONDOVER STREET NORTH BALGOWLAH 2093		DATE	Monday, 24 February 2025		SCALE	1:100 @A3	



2 PROPOSED AREA CALCULATION PLAN 1:200



1 EXISTING AREA CALCULATION PLAN 1:200

3 MATERIAL SAMPLE BOARD			
ACTION PLANS Tel: 0426 567 518 e: operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS
	A	14-10-2025	SH-10 MODIFICATION
LEGEND EXISTING PROPOSED \$4.65 MODIFICATION (2025)			
CLIENT CHRIS HUGGETT & SHARON SUTTON PROJECT ADDRESS 28 CONDOVER STREET NORTH BALGOWLAH 2093			
DRAWING NO. MOD16 DATE Monday, 24 February 2025			
DRAWING NAME AREA CALCULATIONS / MATERIAL SAMPLE BOARD SCALE 1:200, 1:1.33 @A3			

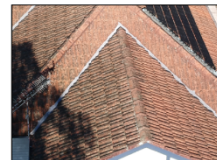
CONTROL TABLE			
SITE AREA 557m²	REQUIRED	EXISTING	PROPOSED
LANDSCAPED AREA	40% (222.8m²)	30.57% (170.27m²)	30.56% (170.37m²)
PRIVATE OPEN SPACE	60m²	60m²	60m²



ALUMINIUM FRAMED WINDOWS
BY STEGBAR



EXTERNAL WEATHERBOARD CLADDING -
COLOUR TO BE CONFIRMED BY CLIENT



TILE ROOFING -
TO MATCH EXISTING

