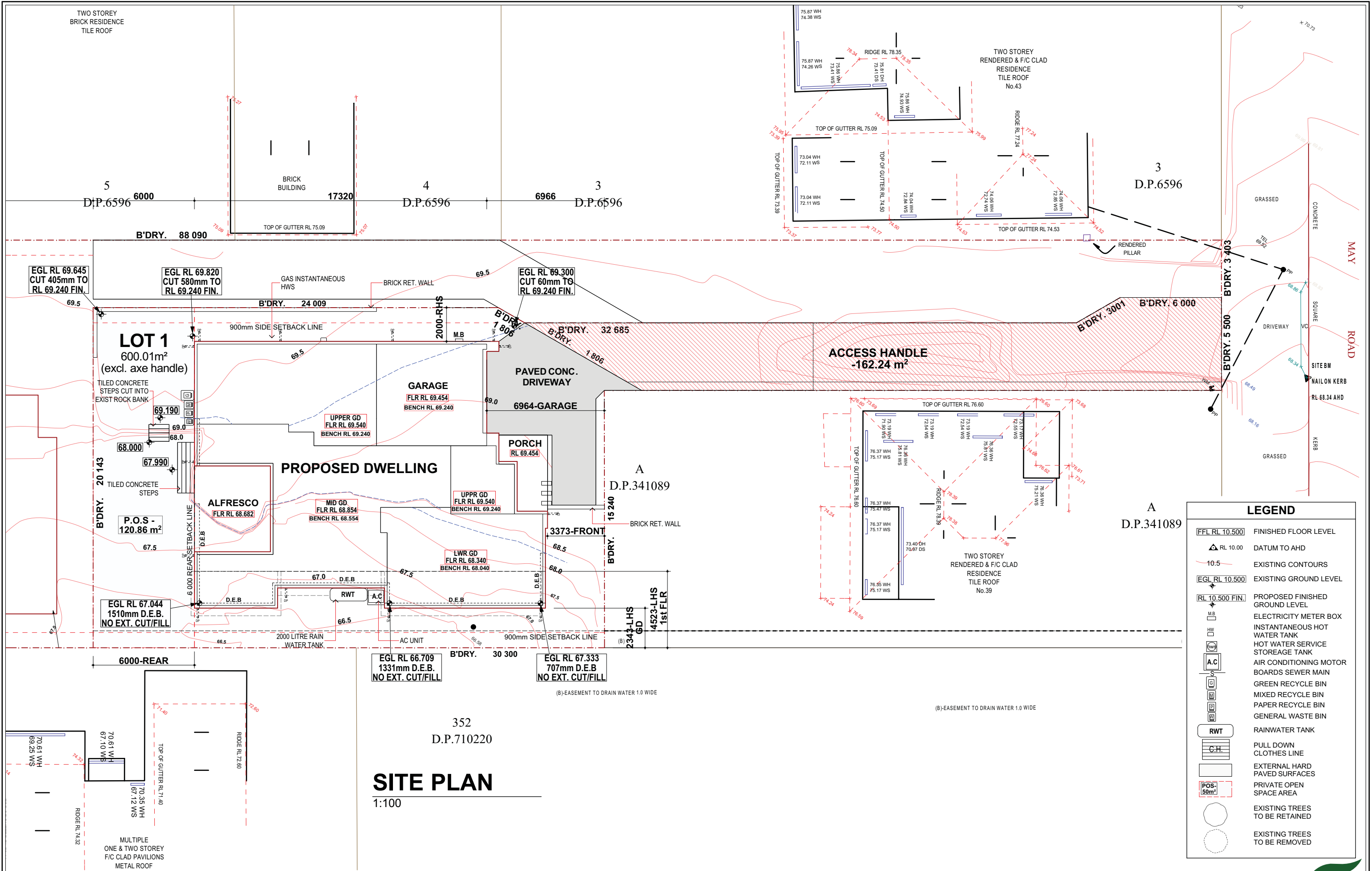
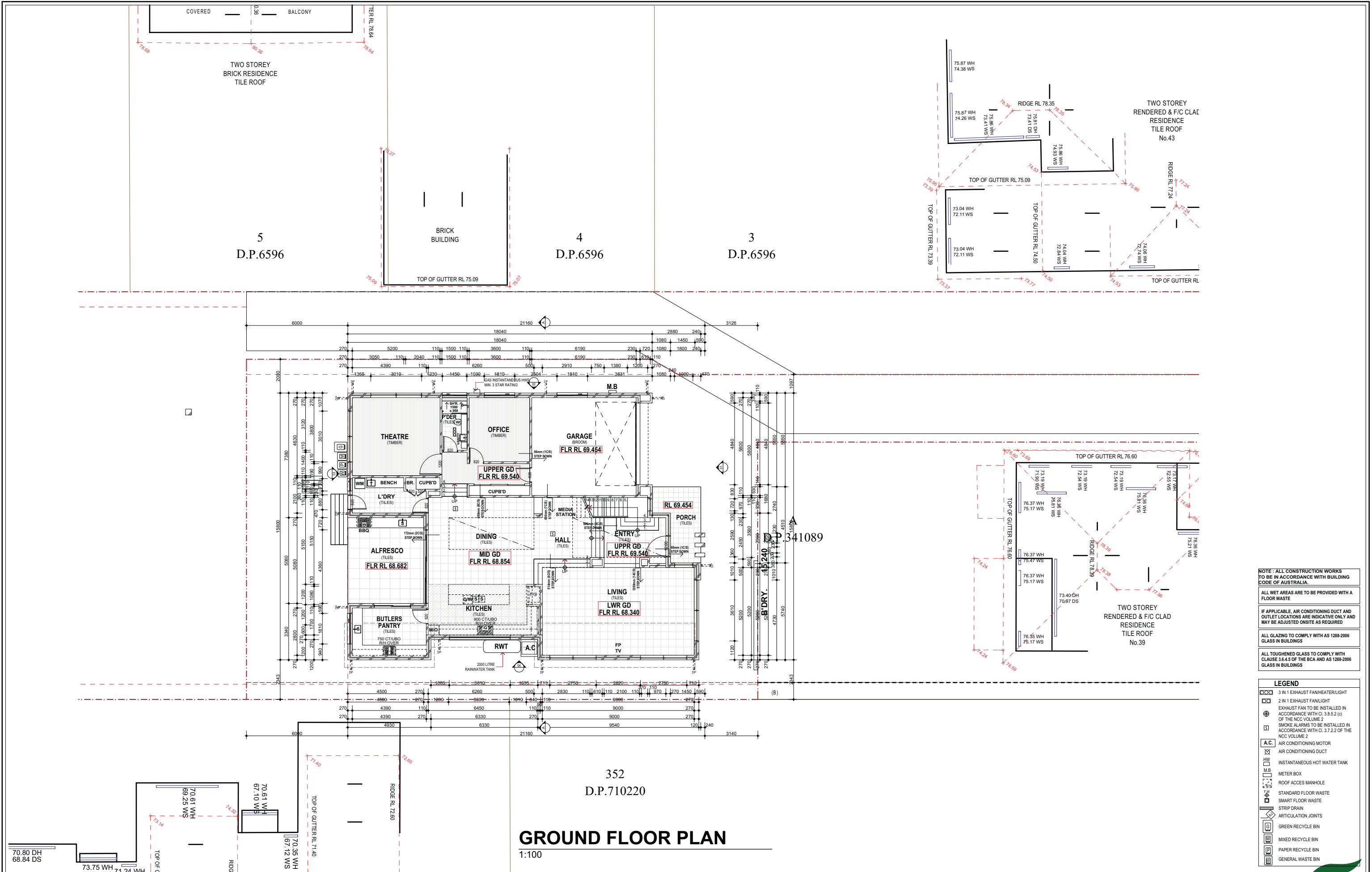




AMENDMENTS				COPYRIGHT		NORTH/SCALE BAR		PROJECT TITLE		CLIENT		Designiche P/L		designiche	
Issue	Date	Amendments	Drawn	Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site. This plan is copyright of Designiche Pty Ltd and may not be used without written consent.		 1:100 1 2 3 4 5m 1:200 2 4 6 8 10m		PROPOSED DWELLING		MRS. RAINA ZHOU		1/45 Crosby Street, Greystanes N.S.W. 2145 (T) 02 9631 7844 (M) 0438 538 118 (E) orhan@designiche.com.au		Building Designers	
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	O.K.					PROJECT ADDRESS		DRAWING TITLE		DATE		SCALE	
				NOT FOR CONSTRUCTION				Lot 1. No. 41, MAY ROAD DEE WHY		SITE PLAN		15.11.19		1:100	
												DRAWN		O.K.	
												PROJECT No.		DWG No.	
												19020		01 OF 08	
														ISSUE	
														A	



NOTE: ALL CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA.

ALL WET AREAS ARE TO BE PROVIDED WITH A FLOOR WASTE

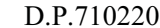
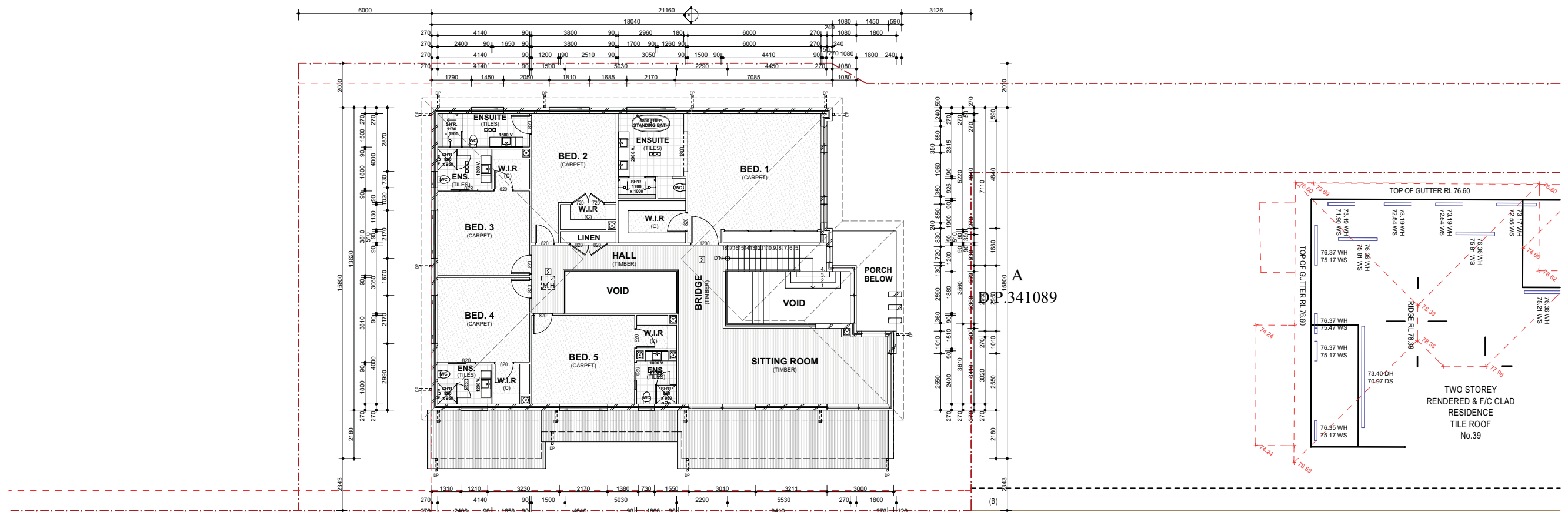
IF APPLICABLE, AIR CONDITIONING DUCT AND OUTLET LOCATIONS ARE INDICATIVE ONLY AND MAY BE ADJUSTED ONSITE AS REQUIRED

ALL GLAZING TO COMPLY WITH AS 1288-2006 GLASS IN BUILDINGS

ALL TOUGHENED GLASS TO COMPLY WITH CLAUSE 3.6.4.5 OF THE BCA AND AS 1288-2006 GLASS IN BUILDINGS

- LEGEND**
- 3 IN 1 EXHAUST FAN/HEATER/LIGHT
 - 2 IN 1 EXHAUST FAN/LIGHT
 - EXHAUST FAN TO BE INSTALLED IN ACCORDANCE WITH CL 3.8.5.2 (c) OF THE NCC VOLUME 2
 - SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CL 3.7.2.2 OF THE NCC VOLUME 2
 - A.C. AIR CONDITIONING MOTOR
 - AIR CONDITIONING DUCT
 - INSTANTANEOUS HOT WATER TANK
 - METER BOX
 - ROOF ACCESS MANHOLE
 - STANDARD FLOOR WASTE
 - SMART FLOOR WASTE
 - STRIP DRAIN
 - ARTICULATION JOINTS
 - GREEN RECYCLE BIN
 - MIXED RECYCLE BIN
 - PAPER RECYCLE BIN
 - GENERAL WASTE BIN

AMENDMENTS				COPYRIGHT	NORTH/SCALE BAR	PROJECT TITLE	CLIENT	Designiche P/L 1/45 Crosby Street, Greystanes N.S.W. 2145 (T) 02 9631 7844 (M) 0438 538 118 (E)orhan@designiche.com.au	designiche Building Designers					
Issue	Date	Amendments	Drawn	Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site. This plan is copyright of Designiche Pty Ltd and may not be used without written consent.  1:100 1 2 3 4 5m 1:200 2 4 6 8 10m										
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	O.K		NOT FOR CONSTRUCTION	PROPOSED DWELLING	MRS. RAINA ZHOU	PROJECT ADDRESS	DRAWING TITLE	DATE	SCALE	DRAWN	PROJECT No.	DWG No.
						Lot 1. No. 41, MAY ROAD DEE WHY	GROUND FLOOR PLAN	15.11.19	1:100	O.K	19020	02 OF 08		
												ISSUE		
												A		

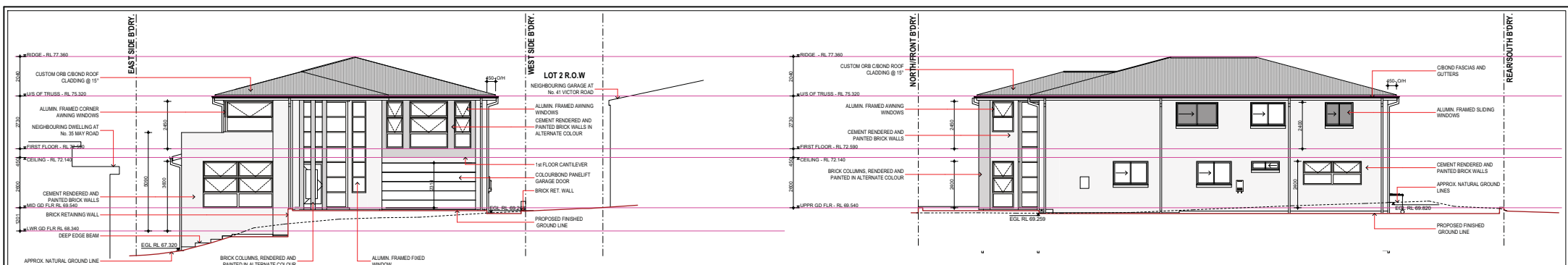


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D.P.710220

FIRST FLOOR PLAN

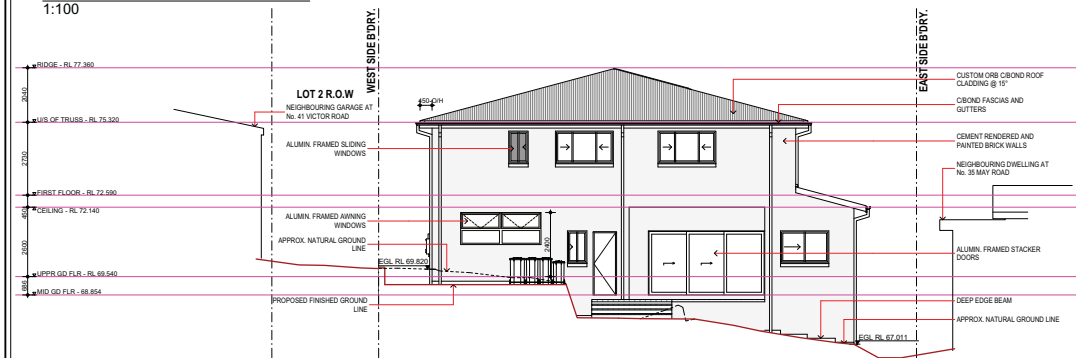
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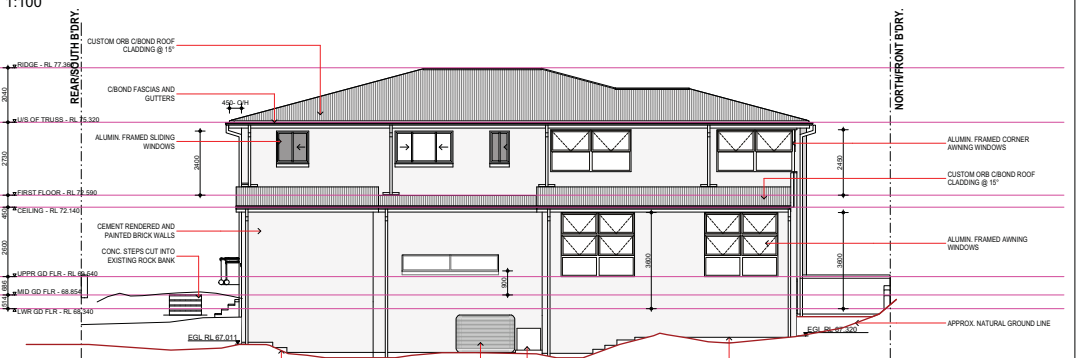


NORTH ELEVATION - 01
1:100

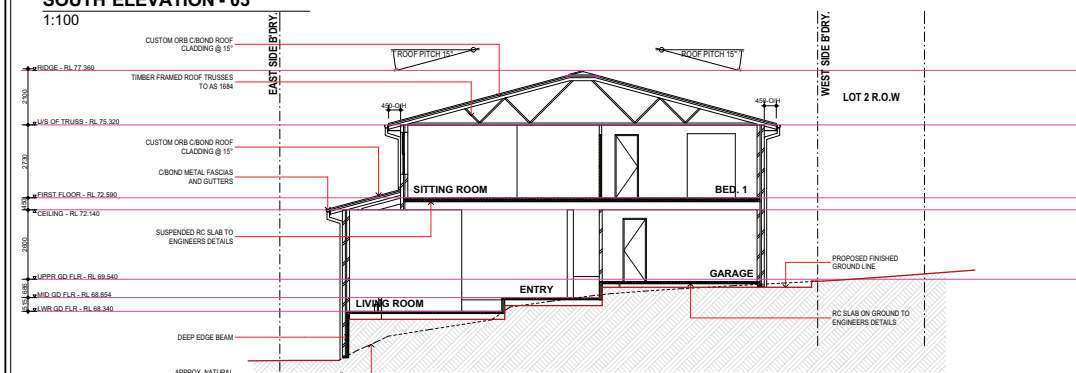
WEST ELEVATION - 02
1:100



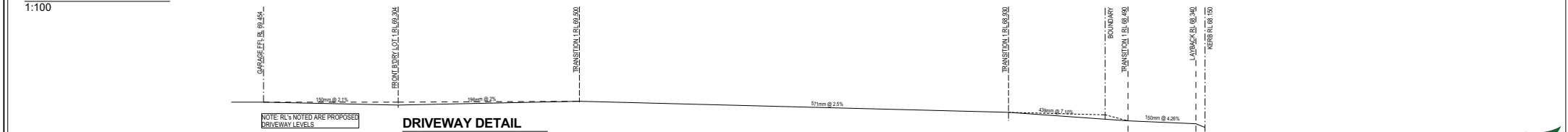
SOUTH ELEVATION - 03
1:100



EAST ELEVATION - 04
1:100



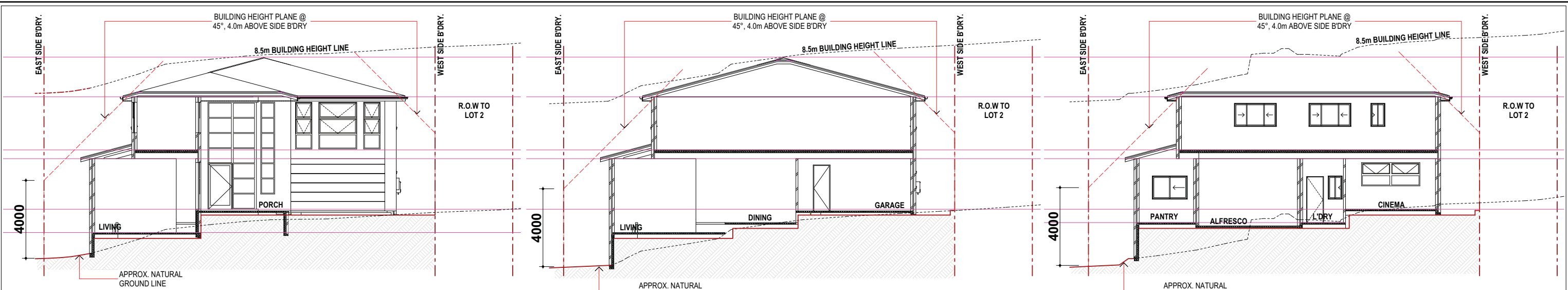
SECTION AA
1:100



NOTE: RL's NOTED ARE PROPOSED DRIVEWAY LEVELS

DRIVEWAY DETAIL
1:100

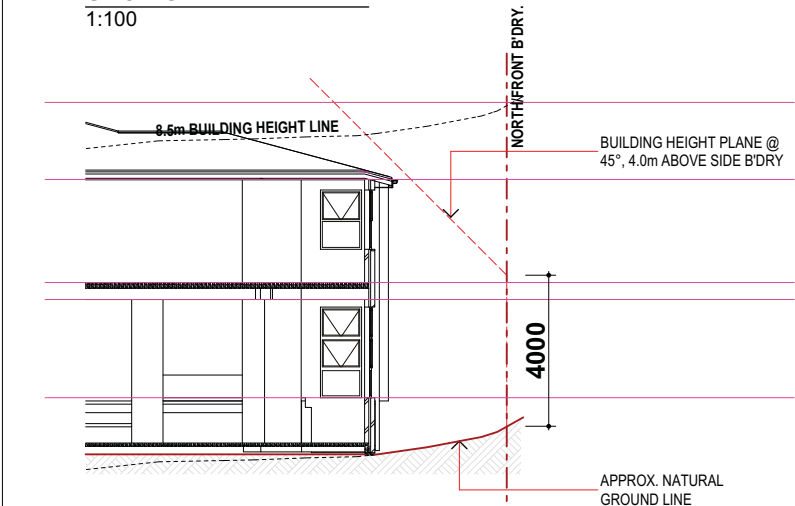
AMENDMENTS				COPYRIGHT		NORTH/SCALE BAR		PROJECT TITLE		CLIENT		Designiche P/L		designiche		Building Designers	
Issue	Date	Amendments	Drawn	Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site. This plan is copyright of Designiche Pty Ltd and may not be used without written consent.		1:100 1 2 3 4 5m 1:200 2 4 6 8 10m		PROPOSED DWELLING		MRS. RAINA ZHOU		145 Crosby Street, Greystanes N.S.W. 2145 (T) 02 9631 7844 (M) 0438 538 118 (E) orhan@designiche.com.au		DATE		SCALE	
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	O.K					PROJECT ADDRESS		DRAWING TITLE				15.11.19		1:100	
B	09.12.20	ELEV. LABELS CHANGED TO COMPASS POINTS	O.K					Lot 1. No. 41, MAY ROAD DEE WHY		ELEVATIONS & SECTION A-A				DRAWN		O.K	
														PROJECT No.		DWG No.	
														19020		04 OF 08	
														ISSUE		B	



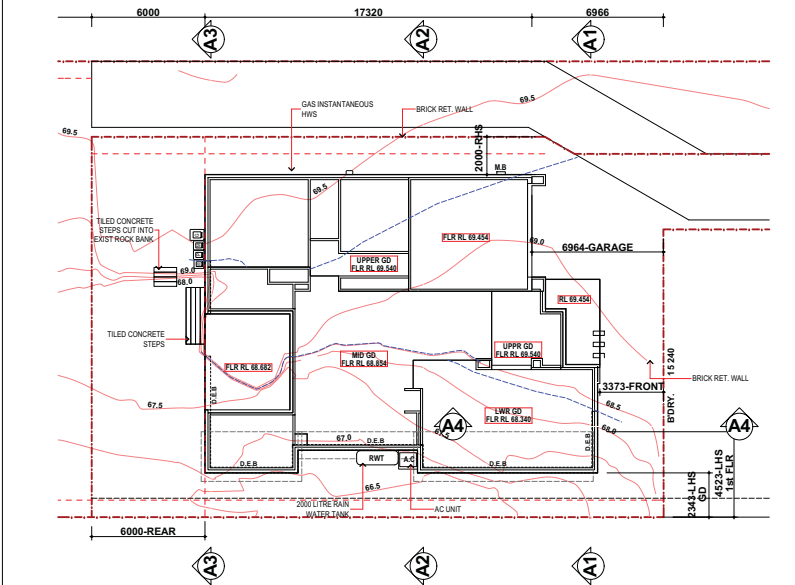
SECTION A1
1:100

SECTION A2
1:100

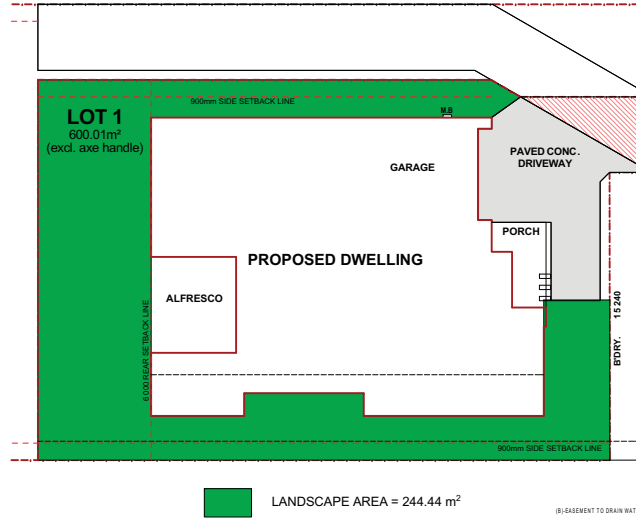
SECTION A3
1:100



SECTION A4
1:100



SITE SECTIONS-KEY PLAN



LANDSCAPE AREA PLAN

WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011 MAPPING			
CONTROLS	REQ'D	PROPOSED	COMPLIES
HEIGHT OF BUILDINGS MAP	8.5m max	8.45m	YES
LAND ZONING MAP	R 2	PERMISSABLE	YES
LOT SIZE MAP	600m²	600.01m²	YES
LANDSLIP	AREA B	SUBJECT TO TO ENG. SPEC'S	YES

WARRINGAH DEVELOPMENT CONTROL PLAN DEVELOPMENT CONTROLS CHECK			
CONTROLS	REQ'D	PROPOSED	COMPLIES
BUILT FORM CONTROLS			
Wall heights Max. ht. of walls from natural gd to upper ceiling	7.20m	7.35m	NO
Side Boundary Envelope Buildings to be sited with a 45° envelope 4 or 5 meters above ground @ side boundaries	4m @ 45°	see envelope plan	YES
Side Boundary Setbacks Minimum side boundary setbacks	RHS LHS 0.90m 0.90m	2.0m 2.343m	YES YES
Front Boundary Setbacks Minimum front boundary setbacks	6.50m	N/A- b/axe lot	-
Bldgs & structures to occupy max 50% of are between primary & secondary setbacks		N/A- b/axe lot	-
Allowable reduction to secondary street setback, where main setback is 6.50m	3.50m min.	N/A- b/axe lot	-
Rear Setbacks Minimum rear boundary setback	6.0m	6.0m	YES
SITING FACTORS			
Parking Facilities Garage opening to be max 6m or 50% bldng width	6.0m	5.5m	YES
Minimum amount of parking spaces/dwelling	2	2	YES
DESIGN			
Landscaped Open Space and Bushland Setting Minimum 40% of site to be landscaped	240m²	244.40m²	YES
Min. width of area to be counted as landscaped	2.0m	2.0m	YES
Private Open Space (P.O.S.) Min. area of P.O.S for => 3 bed dwellings	60m²	120.86m²	YES
Min. dimension for calculating P.O.S areas	5.0m	6.0m	YES
Building Bulk Side and rear setbacks to increase as wall height increases		See elevations	YES
Maximum amount of fill	1.0m	1.51m(internal)	YES
Fill to be contained within building footprint		See site plan	YES
Excavation to be minimised		See site plan	YES
Orient development to address the street	Street orientation	N/A- b/axe lot	-

AMENDMENTS

Issue	Date	Amendments	Drawn
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	O.K

COPYRIGHT

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NORTH/SCALE BAR

1:100 1 2 3 4 5m
1:200 2 4 6 8 10m

NOT FOR CONSTRUCTION

PROJECT TITLE

PROPOSED DWELLING

CLIENT

MRS. RAINA ZHOU

PROJECT ADDRESS

Lot 1. No. 41, MAY ROAD DEE WHY

DRAWING TITLE

CONTROLS

Designiche P/L

1/45 Crosby Street,
Greystanes N.S.W. 2145
(T) 02 9631 7844
(M) 0438 538 118
(E)orhan@designiche.com.au

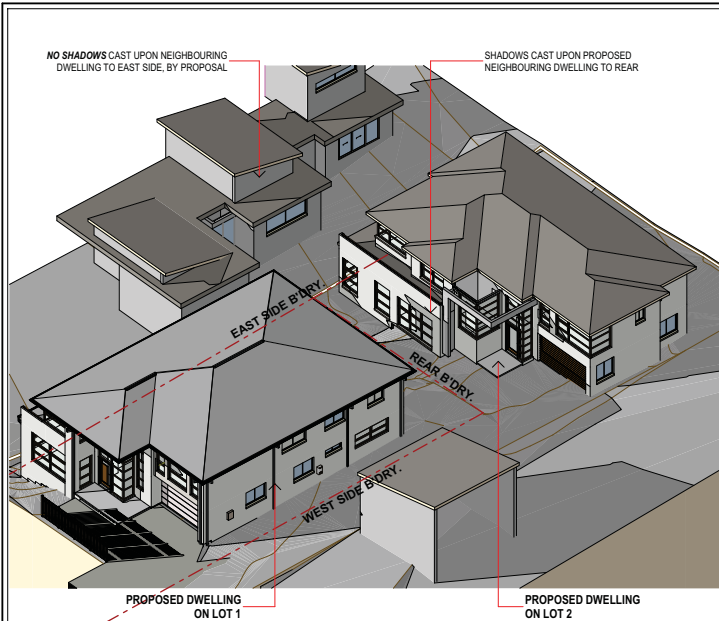
designiche

Building Designers

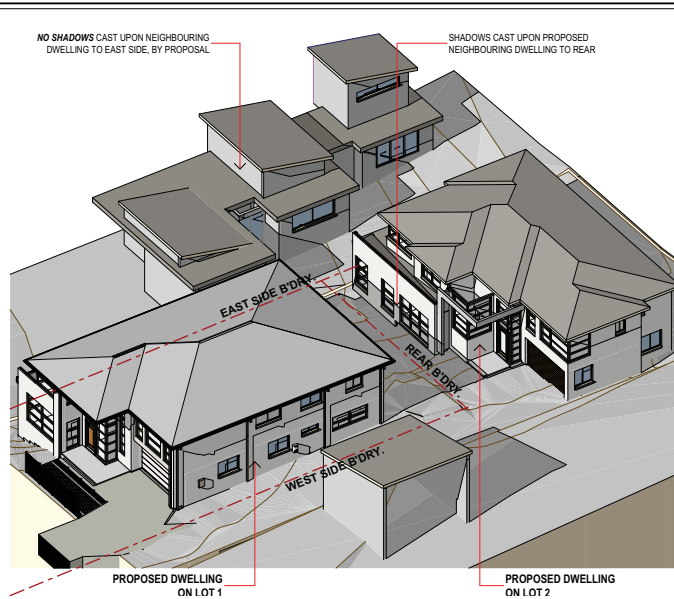
DATE	SCALE	DRAWN	PROJECT No.	DWG No.
15.11.19	1:66.67	O.K	19020	05 OF 08

ISSUE

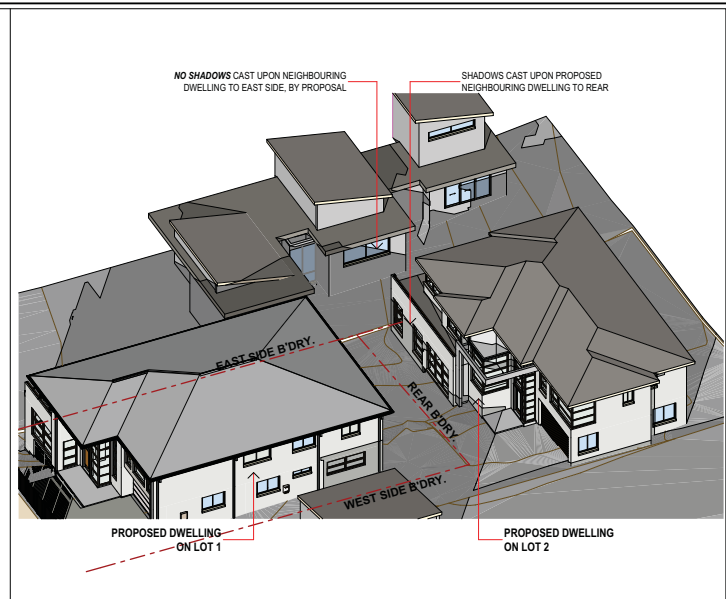
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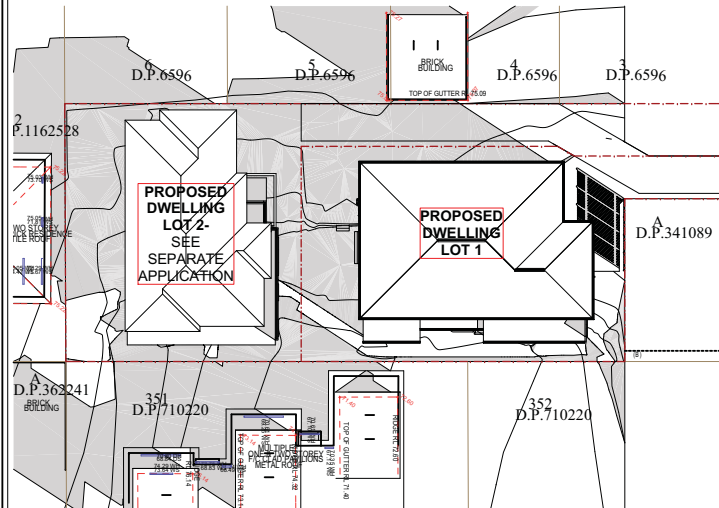
ELEVATION SHADOWS



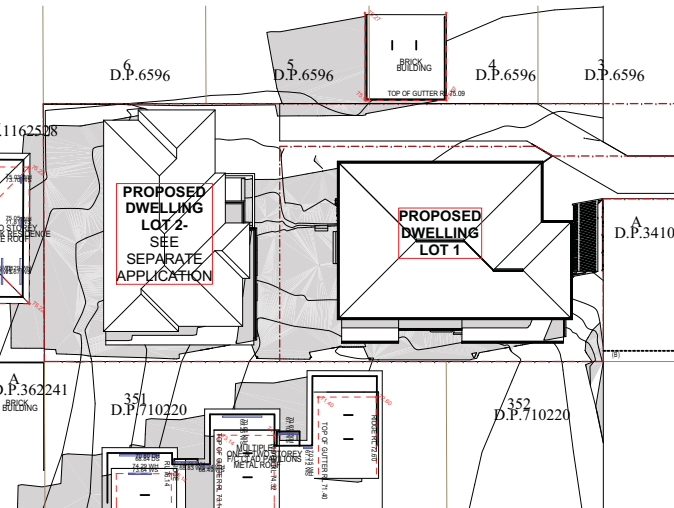
ELEVATION SHADOWS



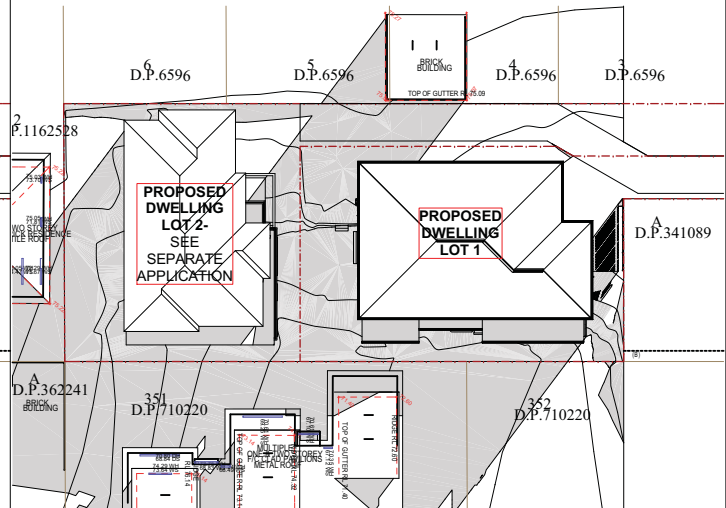
ELEVATION SHADOWS



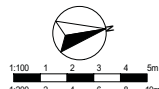
JUN 21 09:00



JUN 21 12:00



JUN 21 15:00

AMENDMENTS				COPYRIGHT		NORTH/SCALE BAR		PROJECT TITLE		CLIENT		Design niche P/L		design niche Building Designers	
Issue	Date	Amendments	Drawn	Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site. This plan is copyright of Design niche Pty Ltd and may not be used without written consent.				PROPOSED DWELLING		MRS. RAINA ZHOU		145 Crosby Street, Greystanes N.S.W. 2145		DATE	
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	OK					PROJECT ADDRESS		DRAWING TITLE		(T) 02 9631 7844		SCALE	
B	09.12.20	ELEV. LABELS CHANGED TO COMPASS POINTS	OK					Lot 1. No. 41, MAY ROAD DEE WHY		SHADOW DIAGRAMS		(M) 0438 538 118		DRAWN	
												Ejorhan@design niche.com.au		PROJECT No.	
												15.11.20		1:181.82, 1:190.43 K	
												19020		DWG No.	
												08 OF 08		ISSUE	
												B			

NOT FOR CONSTRUCTION

Single Dwelling

Certificate number: 1067834S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 23 December 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	LOT 1, 41 MAY RD DEE WHY	
Street address	41 MAY RD DEE WHY 2099	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 341089	
Lot no.	B	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	6	
Project score		
Water	✔ 42	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name:	GEC CONSULTING PTY LTD
ABN (if applicable):	13141188936

Description of project

Project address	
Project name	LOT 1, 41 MAY RD DEE WHY
Street address	41 MAY RD DEE WHY 2099
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 341089
Lot no.	B
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	6
Site details	
Site area (m²)	600
Roof area (m²)	338
Conditioned floor area (m2)	404.0
Unconditioned floor area (m2)	14.0
Total area of garden and lawn (m2)	244

Assessor details and thermal loads		
Assessor number	20327	
Certificate number	33236484	
Climate zone	56	
Area adjusted cooling load (MJ/m²·year)	25	
Area adjusted heating load (MJ/m²·year)	39	
Project score		
Water	✔ 42	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

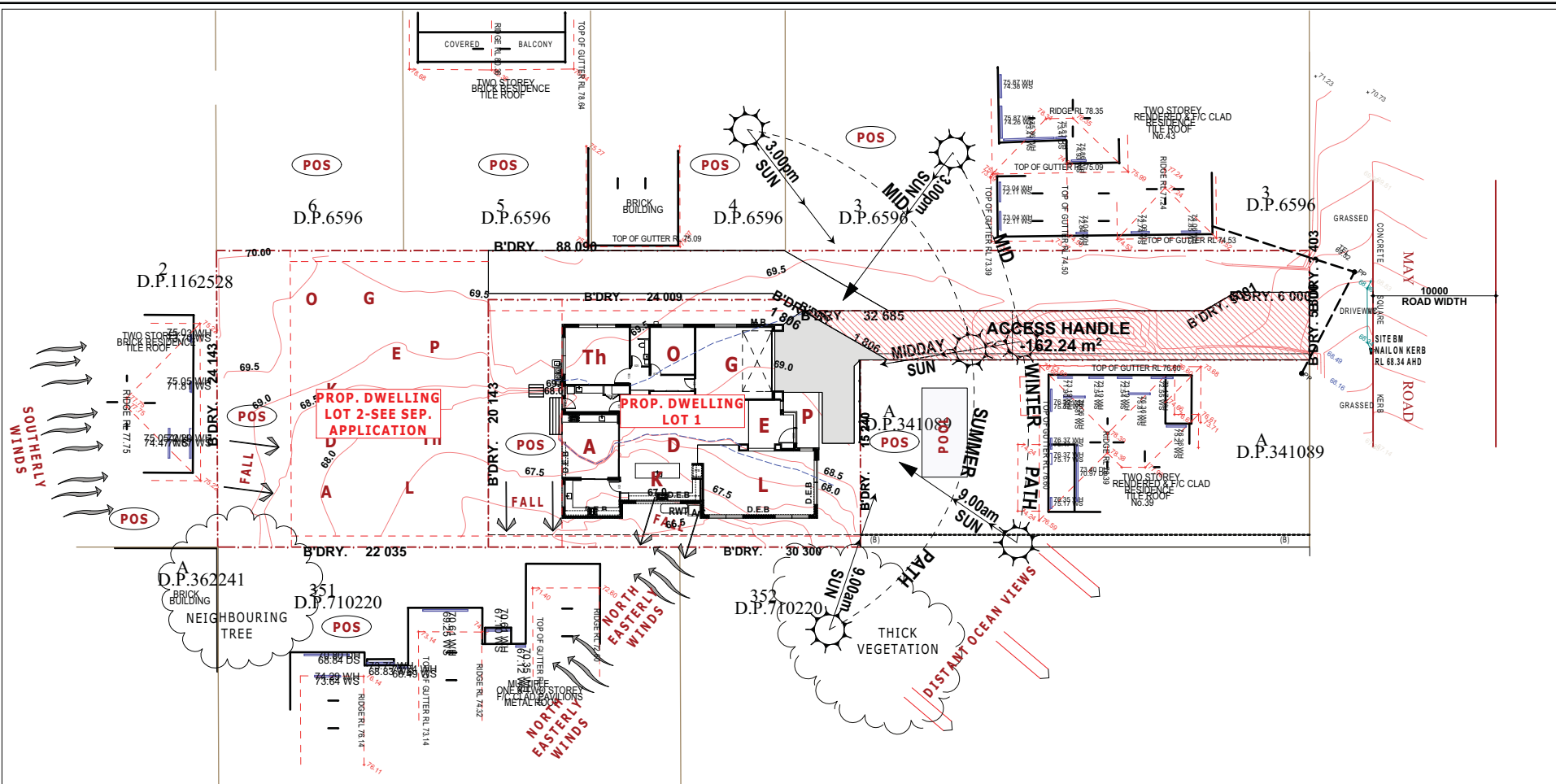
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction		Area	
floor - concrete slab on ground		All or part of floor area square metres	
floor - suspended floor above garage		All or part of floor area	

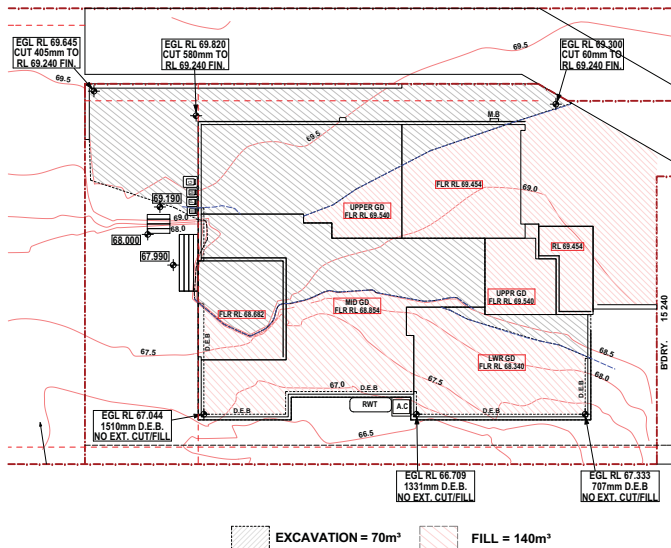
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 6 of the bedrooms / study; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 4 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 6 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

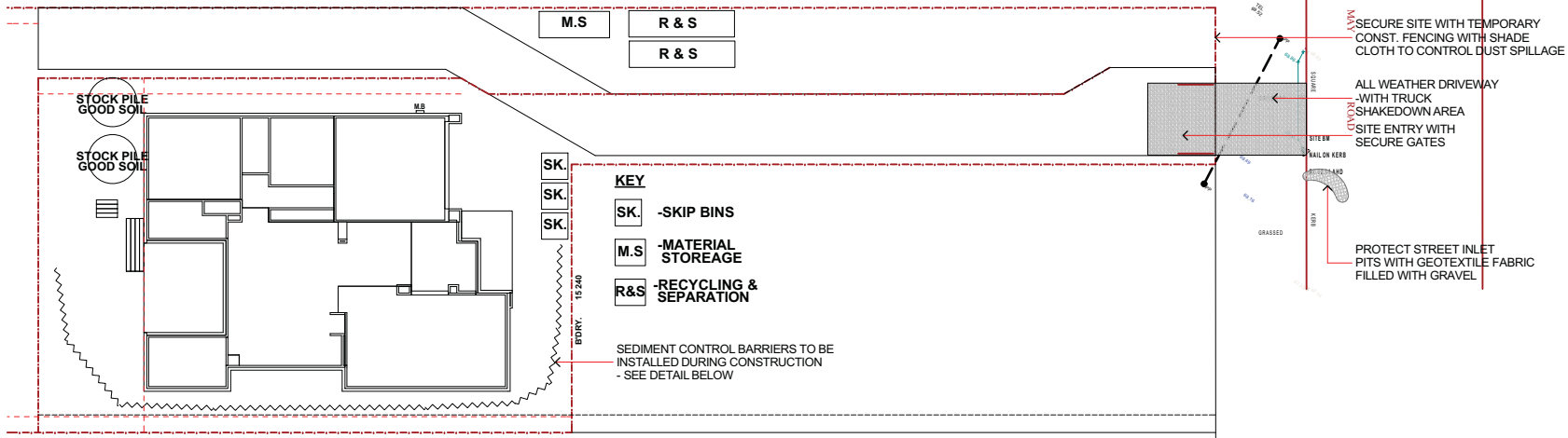
Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.



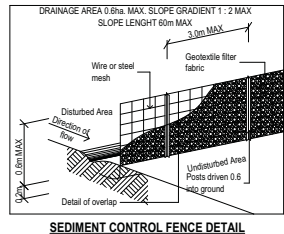
SITE ANALYSIS
1:250



EXCAVATION/FILL PLAN
1:200



SITE MANAGEMENT PLAN
1:200



AMENDMENTS			
Issue	Date	Amendments	Drawn
A	23.12.19	DEVELOPMENT APPLICATION SUBMISSION	O.K.

COPYRIGHT		NORTH/SCALE BAR	
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NOT FOR
CONSTRUCTION

PROJECT TITLE		CLIENT	
PROPOSED DWELLING		MRS. RAINA ZHOU	
PROJECT ADDRESS		DRAWING TITLE	
Lot 1. No. 41, MAY ROAD DEE WHY		SITE ANALYSIS, EXCAVATION & SITE MANAGEMENT PLANS	

Designiche P/L

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(M) 0438 538 118
(E)orhan@designiche.com.au

designiche

Building Designers

DATE	SCALE	DRAWN	PROJECT No.	DWG No.
15.11.19	1:250, 1:200	O.K	19020	07 OF 08
				ISSUE A

F1

F2

Monument

F3

Dulux

Classic Cool

F4

F6

F5

F7



FINISHES LEGEND

REF.	ITEM	FINISH	COLOUR
F 1	Roof	Colourbond	Shale Grey
F 2	Windows	Aluminium	Monument
F 3	Walls	Rendered & painted brick	Dulux - Natural White - SW1F4
F 4	Feature brick columns	Rendered & painted brick	Dulux - Classic Cool
F 5	Barge, fascias & gutters	Colourbond	Windspray
F 6	Walls - 2	Matrix cladd or painted render	Dulux - Classic Cool
F 7	Garage Door	Steel	White

AMENDMENTS LIST				COPYRIGHT	NORTH	PROJECT TITLE	CLIENT	Designiche P/L 1/45 Crosby Street, Greystanes N.S.W. 2145 (T) 02 9631 7844 (M) 0438 538 118 (E)orhan@designiche.com.au	designiche Building Designers
ISSUE	DATE	AMENDMENTS	DRAWN	CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. THIS PLAN IS COPYRIGHT OF DESIGNICHE P/L AND MAY NOT BE USED WITHOUT WRITTEN CONSENT.		PROPOSED DWELLING	MRS. RAINA ZHOU		
A	03.12.19	DA SUBMISSION	O.K.			PROJECT ADDRESS	DRAWING TITLE		
						Lot 1. No. 41, MAY ROAD, DEE WHY NSW	SCHEDULE OF FINISHES		
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