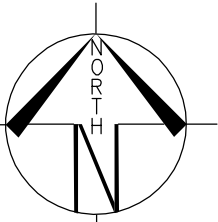


NORTH



LOT 9

LOT 11

LOT 12

LOT 11

D.P: 36192

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA 549 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 254.1 m²
(MIN. DIMENSION OF 2.0m) 46.3 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 196.7 m²
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
MAXIMUM CEILING HEIGHT 7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT
45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE

STORMWATER CALCULATION

ROOF FOOTPRINT: 223.3m²
DRIVEWAY/ PAVED AREAS: 35.4m²
TOTAL: 258.7m²
47.1 %

MAX SITE COVERAGE FOR OSD: 40%

Maximum 1000mm CUT

DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M "

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

STORMWATER TO
ON SITE ABSORPTION
VIA RAIN TANK & O.S.D.

REFER TO HYDRAULIC DETAILS

TOW RL65.75
(REFER TO HYDRAULICS)

APPROX. LOCATION OF
SIP (REFER TO
HYDRAULICS)

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOT 10

TOW RL65.80
(REFER TO HYDRAULICS)

PROVIDE CONCRETE
LANDING AND STEPS BY
CLARENDON

LOCATION OF AIR
CONDITIONING UNIT

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOCATION OF
METER BOX

69.56LIP GUTR
PROVIDE CONCRETE
LANDING AND STEP BY
CLARENDON

PROPOSED DRIVEWAY
BY OWNER AFTER
HANDOVER

PROPOSED
RESIDENCE
FFL R.L. 66.210
FGL R.L. 65.900
(Levels are +/-100mm)

RENDERED
RESIDENCE
TILE ROOF
No.4

GARAGE
STEPDOWN
75mm
FFL R.L. 66.135
(Levels are +/-100mm)

APPROX. LOCATION OF
SIP & LEVEL SPREADER
GRADED DRAIN (REFER
TO HYDRAULICS)

DROP EDGE BEAM
1.000H F.F.L TO N.G.L

BRICK
RESIDENCE
TILE ROOF
No.2

LOCATION OF 2x 4655L SLIMLINE
ABOVE GROUND RAINWATER
TANKS TO SUIT O.S.D.
REQUIREMENTS
(3300Lx800Wx1860H)

APPROX. LOCATION OF
SIP (REFER TO
HYDRAULICS)

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0976

 DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: DATE:

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH SCALE

PRODUCT:
FAIRMONT 41
Classic
L/H Garage

Sapphire Specification

CLIENT:
Mr. LIN
Mrs. LIN

SITE ADDRESS:
Lot 11 No.4, DP 36192
Crete Street
NARRAWA 2000

DA DRAWINGS

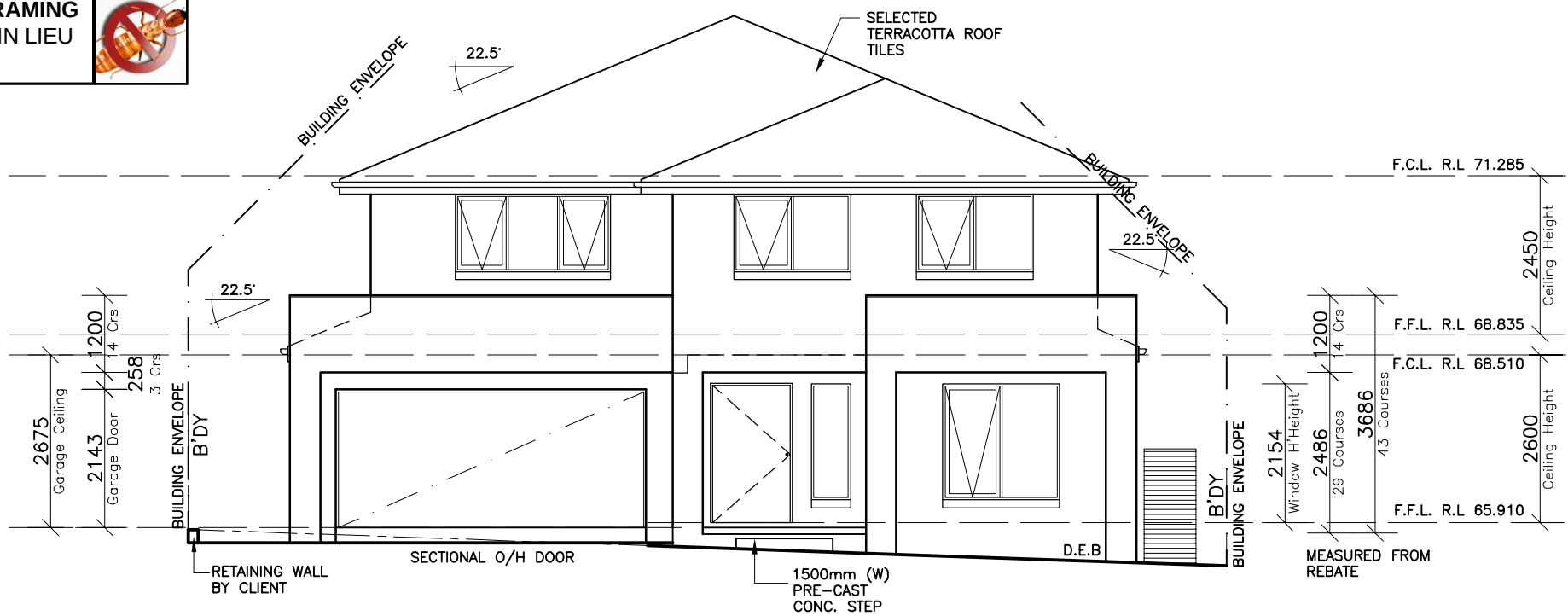
DRAWN: BG	DATE: 14.02.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913539	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

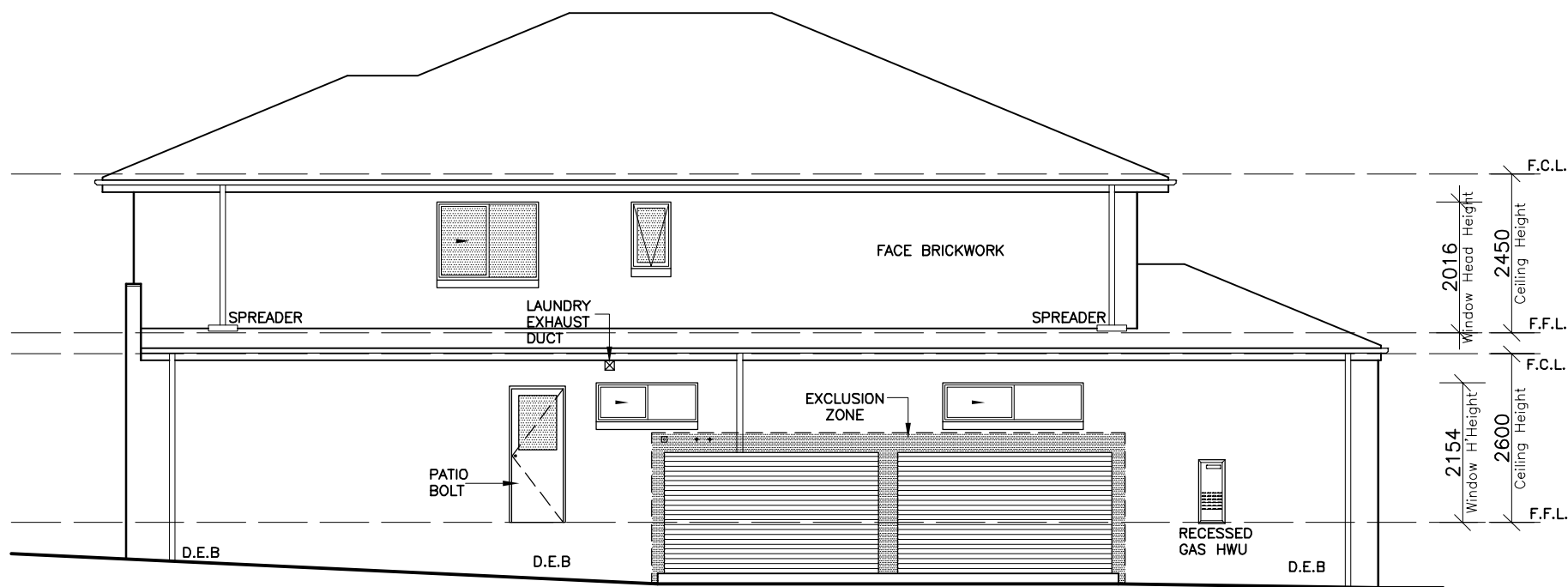
DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0976

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 9854 5200

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DIMENSIONS TO BE READ IN
CONJUNCTION TO SCALE

PRODUCT:
FAIRMONT 41
Classic
L/H Garage

Sapphire Specification

CLIENT:
Mr. LIN
Mrs. LIN

SITE ADDRESS:
Lot 11 No.4, DP 36192
Crete Street
NADDARWENIA 2000

DA DRAWINGS

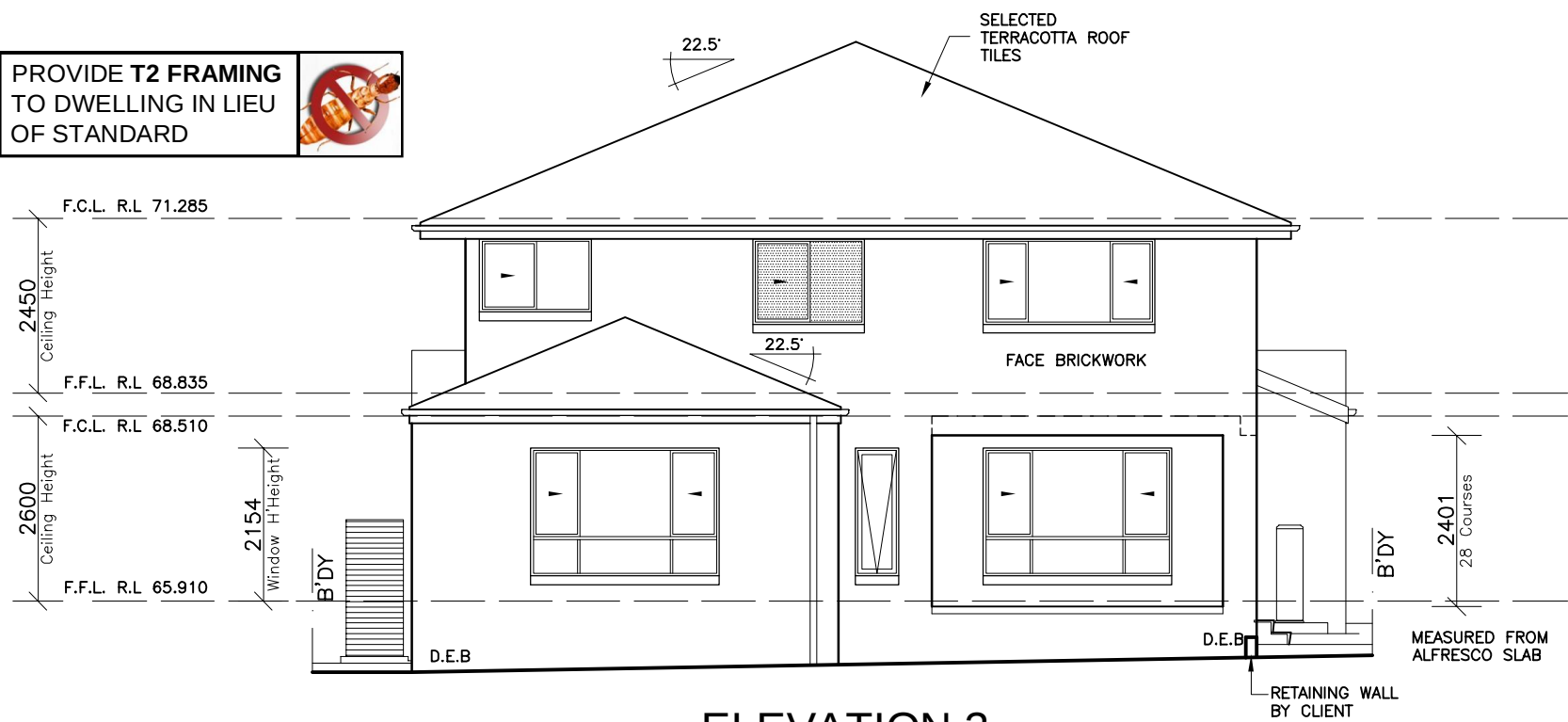
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RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913539	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

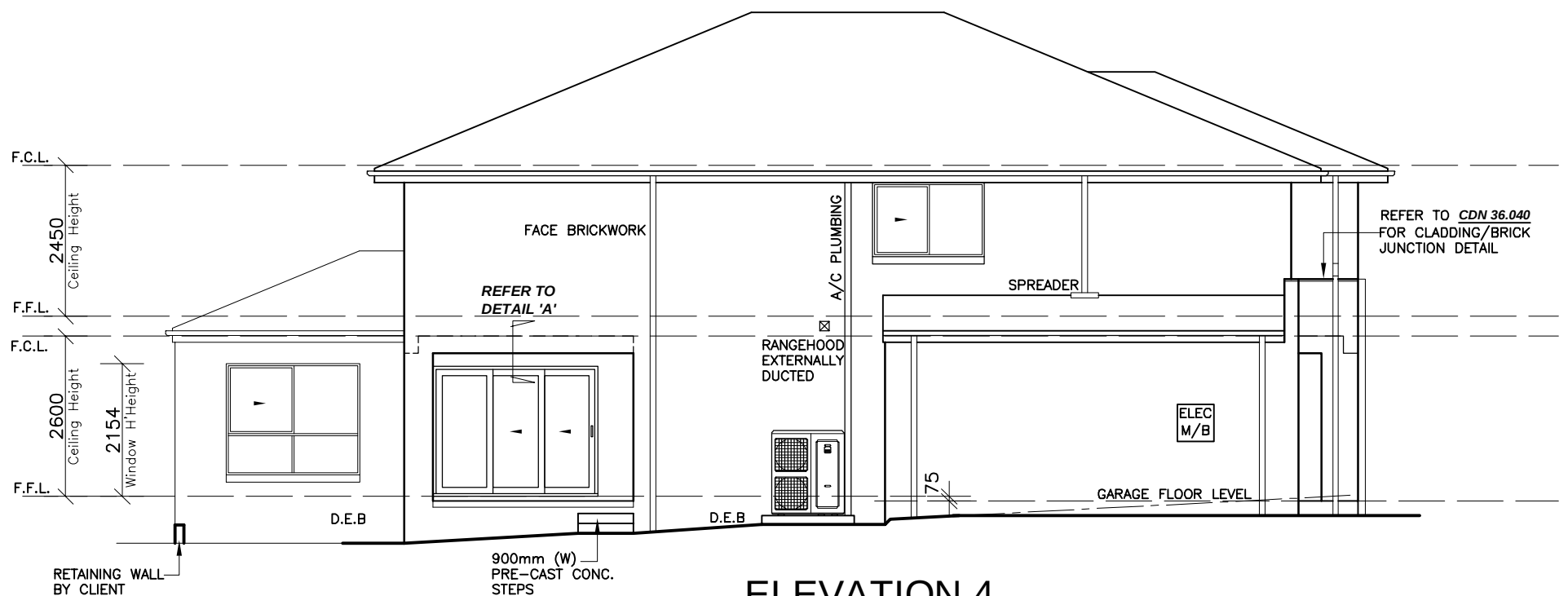
DENOTES WINDOWS WITH 6.38MM TRANSLUCENT GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-

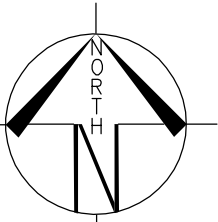
 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0976

CLIENT'S SIGNATURE: _____ DATE: _____					
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 9854 5200		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN CONJUNCTION TO SCALE		PRODUCT: FAIRMONT 41 Classic L/H Garage Sapphire Specification	
CLIENT: Mr. LIN Mrs. LIN SITE ADDRESS: Lot 11 No.4, DP 36192 Crete Street NADDARWEENA 2000		DA DRAWINGS			
DRAWN: PG.		DATE: 15.02.19		Rev: F	
RATIO @ A3: 1:100		CHECKED: J.S			
SHEET: 6		JOB No: 29913539		NSW	

NORTH



MM
DP 36192

LOT 9

LOT 11

D.P: 36192

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 11
549m²

LOT 12

LOT 10

PROPOSED
RESIDENCE
FFL R.L. 66.210
FGL R.L. 65.900
(Levels are +/-100mm)

GARAGE
STEPDOWN
75mm
FFL R.L. 66.135
(Levels are +/-100mm)

BRICK
RESIDENCE
TILE ROOF
No.2

APPROXIMATE LOCATION
OF SEDIMENT FENCE

SEDIMENT FENCE AROUND
WASTE MATERIALS

ALL WEATHER
ACCESS POSITION

CRETE STREET

BM 11
RL 66.42
(AHD)



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0976

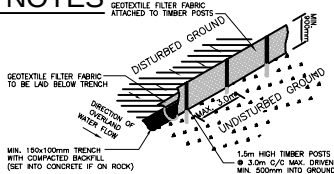
CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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DIMENSIONS TO BE READ IN
CONJUNCTION WITH SCALE

PRODUCT:

FAIRMONT 41
Classic
L/H Garage

Sapphire Specification

CLIENT:

Mr. LIN
Mrs. LIN

SITE ADDRESS:

Lot 11 No.4, DP 36192

Crete Street

NADDARWENIA 2000

DA DRAWINGS

DRAWN:
PG.

RATIO @ A3:
1:200

SHEET:
2 1

DATE:
15.02.19

CHECKED:
J.S

JOB No:

29913539

Rev:

F

NSW



DA2019/0976

LOT 12

PROPOSED
RESIDENCE
FFL R.L. 66.210

DH
(ADS)

	Colour / Stencil Concrete
	Mulched Paths
	Planting Areas
	Lawn Areas
	1800mm High Boundary Fencing
	Existing Trees To Be Removed
	Existing Trees To Be Retained

Issue:	Description:	By:	Date:
A	Submission Plan	JST	14/03/19
B	Bldr: Services	JS	16/08/19

Scale: 1:200

LP 01

Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

LOT AREA	549 sq m	
LANDSCAPED AREA TOTAL	257.3 sq m	46.866%

Client: **Mr & Mrs Lin**

- 1.
- 2.

Job No. **190099**

Drawing: **Landscape Plan**

Address: **Lot 11, No. 4 Crete Street**
Narraweena

Council: **Northern Beaches**

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au

Bins are to be stored in a location not visible from the street

Timber sleeper or masonry retaining wall

Side gates are to be set back from front facade and to be flush with the adjoining properties side gate where possible. Side fences are not to extend forward of the side gate

Coloured concrete or
stencilcrete driveway

5-AsCs

Masonry letterbox

Insitu plain uncoloured concrete to council crossover

Any existing trees are to be protected in accordance with councils Tree Protection Detail

— Clothes Drying Area

DROP EDGE BEAM
1.000H F.F.L TO N.G.L

- Side gates are to be set back from front facade and to be flush with the adjoining properties side gate where possible. Side fences are not to extend forward of the side gate

- Brick or timber edging to all garden beds

- Reinstate lawn to nature strip between front boundary and kerb

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LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
SHRUBS							
	AcI	ACACIA 'LIMELIGHT'	LIMELIGHT	1M X 1M	YES	6	200MM
	Lbr	LEUCOPHYTA BROWNII	CUSHION PLANT	1M X 1M	YES	6	200MM
	Wf	WESTRINGIA FRUITICOSA	COASTAL ROSEMARY	UP TO 1.5M TRIMMED	YES	14	200MM
GROUNDCOVERS & PERENNIALS							
	Sa	SCAEVOLA ALBIDA (WHITE)	COAST FAN FLOWER	0.2M X 1M	YES	15	140MM
GRASSES & STRAP LEAF PLANTS							
	Dtr	DIANELLA TASMANICA 'TAS RED'	TAS RED DIANELLA	0.45M X 0.45M	YES	11	140MM
HEDGES							
	Ascs	ACMENA SMITHII 'CHERRY SURPRISE'	CHERRY SURPRISE LILY PILLY	TRIMMED UP TO 1M	YES	25	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JST	14/03/19
B	Bldr: Services	JS	16/08/19

Drafted: JS	Scale: 1:200
Sheet: 2 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	549 sq m	
LANDSCAPED AREA TOTAL	257.3 sq m	46.866%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr & Mrs Lin**

Client Signatures:
1.
2.

Job No. **190099**

Drawing: **Plant List/Specification**

Address: **Lot 11, No. 4 Crete Street Narraweena**

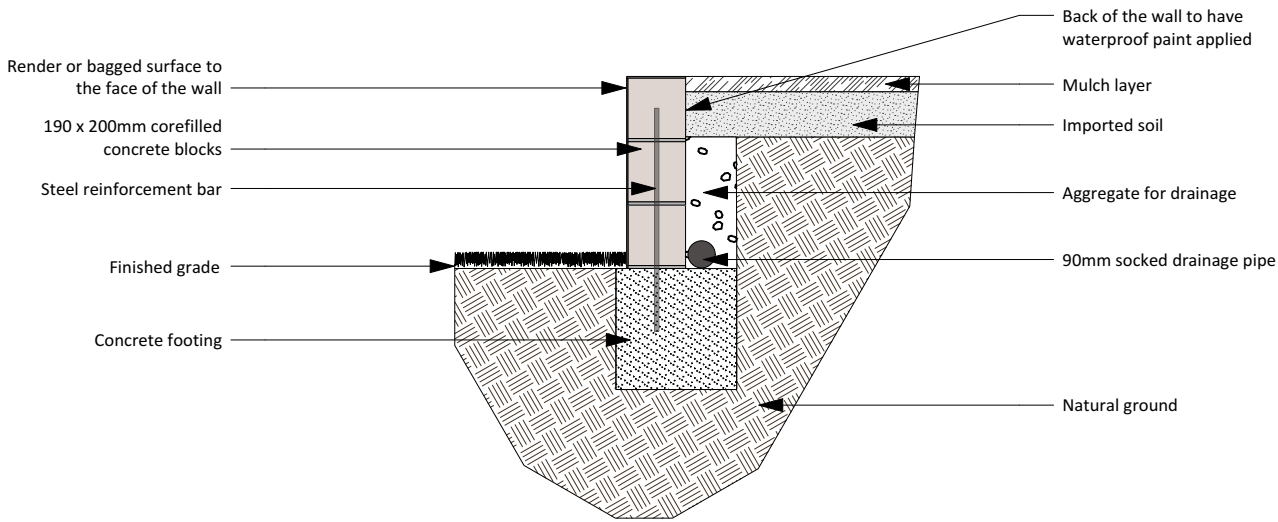
Council: **Northern Beaches**

Ph: 0437 043 112
www.dappledesigns.com.au

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

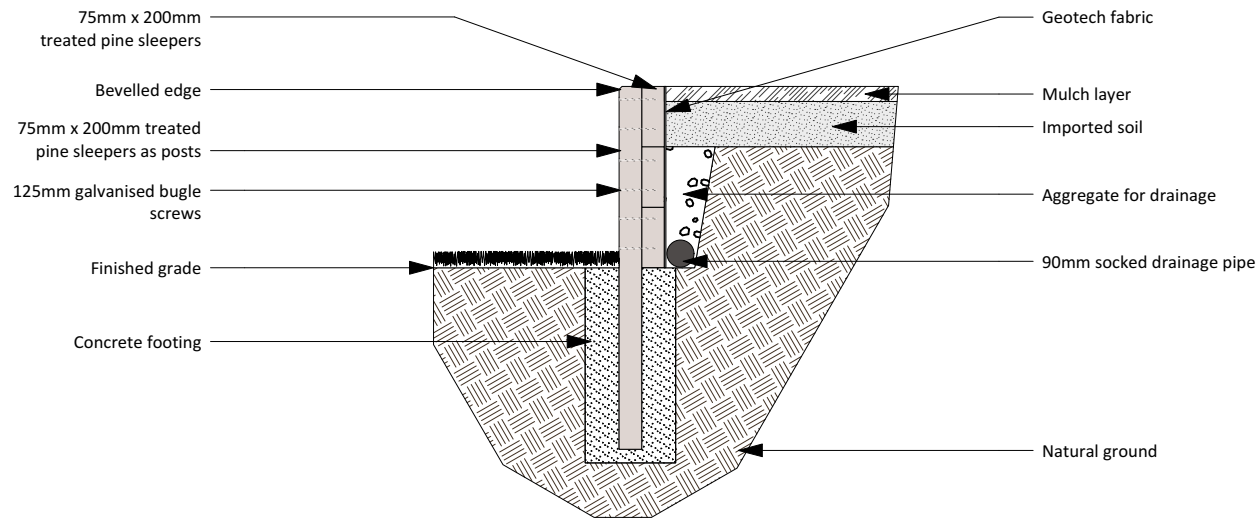
DA2019/0976

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DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



RENDERED/BAGGED RETAINING WALL DETAIL

SCALE 1:25

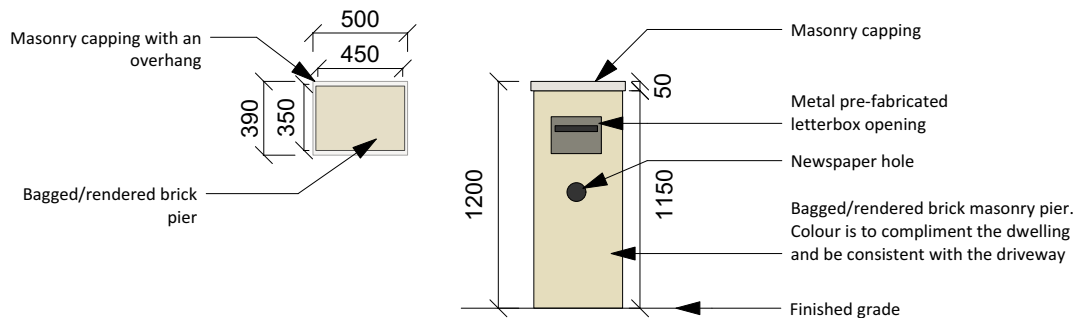


TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25

TOP VIEW

FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT



LETTERBOX DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	14/03/19
B	Bldr: Services	JS	16/08/19

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 4	Reference: LP 01

Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
 2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 3. All relevant australian standards are to be adhered to.
 4. Any structural items are to be installed as per the manufacturer/engineers specifications.
 5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS			
LOT AREA	549 sq m		
LANDSCAPED AREA TOTAL	257.3 sq m	46.866%	

[Click Here to View Our Plant Profiles!](#)

Client: **Mr & Mrs Lin**

Client Signatures:

- 1.
- 2.

Job No. **190099**

Drawing: **Construction Details**

Address: **Lot 11, No. 4 Crete Street**
Narraweena

Council: **Northern Beaches**

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au



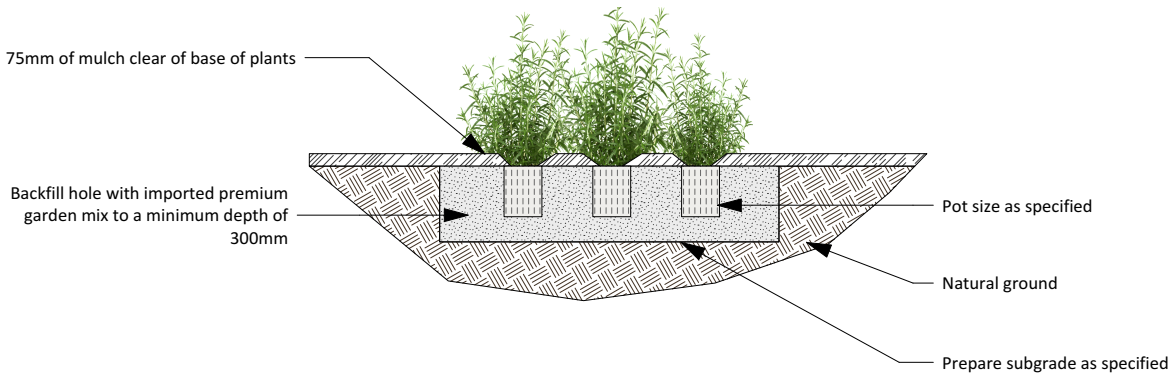


- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED



TURF LAYING DETAIL

SCALE 1:20



- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING



SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0976

Revision Schedule

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Drafted:

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Sheet:

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