



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

28 November 2005

COPY

Jo Gillies – Architect
79A Lantana Avenue
COLLARROY PLATEAU NSW 2097

Dear Madam

Re: Construction Certificate CC0148/05
Property: 975 BARRENJOEY ROAD PALM BEACH NSW 2108

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0148/05

Site Details: 975 BARRENJOEY ROAD PALM BEACH NSW 2108

Legal Description: Lot 1 DP 205296 LIC 340085

Type of Development: Building Work

Description: Alterations and Additions to the Existing Dwelling

Associated Development Consent No: N0099/05 Dated: 5 August 2005

Building Code of Australia Certification: Class 1a

COPY

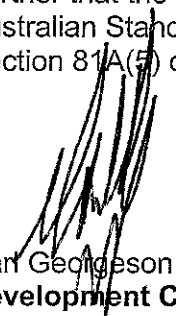
Details of plans, documents or Certificates to which this Certificate relates:

- Working Drawings prepared by Jo Gillies Architect, Job No.001 – GIL, Drawing No. B-01, B-02, B-03, B-04, B-05, B-06, B-07, B-08, B-09, B-10, B-11, dated 29 July 2005.
- Sydney Water Approval Stamp, dated 31 October 2005.
- Structural Engineering Details prepared by Partridge Partners, Job No.2005.0011, Drawing No.S1, S2, S3, S4, S4 (A), S5, S6, S7, S8, S9, dated January 2005.
- Building Code of Australia Compliance Statement prepared by John J Briggs Associates, dated 13 October 2005.
- Geotechnical Risk Management Policy for Pittwater, Form No.2 prepared by Partridge Partners, dated 21 February 2005.
- Bushfire Report prepared by AGA Consultants with associated letter dated 21 October 2005.
- Structural Certification of Adequacy of Existing Structure prepared by Partridge Partners, dated 25 January 2005.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0099/05

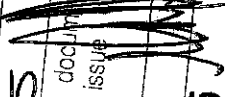
Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


Carl Georgeson
Development Compliance Group

28 November 2005
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

GILMAN HOUSE **975 BARRENJOEY RD, PALM BEACH** **PROPOSED ALTERATIONS & ADDITIONS**

PITCOBAY COUNCIL CONSTRUCTION CERTIFICATE
Number: CC0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 28 NOV 2005

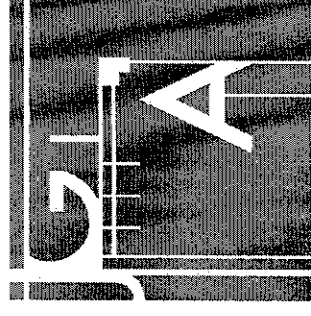
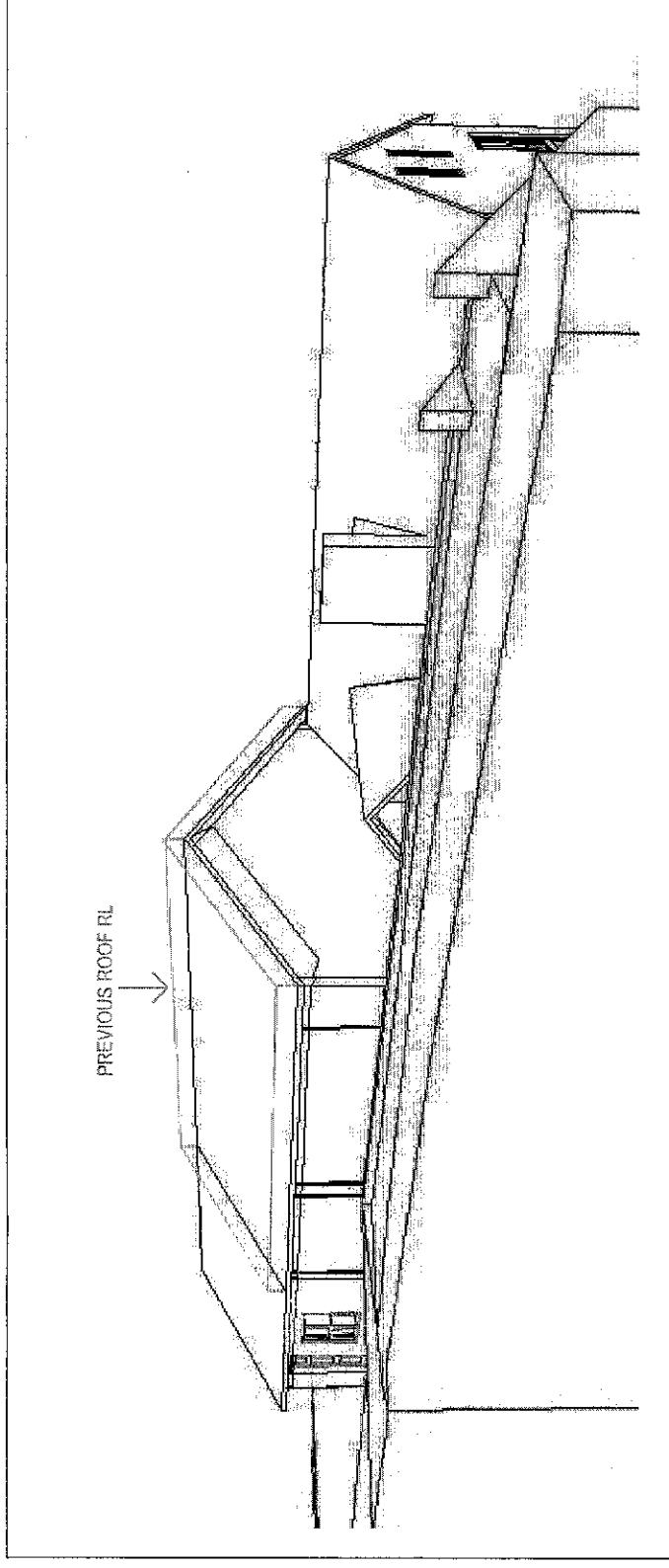
REVISED ISSUE IN RESPONSE TO COUNCIL REQUEST.

- REQUEST TO REVISE ROOF RIDGE RL OVER GARAGE BACK TO ORIGINAL / EXISTING ROOF RIDGE RL

DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE

July 2005 - Issue B

- B - 01 ROOF / SITE ANALYSIS
- A - 02 GROUND FLOOR PLAN
- A - 03 LOWER FLOOR PLAN
- A - 04 GARAGE FLOOR PLAN
- B - 05 LONG SECTION
- A - 06 SHORT SECTION
- B - 07 GARAGE SECTION
- B - 08 EAST ELEVATIONS
- B - 09 WEST ELEVATIONS
- B - 10 SOUTH ELEVATION
- B - 11 NORTH ELEVATIONS
- A - 12 SUN STUDIES (Note: As Proposed/No Change)
- B - 13 PERSPECTIVES

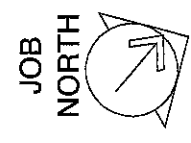


Jo Gillies. Architect

PO Box 255, Collaroy
NSW AUSTRALIA 2097
P: 02 9982 2454 F: 02 9982 6226
E: info@jogillies.com

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

- SPECIFICATION OF MATERIALS**
- Roof Tiles to match Existing
 - New Brickwork Rendered to match
 - New Blueboard where lightweight solution is required - rendered & painted to match
 - Frameless Glass Balustrade to match existing
 - Timber Joinery to match Existing
 - Sandstone block on Columns and Edge details to match existing



Job North is for reference purposes only. Arrow inside circle indicates True North.

COPYRIGHT - JO GILLIES ARCHITECT
COPYRIGHT - ARCHITECTS ACT - 2003 NSW

The client shall check and verify all dimensions and verify all areas and omissions to the Architect. Do not scale the drawings. Drawings shall be used for construction purposes until issued by the Architect for construction.

DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project
976 Barrenjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2037
P: 02 9982 2454 F: 02 9982 6228
e: info@gillies.com

Drawing Title Roof and Site	
Scale: AS NOTED	Date: 28/7/05
Status:	Checked By: JG, MW
Job No: 001 - GIL	Drawing No: B - 01
Plot Date: Friday, 29 July 2005	

PITWATER COUNCIL CONSTRUCTION CERTIFICATE

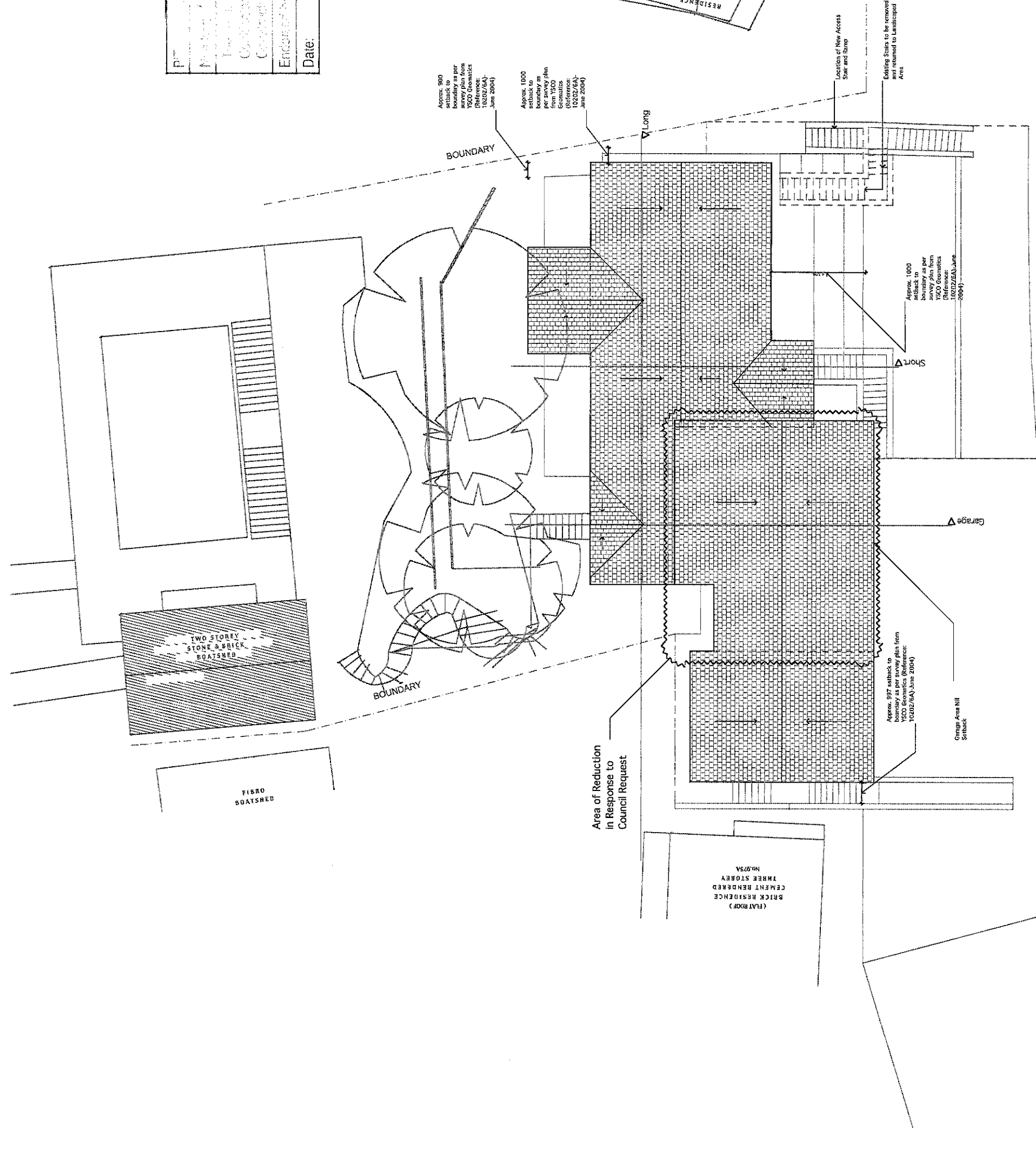
Number: 00148/05

Two copies of submitted plans, documents or conditions associated with the issue of the Construction Certificate.

Endorsed by: _____

Date: 28 NOV 2005

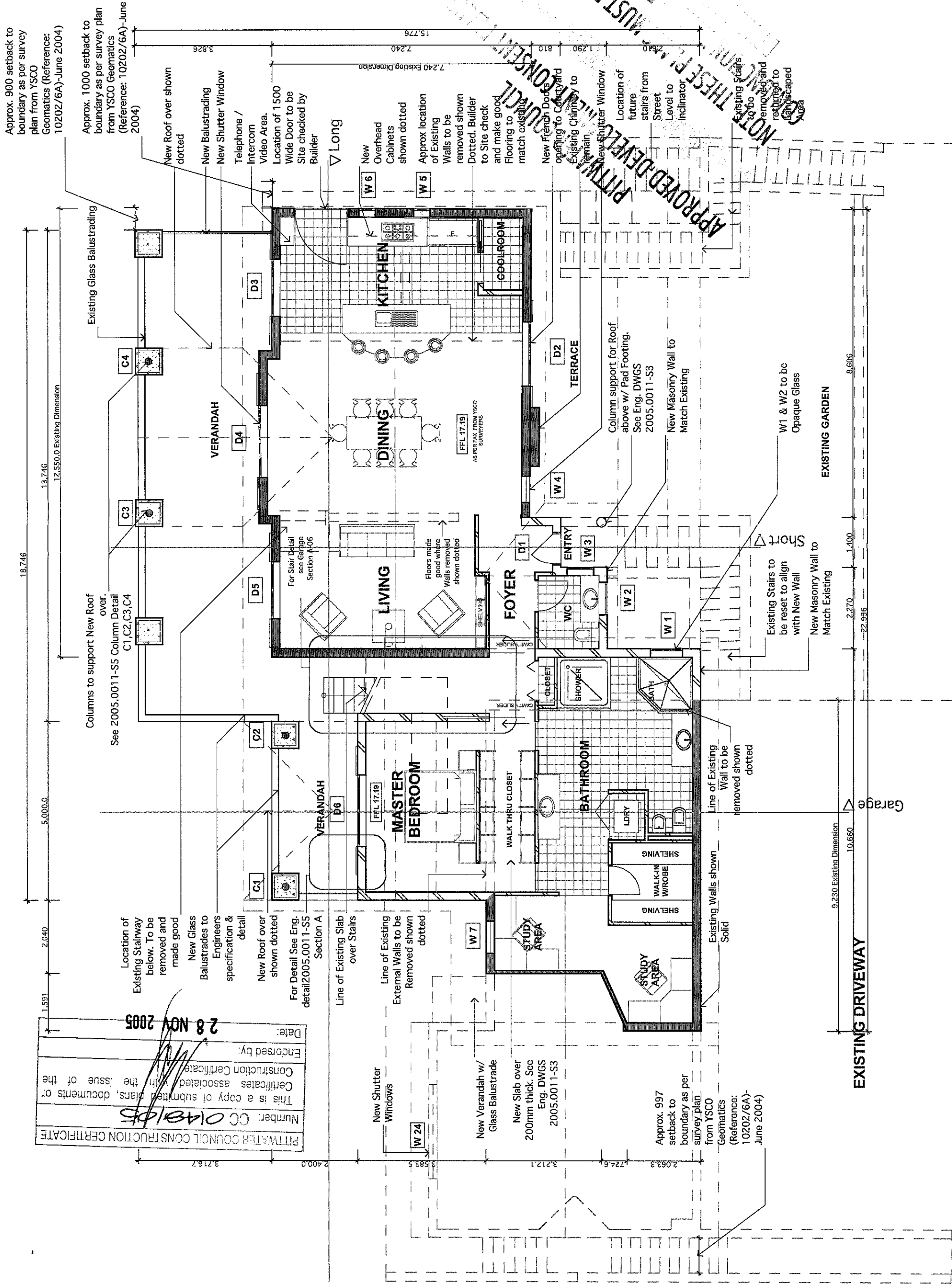
APPROVED DEVELOPMENT CONSENT PLANS
PITWATER COUNCIL
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONSENT



BARRENJOEY ROAD

Roof and Site
1 : 200

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0148/05
 This is a copy of submitted plans, documents or certificates associated with the issue of the Construction Certificate
 Endorsed by: _____
 Date: 28 NOV 2005



Ground Level

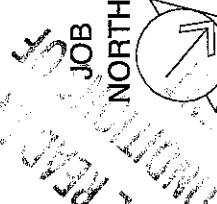
1 : 100

PITWATER COUNCIL CONSTRUCTION CERTIFICATE

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dws S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing



Job North is for reference purposes only. Arrow inside circle indicates True North.

Copyright - JO GILLIES ARCHITECT
Copyright - ARCHITECTS ACT - 2003 NSW

The builder shall check and verify all dimensions and verify all areas and conditions to the satisfaction of the architect. Drawings shall be used as a guide only. The architect is not responsible for any errors or omissions in the drawings or for any damage to property or persons caused by the use of the drawings.

DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project
975 Barranjoey Road, Palm Beach NSW

Gilman House

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2037
P: 02 8882 2454 F: 02 8882 6225
e: info@gillies.com

Drawing Title: Ground Floor

Scale:	AS NOTED	Date:	29/7/05
Status:		Checked By:	JG, MW
Job No:		Drawing No:	A - 02
001 - GIL			
Plot Date:	Friday, 29 July 2005		

These Drawings to be read in
conjunction with Engineers Drawings
2005-1100 Dwgs S1 to S9
with amendment S4 issue A revision.
Construction
Notes, Prepared by Partridge
Partners.

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

Job North is for reference purposes only. Arrow inside circle indicates True North.

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Stage DEVELOPMENT APPLICATION /
CONSTRUCTION CERTIFICATE

Jo Gillies. Architect
PO Box 285, Collaroy
NSW AUSTRALIA 2097
p: 02 9982 2454 f: 02 9982 6226
e: info@joillies.com

Lower Level

Scale: _____ Date: 00/00/00

Status:

Job No. _____ Drawing No. _____

Plot Date: Friday 29 July 2005

Approx. 1000 setback to boundary as per survey from YSCO Geomatics (Reference: 10202/6A) 2004)

10/144

EXISTING FFL
SITE CHK

8

W17

Section of

Existing occurs
to be

Floor plan of the second floor showing three bedrooms and a bathroom. The bedrooms are labeled 'BEDROOM 1', 'BEDROOM 2', and 'BEDROOM 3'. The bathroom is labeled 'BATH'. The plan includes dimensions for each room and a central hallway.

This is a detailed architectural floor plan of a large, multi-story building, likely a school or institutional structure. The plan shows a complex arrangement of rooms, corridors, and outdoor spaces. Key features include a large central hall, numerous classrooms or offices, and a prominent entrance area. The drawing is a black and white line art representation.

1. **Identify the main components of the system.**
 2. **Describe the flow of information and materials.**
 3. **Explain the role of each component.**
 4. **Discuss the challenges and opportunities.**
 5. **Provide a conclusion and recommendations.**

EXISTING TERRACE

[illegible]

Location of future stairs
from Street level to

Category	Item	Value	Unit
Energy	Electricity	100	kWh
	Gas	50	m ³
Water	Hot water	10	m ³
	Cold water	5	m ³
Waste	Household waste	10	m ³
	Business waste	5	m ³
Transport	Car	10	km
	Bus	5	km
Communication	Internet	10	GB
	Mobile phone	5	min
Health	Gym	10	min
	Swimming pool	5	min
Education	University	10	min
	Primary school	5	min
Culture	Museum	10	min
	Theatre	5	min
Leisure	TV	10	min
	Radio	5	min
Food	Meat	10	kg
	Vegetables	5	kg
Clothing	Wool	10	kg
	Cotton	5	kg
Housing	Brick	10	m ³
	Concrete	5	m ³
Construction	Steel	10	m ³
	Aluminum	5	m ³
Manufacturing	Plastic	10	m ³
	Wood	5	m ³
Agriculture	Wheat	10	m ³
	Rice	5	m ³
Forestry	Timber	10	m ³
	Pulp	5	m ³
Energy	Coal	10	m ³
	Oil	5	m ³
Water	Desalination	10	m ³
	Purification	5	m ³
Waste	Landfill	10	m ³
	Recycling	5	m ³
Transport	Ship	10	km
	Plane	5	km
Communication	Internet	10	GB
	Mobile phone	5	min
Health	Gym	10	min
	Swimming pool	5	min
Education	University	10	min
	Primary school	5	min
Culture	Museum	10	min
	Theatre	5	min
Leisure	TV	10	min
	Radio	5	min
Food	Meat	10	kg
	Vegetables	5	kg
Clothing	Wool	10	kg
	Cotton	5	kg
Housing	Brick	10	m ³
	Concrete	5	m ³
Construction	Steel	10	m ³
	Aluminum	5	m ³
Manufacturing	Plastic	10	m ³
	Wood	5	m ³
Agriculture	Wheat	10	m ³
	Rice	5	m ³
Forestry	Timber	10	m ³
	Pulp	5	m ³
Energy	Coal	10	m ³
	Oil	5	m ³
Water	Desalination	10	m ³
	Purification	5	m ³
Waste	Landfill	10	m ³
	Recycling	5	m ³
Transport	Ship	10	km
	Plane	5	km
Communication	Internet	10	GB
	Mobile phone	5	min
Health	Gym	10	min
	Swimming pool	5	min
Education	University	10	min
	Primary school	5	min
Culture	Museum	10	min
	Theatre	5	min
Leisure	TV	10	min
	Radio	5	min
Food	Meat	10	kg
	Vegetables	5	kg
Clothing	Wool	10	kg
	Cotton	5	kg
Housing	Brick	10	m ³
	Concrete	5	m ³
Construction	Steel	10	m ³
	Aluminum	5	m ³
Manufacturing	Plastic	10	m ³
	Wood	5	m ³
Agriculture	Wheat	10	m ³
	Rice	5	m ³
Forestry	Timber	10	m ³
	Pulp	5	m ³
Energy	Coal	10	m ³
	Oil	5	m ³
Water	Desalination	10	m ³
	Purification	5	m ³
Waste	Landfill	10	m ³
	Recycling	5	m ³
Transport	Ship	10	km
	Plane	5	km
Communication	Internet	10	GB
	Mobile phone	5	min
Health	Gym	10	min
	Swimming pool	5	min
Education	University	10	min
	Primary school	5	min

10/10/10

Existing stains to be removed and

Existing Stairs

IS
align with New
Well

1999

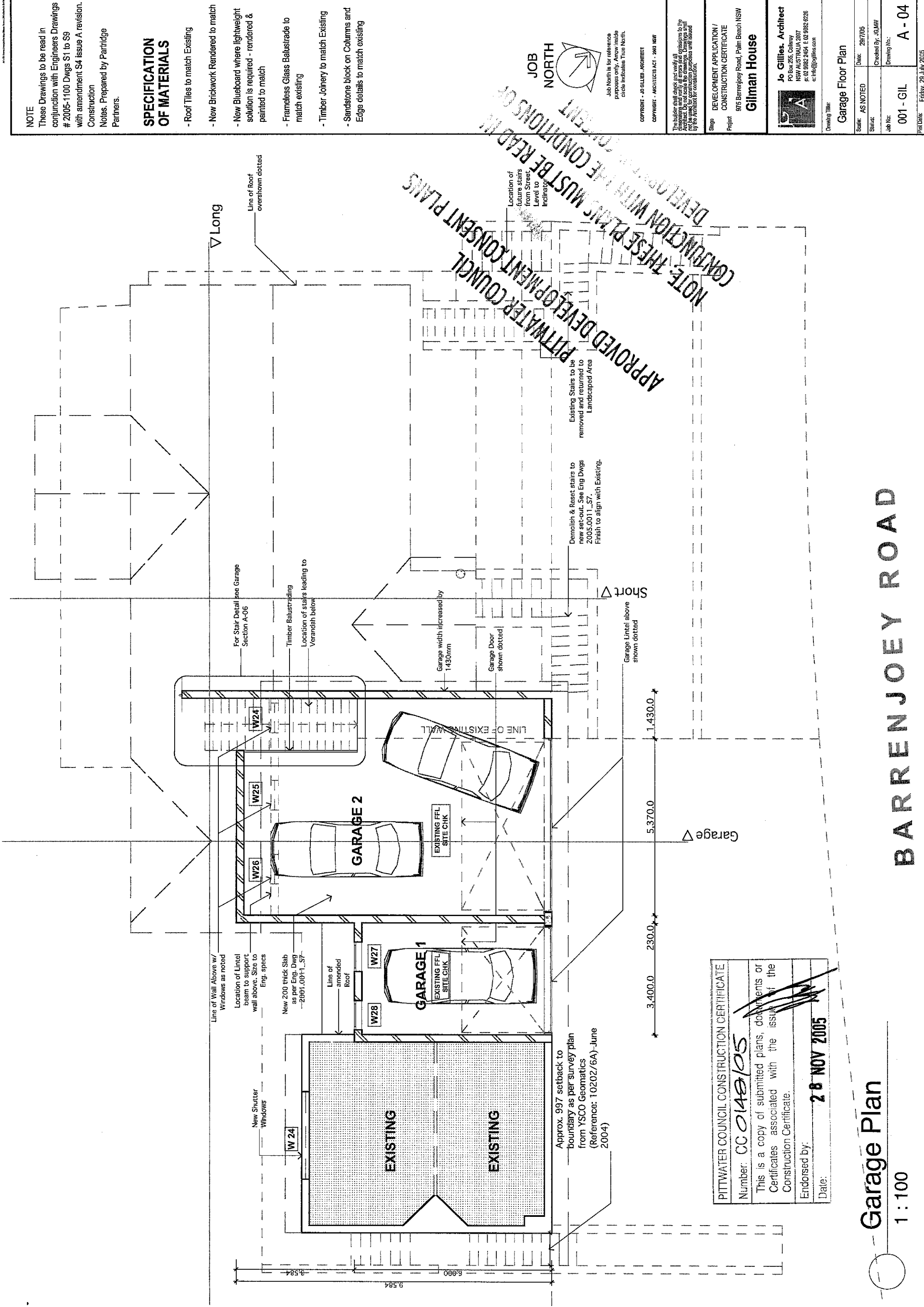
[illegible]



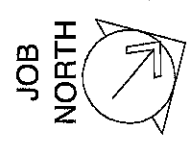



1:100

C
 A
 C
 R
 Y
 L
 C
 L
 I
 I



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
APPROVED DEVELOPMENT CONSENT PLANS
PITWATER COUNCIL



NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction
Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

Job North is for reference purposes only. Arrow inside circle indicates True North.
COPYRIGHT - JO GILLES ARCHITECT
COPYRIGHT - ARCHITECTS ACT - 2003 NSW

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Dimensions and areas shall be taken from the drawings and not from the site. The Architect shall be responsible for the design and construction of the works.

Stage DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project 975 Barranjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2037
p: 02 9582 2454 f: 02 9582 6226
e: info@gilgies.com

Drawing Title	Garage Floor Plan		
Scale	AS NOTED	Date	29/7/05
Status	Checked By: JG/MW		
Job No	001 - GIL	Drawing No	A - 04
Plot Date	Friday, 29 July 2005		

PITWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	28 NOV 2005
Date:	

AS 16: 2005

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

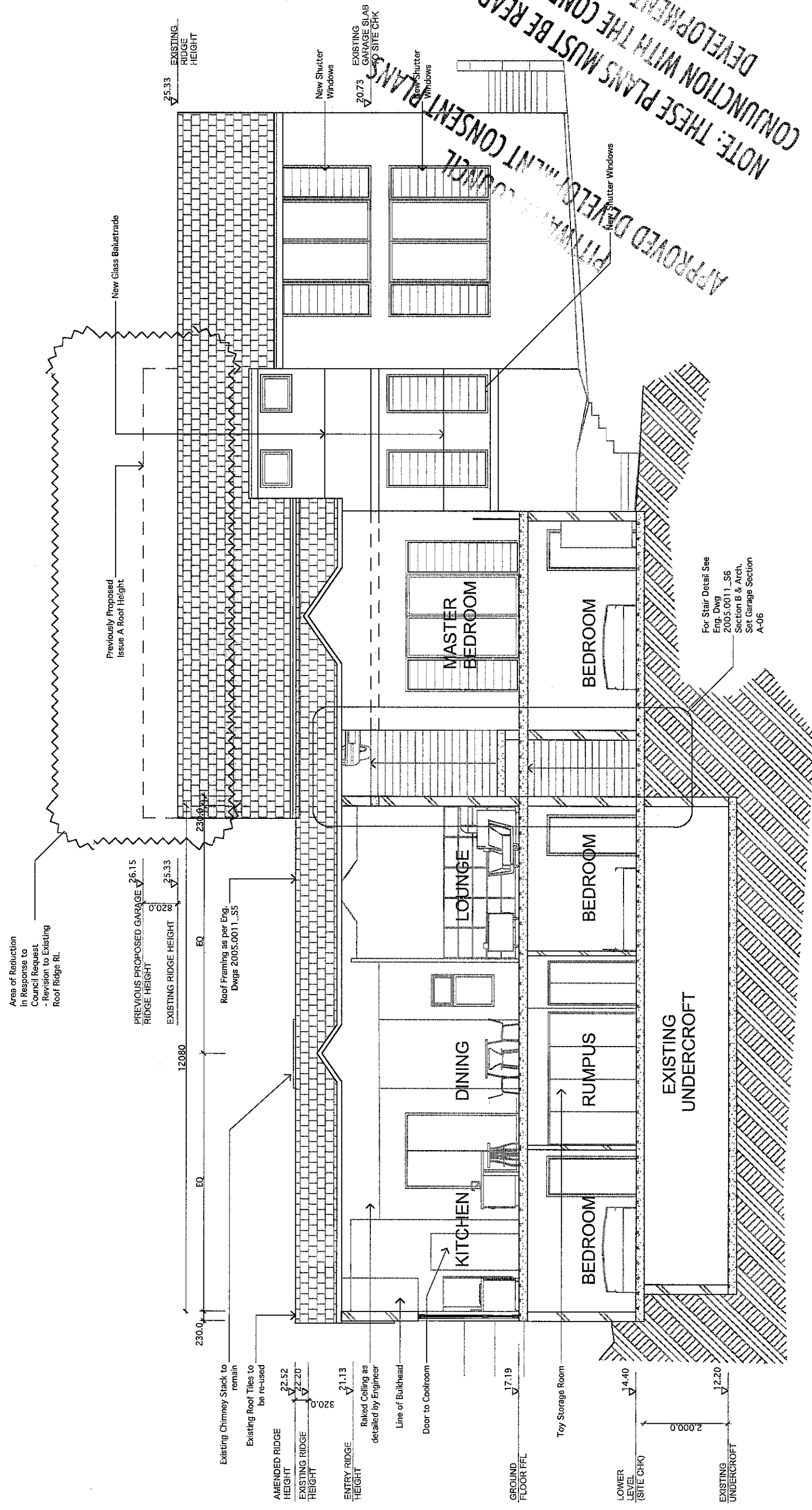
COPYRIGHT - JO GILLIES, ARCHITECT
COPYRIGHT - ARCHITECTS ACT - 2003 NSW

This building shall be constructed in accordance with the drawings and specifications to the Architect. Do not scale the drawings. Drawings shall be used for construction purposes only and shall not be used for any other purpose without the consent of the Architect.

Stage DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project 875 Barrenjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2107
P: 02 9882 2454 F: 02 9882 6226
e: info@gillies.com

Drawing Title: Long Section	
Scale: AS NOTED	Date: 28/11/05
Status:	Checked By: JGMW
Job No: 001 - GIL	Drawing No: B - 05
Plot Date: Friday, 29 July 2005	



Long Section

1 : 100

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0148/05

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date: 28 NOV 2005

20/05/2005 14:00:00

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision, Construction Notes, Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

COPYRIGHT - JO GILLIES, ARCHITECT
COPYRIGHT - ARCHITECTS ACT - NSW NSW

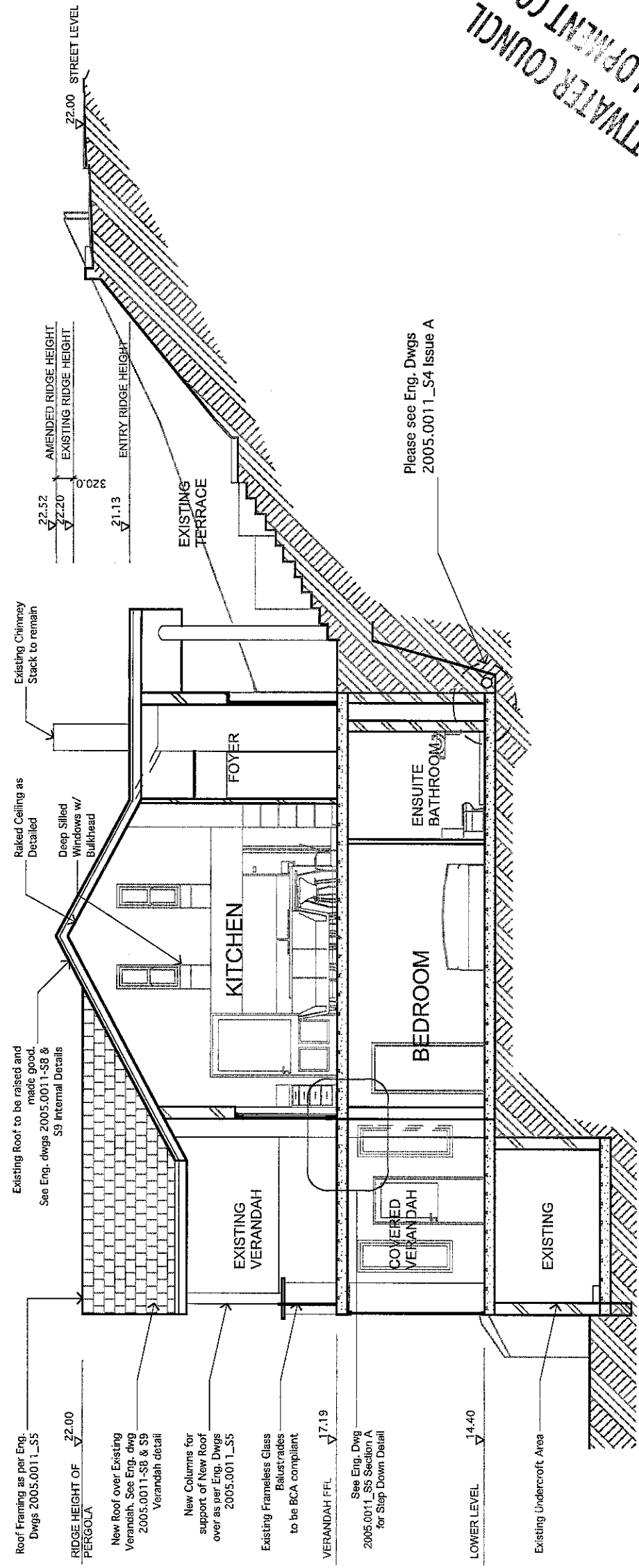
The Builder shall check and verify all dimensions and verify all errors and omissions to the drawings. Do not scale the drawings. Drawings shall be used for construction purposes only. Drawings shall be used for construction purposes only.

Stage DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project 875 Barrenjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Cullacoy
NSW AUSTRALIA 2097
p: 02 9882 2454 f: 02 9882 8228
e: info@jo-gillies.com

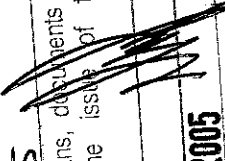
Drawing Title: Short Section	
Scale: AS NOTED	Date: 28/7/05
Status:	Checked By: J.C.M.W.
Job No: 001 - GIL	Drawing No: A - 06
PLOT Date: Friday, 29 July 2005	

APPROVED DEVELOPMENT CONSENT PLANS
PITWATER COUNCIL
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF THE DEVELOPMENT CONSENT



Please see Eng. Dwgs 2005.0011_S4 Issue A

Short Section
1 : 100

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 28 NOV 2005

These Drawings to be read in
conjunction with Engineers Drawings
2005-1100 Dwg's S1 to S9
with amendment S4 issue A revision.
Construction
Notes: Prepared by Partridge
Partners.

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

Copyright © 2003 NSW
Copyright © Architects Act 2003 NSW

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Stages
DEVELOPMENT APPLICATION /
CONSTRUCTION CERTIFICATE

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2097
p: 02 9982 2464 f: 02 9982 6226
e: info@joillies.com

Drawing Title:

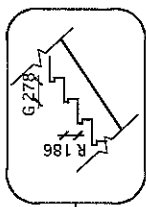
Garage Section

Scale:	AS NOTED	Date:	29/7/05
--------	----------	-------	---------

Status: Checked By: JG.MW

Job No.: _____ Drawing No.: _____

001 - CH



1 : 100

Date: 28 NOV 2005

Architects

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

- SPECIFICATION OF MATERIALS**
- Roof Tiles to match Existing
 - New Brickwork Rendered to match
 - New Blueboard where lightweight solution is required - rendered & painted to match
 - Frameless Glass Balustrade to match existing
 - Timber Joinery to match Existing
 - Sandstone block on Columns and Edge details to match existing

Copyright - JO GILLES ARCHITECT
Copyright - ARCHITECTS ACT - 2003 NSW

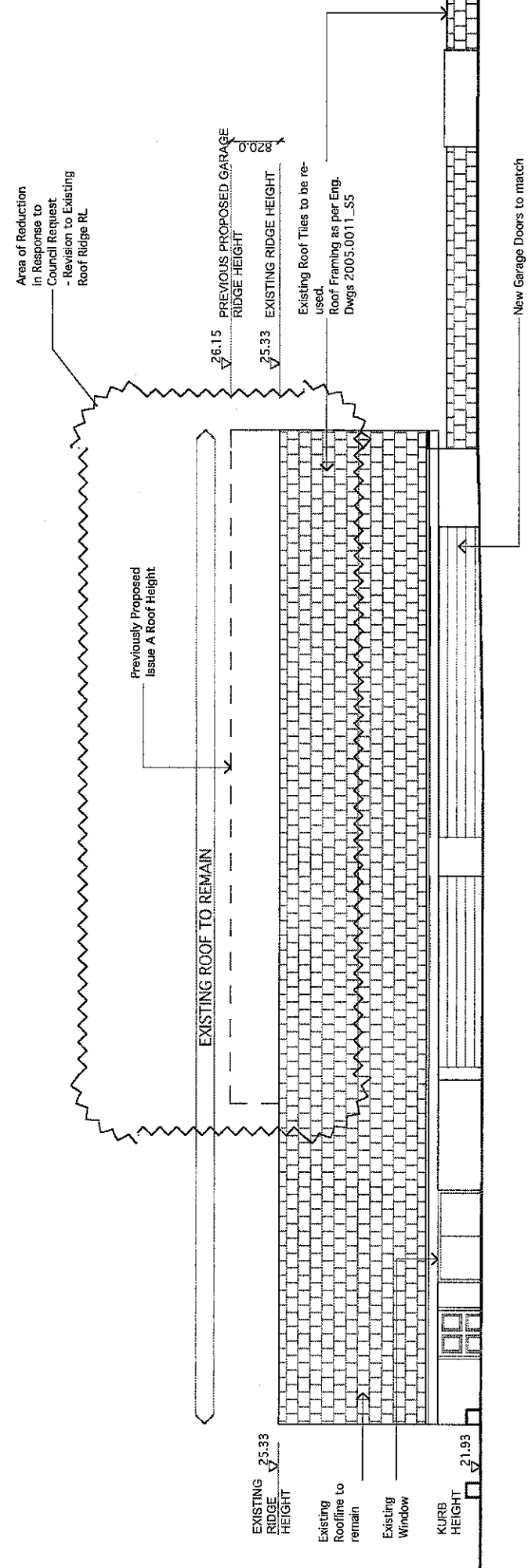
This building shall comply with all requirements and standards of the Architect. To not scale the drawings. Drawings shall be used for construction purposes only and shall not be used for any other purpose without the written consent of the Architect.

DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project: 975 Barranjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Collaroy
NSW AUSTRALIA 2057
P: 02 9592 2454 F: 02 9592 8228
e: info@gilgies.com

Drawing Title: East Elevations	
Scale: AS NOTED	Date: 29/7/05
Status:	Checked By: JGJ/MW
Job No:	Drawing No:
001 - GIL	B - 08
Plot Date: Friday, 29 July 2005	

APPROVED DEVELOPMENT CONSENT PLANS
PITTWATER COUNCIL
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



East Elevation (Street)

1 : 100

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0148/05	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date: 28 2005	28 2005

NOTE

These Drawings to be read in conjunction with Engineers Drawings # 2006-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

Copyright - Jo Gillies Architect
Copyright - Architects Act - 2003 NSW

The holder and client warrant that the drawings are the work of the Architect. Do not scale the drawings. Drawings shall be used for construction purposes until issued by the Architect for substitution.

Slip: DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project: 876 Barrenjoey Road, Palm Beach NSW
Gilman House

Jo Gillies, Architect
PO Box 255, Cullery NSW AUSTRALIA 2087
p 02 9982 2454 f 02 9982 0226
a. info@gillies.com

Drawing Title:	West Elevations
Scale:	AS NOTED
Date:	29/7/05
Status:	Created By: JG/MW
Job No:	001 - GIL
Drawing No:	B - 09
Print Date:	Friday, 29 July 2005

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

Area of Reduction in Responses to Council Request - Revision to Existing Roof Ridge RL

Previously Proposed Issue A Roof Height

PREVIOUS PROPOSED GARAGE RIDGE HEIGHT 26.15
EXISTING RIDGE HEIGHT 25.33

Existing Roof Tiles to be re-used

Existing Chimney Stack to remain

Existing Roof Tiles to be re-used

AMENDED RIDGE HEIGHT 22.52

EXISTING RIDGE HEIGHT 22.20

RIDGE HEIGHT OF PERGOLA 22.00

VERANDAH FFL 17.19

Arched Windows With Diameter equal to Width. To match Archways Existing around Pool area

LOWER LEVEL 14.40

UNDERCROFT 12.20

Arched Windows With Diameter equal to Width. To match Archways Existing around Pool area

New Shutter Windows

West Elevation (Pittwater)

1 : 100

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0148/05
This is a copy of submitted plans, documents or Certificates associated with the site of the Construction Certificate.
Endorsed by: [Signature]
Date: 20 NOV 2005

NOTE
These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision.
Construction Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

COPYRIGHT - JO GILLIES ARCHITECT
COPYRIGHT - ARCHITECTS ACT - 2003 NSW

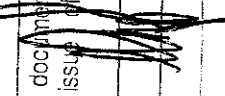
The builder shall check and verify all dimensions and levels prior to the commencement of construction. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the architect for construction.

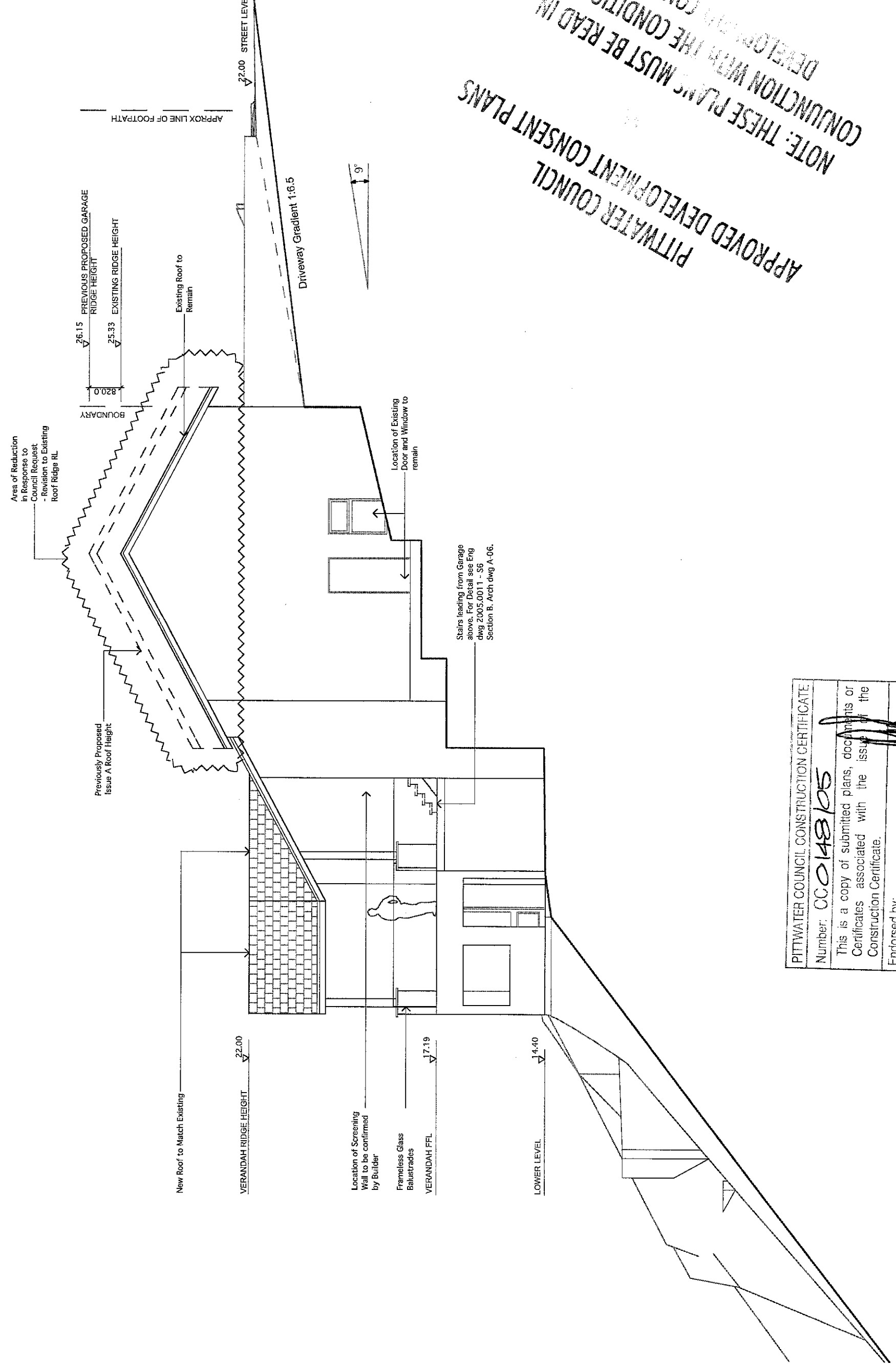
Stage DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE
Project 976 Barrington Road, Palm Beach NSW
Gilman House

Jo Gillies Architect
PO Box 255, Cobby
NSW AUSTRALIA 2067
p: 02 9552 2484 f: 02 9552 2229
e: jgillies@gillies.com

Drawing Title:	South Elevation
Scale:	AS NOTED
Status:	28/7/05
Job No:	001 - GIL
Drawing No.:	B - 10
Proj Date:	Friday, 29 July 2005

APPROVED DEVELOPMENT CONSENT PLANS
PITTWATER COUNCIL
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC0148105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 28 NOV 2005



South Elevation
1 : 100

NOTE

These Drawings to be read in conjunction with Engineers Drawings # 2005-1100 Dwgs S1 to S9 with amendment S4 issue A revision. Construction Notes. Prepared by Partridge Partners.

SPECIFICATION OF MATERIALS

- Roof Tiles to match Existing
- New Brickwork Rendered to match
- New Blueboard where lightweight solution is required - rendered & painted to match
- Frameless Glass Balustrade to match existing
- Timber Joinery to match Existing
- Sandstone block on Columns and Edge details to match existing

COPYRIGHT - JO GILLIES ARCHITECT

COPYRIGHT - ARCHITECTS ACT - 2003 NSW

The builder shall check and verify all dimensions and levels against the Architect's drawings and notes. The drawings shall not be used for construction purposes until issued by the Architect for construction.

Slip: DEVELOPMENT APPLICATION / CONSTRUCTION CERTIFICATE

Project: 975 Barrington Road, Palm Beach NSW
Gilman House



Jo Gillies Architect
PO Box 255, Cullumbry
NSW AUSTRALIA 2887
P: 02 9852 2454 F: 02 9852 0226
E: jgillies@gilman.com.au

Drawing Title:

North Elevation

Scale: AS NOTED

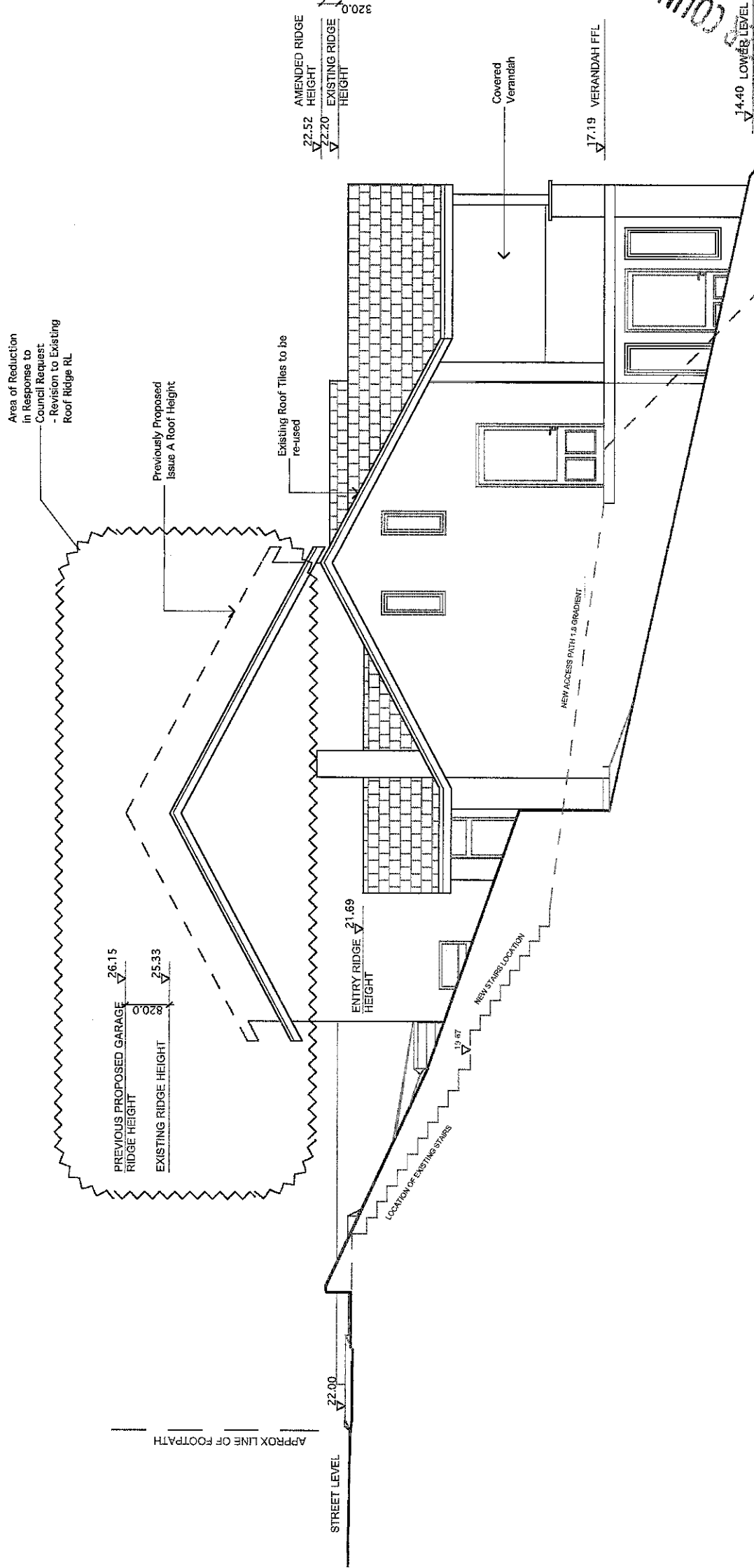
Date: 29/7/05

Checked By: JG.MW

Job No: 001 - GIL

Drawing No: B - 11

Print Date: Friday, 29 July 2005



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0148/05

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: [Signature]

Date: 28 July 2005

North Elevation

1 : 100

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Enclosed by:

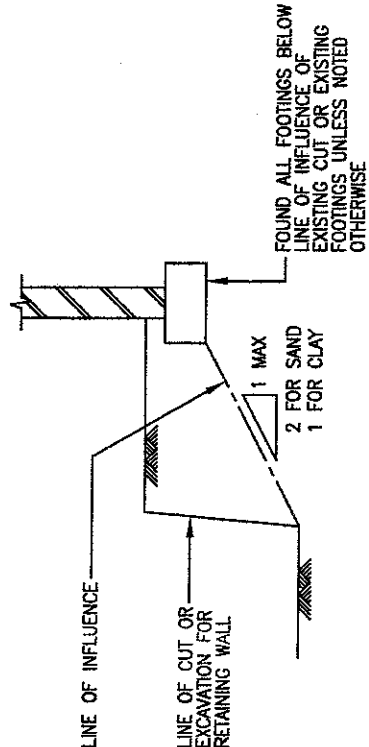
CONSTRUCTION NOTES 28 NOV 2005

GENERAL

- G1. These drawings shall be read in conjunction with all architectural and other working drawings, specifications and with such other written instructions as may be issued during the course of the contract.
- G2. All workmanship and materials shall be in accordance with the requirements of the current edition of the SAA Codes and the By-Laws and Ordinances of the relevant Building Authority.
- G3. The Builder shall comply with requirements of the Occupational Health & Safety Act. Any conflict between these notes, the specification, the drawings or any other relevant documents shall be referred to the Engineer for decision prior to proceeding with the work.
- G4. Dimensions shall not be obtained by scaling the drawings. For setting out dimensions and levels refer to architectural drawings.
- G5. The Builder shall be responsible for the provision of all shoring to maintain the stability and integrity of excavations and adjacent structures.
- G6. During construction it is the Builder's responsibility to maintain the structure in a stable condition and to ensure no part is overstressed.
- G7. The design and drawings are copyright and may not be used or reproduced in whole or in part without the written permission of Partridge Partners Pty Ltd.
- G8. Fire-Resistant Levels (FRL's) required for the various structural elements must be confirmed by the BCA consultant or Architect.

FOUNDATIONS

- F1. The minimum safe bearing capacity of foundation material shall be:
Pad footings : 600 kPa in Rock
Strip footings : 600 kPa in Rock
Reft slabs : 600 kPa in Rock
- F2. Foundation material shall be approved by the Engineer prior to placing concrete.
- F3. The bases of footing excavations shall be finished clean and horizontal.
- F4. Founding levels where shown are for tender purposes only.
- F5. Any proposed footing excavation near boundaries, other structures or services shall be approved by the Engineer.
- F6. Subgrade shall be approved material compacted to 98% Standard Dry density determined by testing to AS1289-E1.1 u.n.o.
- F7. Locate all new footings relative to line of cut/excavation including excavations for retaining walls as follows:



RESIDENTIAL GROUND PREPARATION:

1. REMOVE ALL TOPSOIL AND ORGANIC MATERIAL. IF SOFT AND/OR WET CONDITIONS ARE ENCOUNTERED THE SUBGRADE IS TO BE INSPECTED BY THE SUPERVISING ENGINEER AND HIS WRITTEN INSTRUCTIONS RECEIVED PRIOR TO PROCEEDING.
2. DIG OUT ANY SOFT SPOTS AND REPLACE WITH FILL.
3. PROVIDE "CONTROLLED FILL" OR "ROLLED FILL" COMPACTED IN ACCORDANCE WITH AS 2870, PART 6.4.2.

© 2004 PARTRIDGE PARTNERS PTY. LIMITED ABN 73 002 451 925

COPYRIGHT IN THESE DESIGNS AND DRAWINGS IS VESTED IN PARTRIDGE PARTNERS PTY LIMITED. THE DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE SPECIFIC TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF PARTRIDGE PARTNERS PTY LIMITED. THIS DRAWING SHALL NOT BE CHANGED, ALTERED OR AMENDED BY ANY PARTY FOR ANY PURPOSE OTHER THAN BY PARTRIDGE PARTNERS PTY LIMITED.



No. Issue/Amendment

Date

Partridge Partners
Engineering Consultants
Structural
Civil
Geotechnical
Ecological
Forensic

Jo Gillies Architect

ALTERATIONS & ADDITIONS
at 975 BARRENJOEY RD, PALM BEACH
for MR & MRS GILMAN

CONSTRUCTION NOTES

Level 4, 1 Chandos Street, St Leonards NSW 2055 Tel 9460 9000 Fax 9460 9090

ALTERATIONS & ADDITIONS
at 975 BARRENJOEY ROAD, PALM BEACH
for MR & MRS GILMAN

TIMBER

- T1. All workmanship and materials shall be in accordance with AS1720 and AS1684, the SAA Standards cited in AS1720, AS1684 and the specification. Timber shall be SEASONED PINE, and of stress grade F7 u.n.o.
- T2. Timber shall be untreated, u.n.o.
- T3. Three copies of all timber workshop drawings shall be submitted to and approved by the Engineer prior to fabrication. All trusses to be pre-cambered upward 1/240 span u.n.o.
- T4. Proprietary timber connectors shall be installed in accordance with the manufacturer's written instructions.
- T5. Right-angled timber connections in unseasoned timber have not been designed unless noted.
- T6. Timber elements or timber framing have not been designed unless noted.
- T7. Provide all new construction with protection from subterranean termites in accordance with AS3680.1-1995. Provide the protection system or systems as specified by the architect.
- T8. Where the use of treated pine for durability is noted on the structural drawings, ensure it complies with the following treatments levels:
Interior above ground = H2
Exterior above ground = H3
Exterior in ground = H4 & H5

ALL TIMBER CONNECTIONS, TIE DOWNS BRACING AND TIMBER SIZES NOT NOMINATED ARE TO BE IN STRICT ACCORDANCE WITH AS1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE ALL TIE DOWNS TO BE DESIGNED FOR GUST WIND SPEED OF 41m/s (CATEGORY N3 AS DETERMINED FROM AS4055 - WIND LOADS FOR HOUSING)

STEELWORK

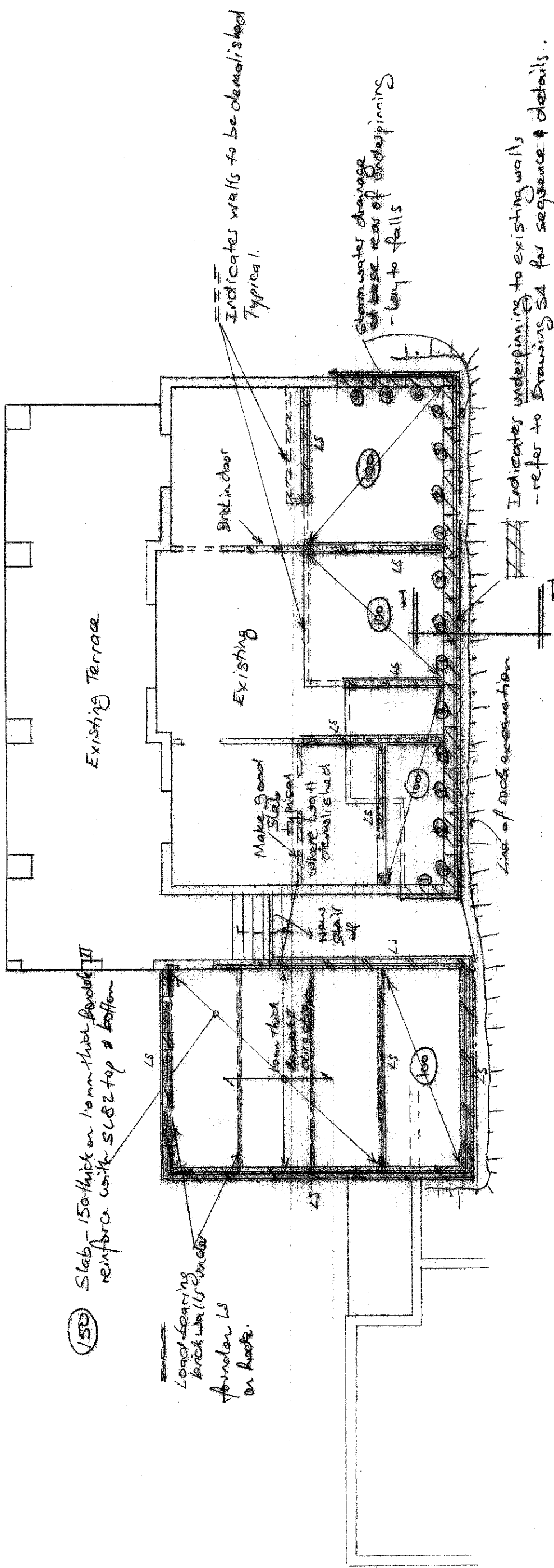
- S1. Ensure materials, fabrication and erection are in accordance with AS4100, the SAA Standards cited in AS4100 and the specification.
- S2. Submit three copies of all workshop drawings to and obtain approval from the Engineer prior to fabrication.
- S3. Provide all welds as firm continuous fillet from E41XX Electrodes, all bolts as M20 4.6/S and all bolts and gussets as 10mm plate u.n.o.
- S4. For bolts, the following notation is used:
4-M16 4.6/S denotes 4 x M16 commercial grade bolts snug tight.
6-M20 4.6/S denotes 6 x M20 high strength structural bolts fully tensioned in a no slip joint.
8-M24 4.6/S denotes 8 x M24 high strength structural bolts fully tensioned in a bearing joint.
- S5. Leave mating surfaces of T connections unpainted and free of mill scale and rust.
- S6. Tighten bolts in T and TB connections using the part turn method or load indicating washers. Do not use calibrated torque wrenches. Use a hardened washer under the bolt head or nut, whichever is rotated. The re-use of fully tensioned bolts is prohibited.
- S7. Provide all cleats and drill all holes necessary for fixing steel to steel or timber.
- S8. Fabricate steel beams and trusses spanning greater than 5m with an upward pre camber of 1/500 span u.n.o.
- S9. Prepare structural steelwork to class 2 and paint with Zinc Phosphate Primer to a thickness of 70 micrometres u.n.o.
- S10. Hot dip galvanise steelwork built into an external masonry skin and exposed external steelwork in accordance with grade HDG800 to AS/NZS2312
- S11. Provide fire protection to all steelwork as required.
- S12. Ensure all cold formed sections conform to AS1538 and are roll-formed from steel strip, minimum yield stress 450 MPa. 300g/m² minimum zinc coating mass U.N.O.
- S13. Provide suitable certified approved fire protection of fire spray, fire board or equal to the manufacturer's specification. Alternatively provide concrete encasement in accordance with the following table:

ELEMENT	FRL	MIN. CONCRETE ENCASEMENT
Columns & Beams	120/-/-	45 mm

ALL CHEMICAL ANCHORS SHALL BE HILTI HVU ADHESIVE ANCHOR WITH FOIL CAPSULE SYSTEM INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTION OR APPROVED EQUIVALENT

ALL CHEMICAL ANCHORS SHALL BE HOT DIP GALVANISED AND UNLESS NOTED OTHERWISE:
M12 MIN. 100 EMBEDMENT, MIN. 60 EDGE DISTANCE, MIN. 70 SPACING
M16 MIN. 125 EMBEDMENT, MIN. 70 EDGE DISTANCE, MIN. 100 SPACING

Approved: *Richard*
Design: N.J.
Scale at A3: N.T.S.
Date: JAN 2005
Job No.: 2005.0011
Drg. No.: S1



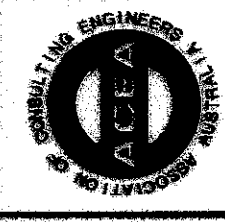
LOWER FLOOR PLAN

- (100) Indicates new 100mm thick slab on grade, east on concrete with sheet on levelling slab over rock, New force with SC72 top
- 25 - New base walls to be built on so levelling grout on rock

PITWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0143/05	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	28 NOV 2005
Date:	

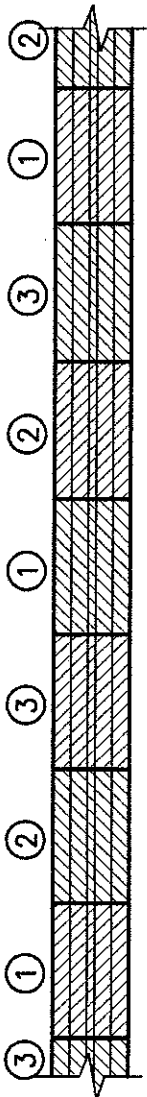
© 2004 PARTRIDGE PARTNERS PTY. LIMITED ABN 73 202 451 325

NOTICE: THESE PLANS AND DRAWINGS ARE ISSUED BY PARTRIDGE PARTNERS PTY. LIMITED. ANY REUSE OR MODIFICATION OF THESE PLANS AND DRAWINGS WITHOUT THE WRITTEN CONSENT OF PARTRIDGE PARTNERS PTY. LIMITED IS STRICTLY PROHIBITED. ANY REUSE OR MODIFICATION OF THESE PLANS AND DRAWINGS WITHOUT THE WRITTEN CONSENT OF PARTRIDGE PARTNERS PTY. LIMITED IS STRICTLY PROHIBITED.



Partridge Partners
Engineering Consultants
Level 4, 1 Shandide Street, St Leonards NSW 2055 Tel 9490 9000 Fax 9490 9000

No.	Issue/Amendment	App'd	Date
Jo Gillies, Architect ALTERATIONS & ADDITIONS to 975 BARRENJOEY RD, PALM BEACH Lower Floor Plan		Approved: <i>Jo Gillies</i> Scale: 1:100 Date: 28 Nov 2005 Job No: 2005.0011 Drng. No: 52	

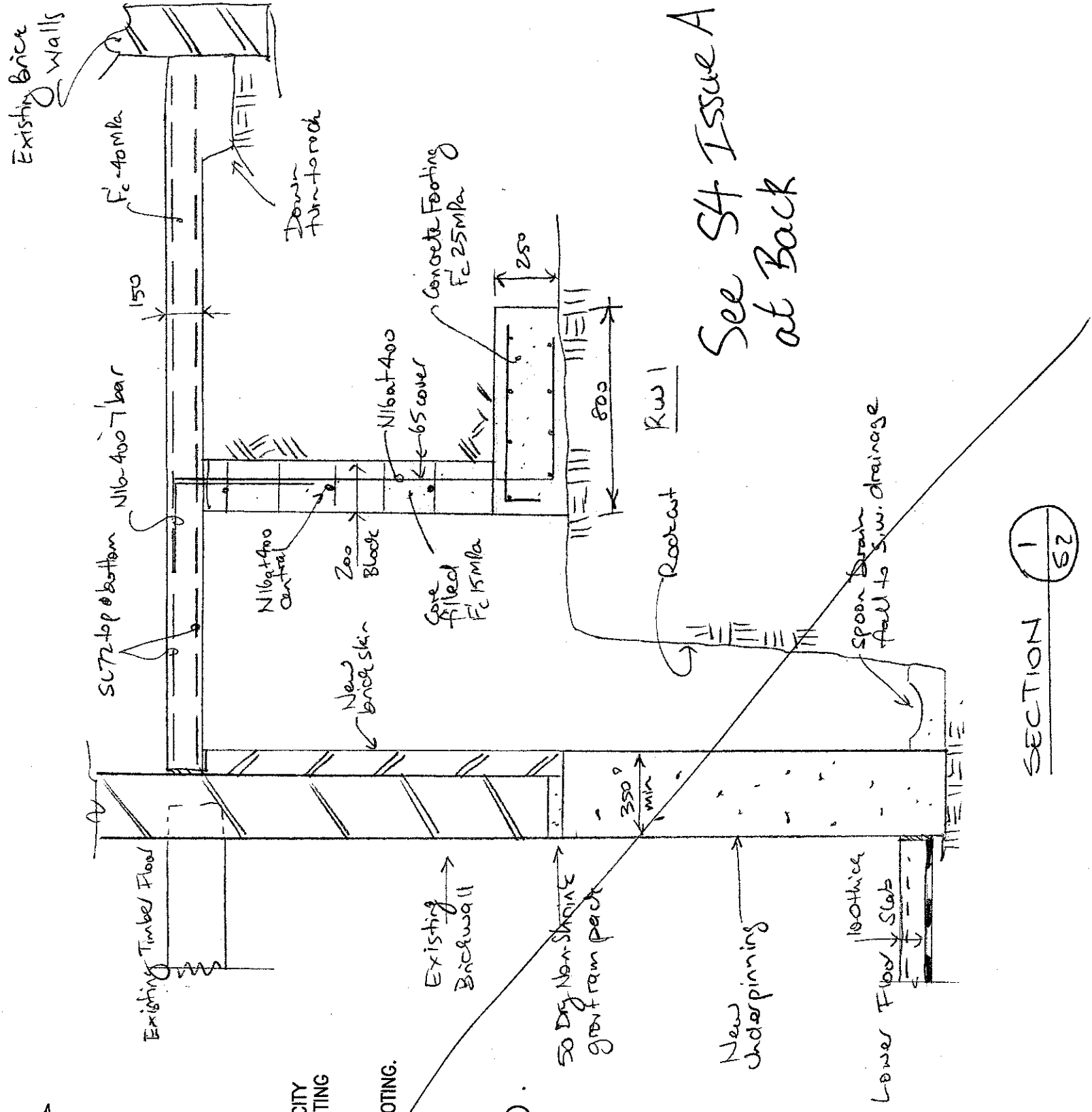


UNDERPINNING PLAN

UNDERPINNING WITH BRICK PROCEDURE

1. EXCAVATE CAREFULLY AREAS TAGGED ① ON PLAN TO MINIMUM 150 kPa BEARING CAPACITY FOUNDATION MATERIAL. DO NOT OVER EXCAVATE. THOROUGHLY CLEAN UNDERSIDE OF EXISTING FOOTINGS. IF ROCK ENCOUNTERED FOUND ALL UNDERPINNING ON ROCK.
2. BUILD MASS BRICKWORK (MIN. 350 THICK) TO WITHIN 50 OF UNDERSIDE OF EXISTING FOOTING. ALLOW TO TOOTH IN NEW BRICKWORK IN ADJACENT UNDERPIN PANELS.
3. MIN. 24 HOURS AFTER STEP 2, RAM PACK DRY NON-SHRINK GROUT, BETWEEN TOP OF NEW FOOTING AND UNDERSIDE OF EXISTING FOOTING.
4. AFTER NON-SHRINK GROUT IS CURED, REPEAT STEPS 1, 2, & 3 FOR AREAS TAGGED ②.
5. ADOPT SIMILAR SEQUENCING FOR AREAS TAGGED ③.

* Mass brickwork may be replaced with mass concrete, $F_c 20 \text{ MPa}$



See S4 Issue A at Back

SECTION 1/52

PITWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC0148105	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005

© 2005 PARTIDGE PARTNERS PTY. LIMITED ABN 73 002 451 925

COPYRIGHT IN THESE DESIGNS AND DRAWINGS IS VESTED IN PARTIDGE PARTNERS PTY LIMITED. THE DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE SPECIFIC TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF PARTIDGE PARTNERS PTY LIMITED. THIS DRAWING SHALL NOT BE CHANGED, ALTERED OR AMENDED BY ANY PARTY FOR ANY PURPOSE OTHER THAN THAT BY PARTIDGE PARTNERS PTY LIMITED.

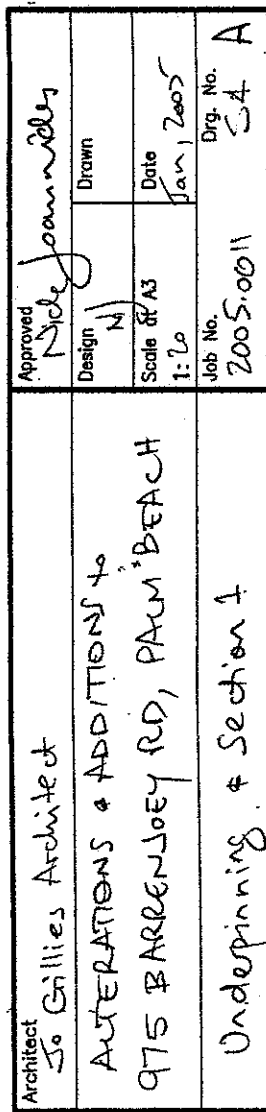


No.	Issue/Amendment	App'd	Date

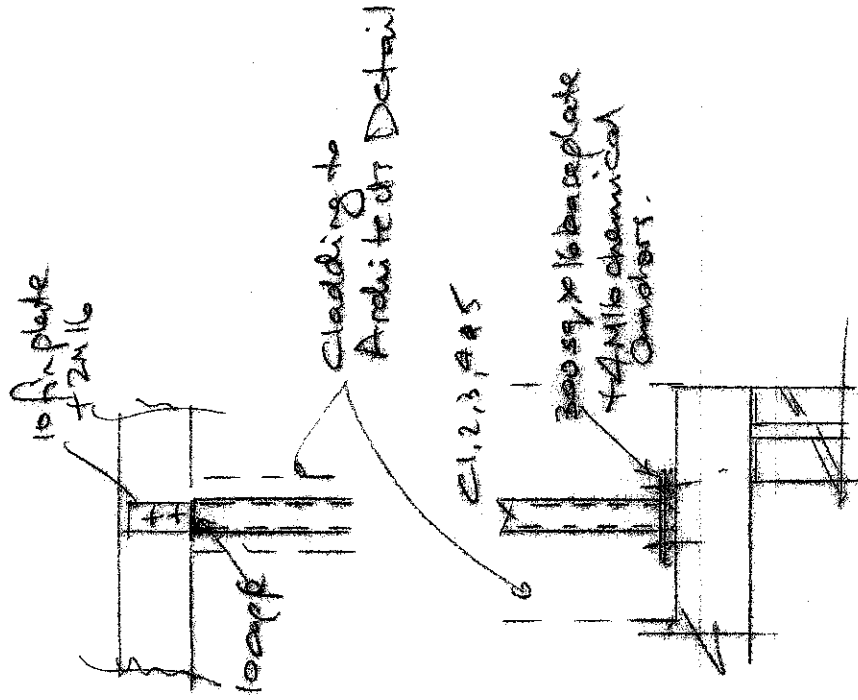
Partridge Partners
Engineering Consultants
Structural
Civil
Facade
Ecological
Forensic

Level 4, 1 Chandos Street, St Leonards NSW 2055 Tel 9460 8000 Fax 9460 9080

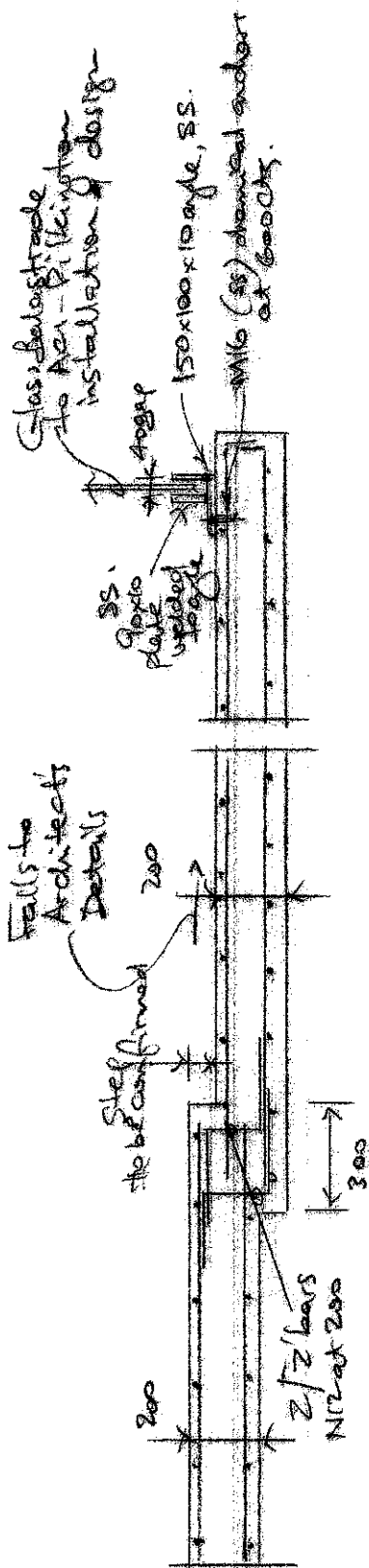
Architect Jo Gillies Architect	Approved Nigel Jannetty
ALTERATIONS & ADDITIONS to 975 BARRENJOEY RD, PALM BEACH	Design Nigel Jannetty
Underpinning & Section 1	Scale & A3 1:20
	Date Jan, 2005
	Job No. 2005.0011
	Dwg. No. S4



\\P:\Pdrawings\2005\UNDERP\NBRICK.dwg, 7/02/2005 7:06:44 PM



COLUMN DETAIL

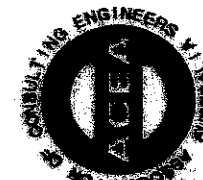


SECTION A

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC0148105	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005

© 2004 PARTIDGE PARTNERS PTY. LIMITED ABN 73 002 481 985

DIFFERENT IN THESE COUNTRIES AND COUNTRIES IS USED IN PARTIDGE PARTNERS PTY. LIMITED. THE PARTIDGE PARTNERS PTY. LIMITED IS A COMPANY INCORPORATED IN AUSTRALIA. THE PARTIDGE PARTNERS PTY. LIMITED IS A COMPANY INCORPORATED IN AUSTRALIA. THE PARTIDGE PARTNERS PTY. LIMITED IS A COMPANY INCORPORATED IN AUSTRALIA.



No. Issue/Amendment

App'd Date

Partidge Partners
Engineering Consultants

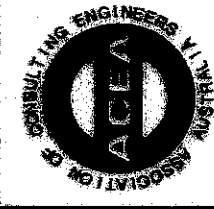
Level 4, 1 Sandstone Street, St Leonards NSW 2055 Tel 9460 8000 Fax 9460 8000

Jo Gillies Architect		Approved:
ALTERATIONS & ADDITIONS to 975 BARRENJOEY RD, PALM BEACH		Design: 2)
Section A & Column Detail		Scale: at AS 1:20
		Date: Jan, 2005
		Job No. 20050011
		Dr. No. 55

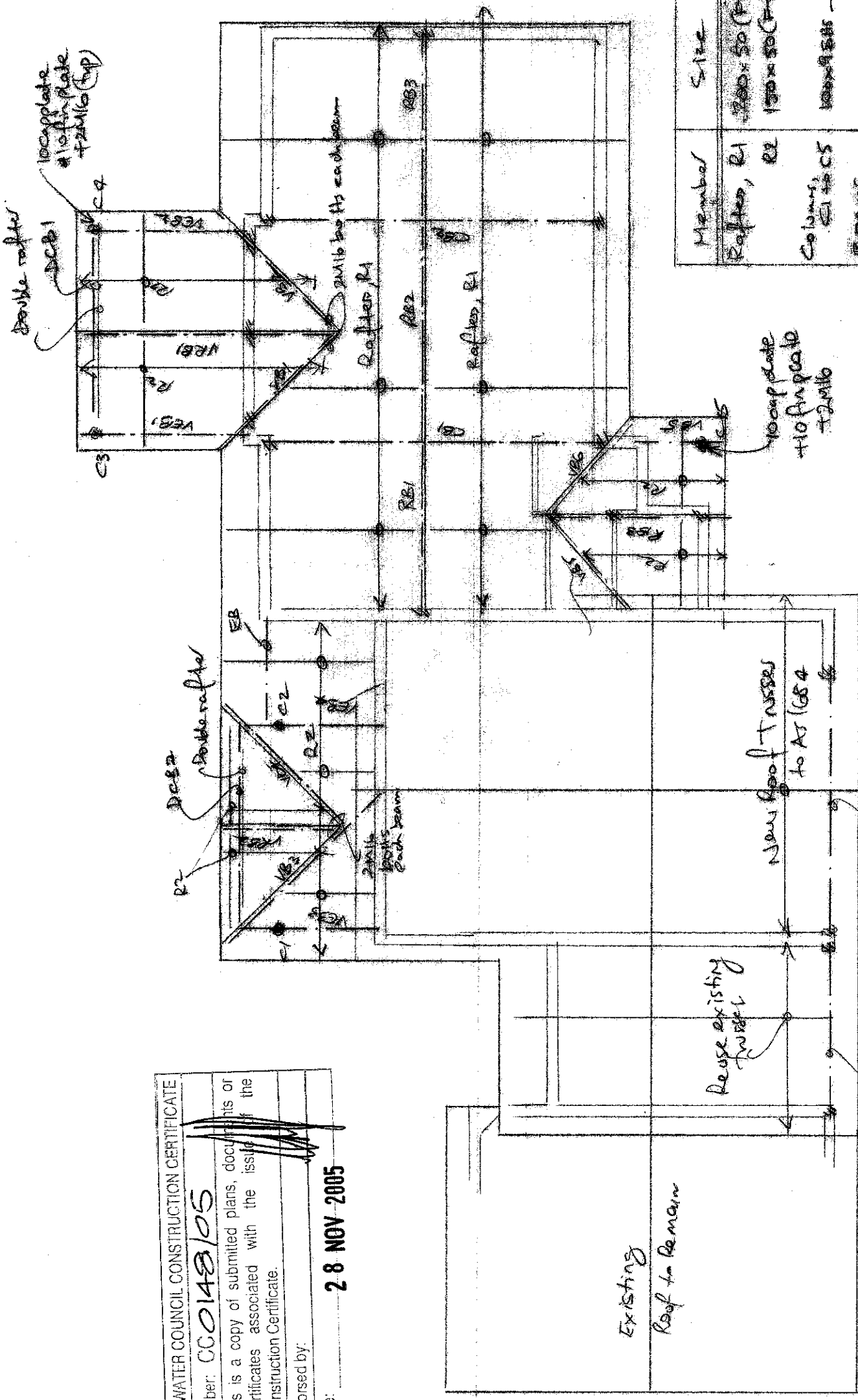


© 2004 PARTRIDGE PARTNERS PTV. LIMITED JAN 73 002 451 025

Comment on these designs and drawings is invited in Partnership by Limited. The design and drawings shown in this drawing are subject to the project only and may not be reproduced in whole or in part without the prior written consent of Partnership by Limited. The drawings shall not be changed, altered or modified by any party for any purpose other than in Partnership by Limited.

[illegible]

Refer to Drawing S1
for Construction Notes



Member	Size
Rafter, R1	200x50 (F) at 450 c/c
R2	150x50 (F) at 450 c/c
Column, C1 to C5	100x100 S&S - check to architect details
Beams, B1, B2, B3	200x50 S&S cranked at ridge, fully welded
RB1, RB2, RB3	180 S&S 22
RB4, RB5, RB6	190x10 (F&T) seasoned hardwood
RB7, RB8, RB9	150 S&S 18 cranked at ridge, fully welded
RB10, RB11, RB12	190x10 (F&T) seasoned hardwood
RB13, RB14, RB15	215x50 (F&T)

Galvalume
250 PFC with 200x10 plate welded to bottom flange
- bear 150 at ends

ROOF FRAMING PLAN

All timber sizes, connections, bracing & holdowns
not shown to be in accordance with the
National Framing Code AS 1684

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: **CC0148105**

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by:

Date: **28 NOV 2005**

© 2004 PARTIDGE PARTNERS PTY. LIMITED ABN 75 002 451 825

ASSOCIATION OF CONSULTING ENGINEERS AUSTRALIA	No.	Issue/Amendment	App'd	Date
	Partidge Partners Engineering Consultants 10/11-13/14 10/11-13/14 10/11-13/14			
Level 4, 1 Gladstone Street, St Leonards NSW 2005 Tel 9460 9000 Fax 9460 0000				
Go Giller Architect		Approved: Date: 28 Nov 2005		
ACTERATIONS & ADDITIONS TO 975 BARRABEE RD, PAM BEACH		Scale at A3 1:100 Date: 28 Nov 2005 Dwg. No. 58		
Roof Framing		Job No. 2005-0011		

Number: CC0148/05

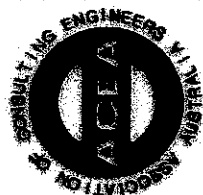
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date: 28 NOV 2005



THIS DOCUMENT IS UNCLASSIFIED
DATE 08-28-2001 BY 60322 UCBAW/STP



No. Issue/Amendment

Added	Date
-------	------



Partidos Perros

Engineering Consultants

Principles of

Level 4, 1 Chardon Street, Auckland, New Zealand

Jo Gillies Architect

ACTIVATIONS & ADDITIONS to
975 BARRENJOE RD, PALM BEACH

Roof Sections

25-10-1944

Vereniging

10

END OF DISC

Copyright © 2003 by John Wiley & Sons, Inc.

830

JOHN J BRIGGS

ASSOCIATES
ACCREDITED BUILDING CERTIFIERS
ACN 089 896 159

COPY

13th October 2005

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re Proposed building works – 975 Barrenjoey Road, Palm Beach

I wish to confirm that I have reviewed plans in respect of the above matter, prepared by Jo Gillies Architect, drawing Nos; B-01, A-02, A-03, A-04, B-05, A-06, B-07, B-08, B-09, B-10, B-11, A-12 & B-13, dated 29/7/05.

The proposed works meet the deemed to satisfy provisions contained within the Building Code of Australia subject to:

- 1.) The provision of the second window as depicted on the Long Section B-05 to the study area adjoining the Master Bedroom. It being noted that this window is not included on the ground floor plan A-02.
- 2.) The provision of adequate mechanical ventilation to the bathroom adjoining the Master Bedroom.

Should you require any further clarification of the above matter, please do not hesitate to contact me on 9907 1018.

Yours sincerely
John J Briggs Associates Pty Ltd



John Briggs
Director

Letters to Council/Pitt Cncl The Outlook Bilgola Plateau

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for <u>R. & D. GILMAN</u>	Name of Applicant
Address of site <u>975 Barrenjoey Road, PALM BEACH</u>	

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, Nicholas Joannides (insert name) on behalf of PARTRIDGE PARTNERS Pty Ltd (trading or company name)

on this the 21 February, 2005 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title:	<u>Geotechnical Assessment, Proposed A&A, 975 Barrenjoey Rd, Palm Beach</u>
Report Date:	<u>1 February, 2005</u>
Author:	<u>Richard Lloyd</u>

Structural Documents list:

<u>2005.0011 / S1, S2, S3, S4, S5, S6, S7, S8 and S9</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

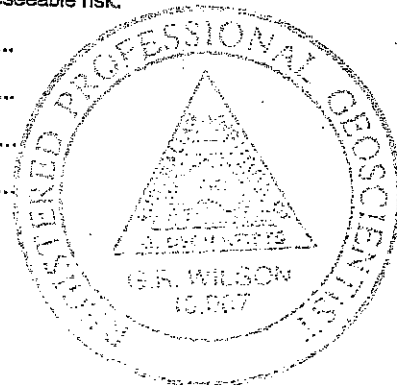
Nicholas Joannides
(name)

Nick Joannides
(signature)

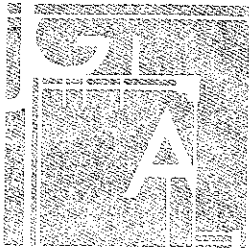
Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 7/2/05 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature G.R. Wilson
 Name G.R. Wilson
 Chartered Professional Status R1600
 Membership No. 10007



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	<u>CC0148/05</u>
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<u>28 NOV 2005</u>
Date:	



Jo Gillies, Architect
ABN 50 784 230 521

79a Lantana Avenue
Collaroy Plateau
NSW 2097

PO Box 225
Collaroy Beach
NSW 2097

p 02 9982 2454
f 02 9982 6226
e info@jogillies.com
w www.jogillies.com

31 October 2005

Att : Carl Georgeson
Development compliance officer

Pittwater Council
Village Park
1 Park st, Mona Vale

Re ; Construction certificate No : CC0148/05
Property No 975 Barrenjoey rd, Palm Beach

***Response to letter stating outstanding items required
satisfying the completion and approval of the CC document
dated 5th September 2005***

Item # 4 on the list :- Statement in bush-fire prone area

At DA stage a comprehensive Bushfire report was arranged and submitted which stated that the fire risk was actually low. Please read attached report which the Builder will comply with in the carrying out of work. The source of potential Bushfire is behind a private house across the road and over 20m away as per Rural Bushfire service guidelines.

The builder shall carry out work in accordance with AS 3959-1999 as per Bushfire report prepared by AGA consultants January 2005 (attached)

Thanking you kindly

Yours faithfully

Jo Gillies

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005

BUSH FIRE REPORT

Property at

**975 Barrenjoey Rd
Palm Beach**



Anthony Gaskell

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005

AGA Consultants

15/11 Pittwater Road
(PO Box 1057)
MANLY
NSW 2095
Phone 9977 2794 Fax 9977 2552
File BA25-Report.doc Printed 28 January, 2005 5:44 PM

CONTENTS

- 1 SUMMARY**
- 2 SITE**
- 3 REFERENCES**
- 4 ASSESMENT**
 - 4.1 Fire Source**
 - 4.2 Slope And APZ Classification**
 - 4.3 Vegetation**
 - 4.4 Category of Bushfire Attack**
 - 4.5 Construction**
- 5 ADDENDA**
 - 5.1 Locality Plan**
 - 5.2 Location Plan**
 - 5.3 Site Plan**
 - 5.4 Photographs**
- 6 APPENDICES**
 - 6.1 Tree selection for fire-prone areas**

Although the bushland on the opposite side of the road from house at 975 Barrenjoey Road appears dense and very close, when the type of growth on the area nominated "Bushfire prone land with Vegetation type 1" and the slope are considered the potential for bushfire attack on the property is quite small.

The potential bushfire source is actually some way up the hill, the bush on the road edge is on private property and it could be required to be cut back by the council if it were to become a fire hazard.

The closest classification of the bush type on road side is "Closed Forest – Low Trees". The house is more than 20 metres from this bush and is thus classified as being a low risk category. Access to the trees in the Bushfire prone land was not possible as it is private land. It can be seen in the photograph of the "House on the other side of the road" and if not classified as Closed Forest Medium trees it would be "Closed Forest – Medium Trees".

Either choice, the CATEGORY OF BUSHFIRE ATTACK is LOW; therefore no particular construction is required from a bushfire aspect.

2

SITE

SITE AND EXISTING HOUSE

The existing house and the additions are on a very open cliff of land looking west and over Pittwater. The existing house is masonry and tiles and is quite resistant to fire attack.

The land slopes steeply up to the road. The road has been cut into the slope so the bush on the other side of the road starts about 10 metres above the road.

VEGETATION

There are no hazardous trees on this western side of the house. The garden on the eastern side of the house is quite densely planted, but generally with species that are not hazardous. The road forms something of an effective fire break, but it would be necessary to keep the ground clear of dead vegetable matter and not incorporate any timber framed structures in this area.

Any new planting should be selected from those listed in "Tree selection for fire-prone areas" as attached.

CONSTRUCTION

There are no construction requirements for the development; however both the existing building and the proposed works are generally out of non-combustible materials.

3

REFERENCES

DRAWINGS

Drawings prepared by Jo Gillies. Architect Project number 001 – GIL, drawings numbered A-01 to A-11

COUNCIL

– Bushfire Prone Land Map prepared by Pittwater Council.

REFERENCES

- Planning for Bushfire Protection (NSW Rural Fire Service)
- Australian Standard AS 3959 – 1999 Construction of buildings in bushfire-prone areas

ABBREVIATIONS

PBP	Planning for Bushfire Protection
APZ	Asset Protection Zone
IPA	Inner Protection Zone
OPA	Outer Protection Zone

4 ASSESSMENT

4.1 FIRE SOURCE

Bushfire prone land map from the Pittwater Council shows the proximity of the proposed development to the fire source – Refer to 5.2 LOCATION PLAN

4.2 SLOPE AND APZ CLASSIFICATION

(From Table A2.2 "Minimum specification for Asset Protection" – PBP)

UP SLOPE of $>5^{\circ}$

FOR Forest/Woodland, Heath or Open Scrub

Up slope of $>5^{\circ}$ for vegetation group 3 for residential purposes gives:

- APZ = 20 metres
- IPA = 20 metres
- OPA = 0 metres

4.3 VEGETATION

(From Figure A2.2 "Pictorial guide to the structural forms of Australian vegetation" – PBP)

TYPE

Description	Closed Forest Medium trees
Vegetation Group	3
Vegetation Structure	8

4.4 CATEGORY OF BUSHFIRE ATTACK

(From Figure A3.3 "Determination of Bushfire Attack for A Site" – PBP)

Distance from vegetation: from 50 metres but not greater than 80 metres

Slope: Less than 0°

Vegetation: Rainforest

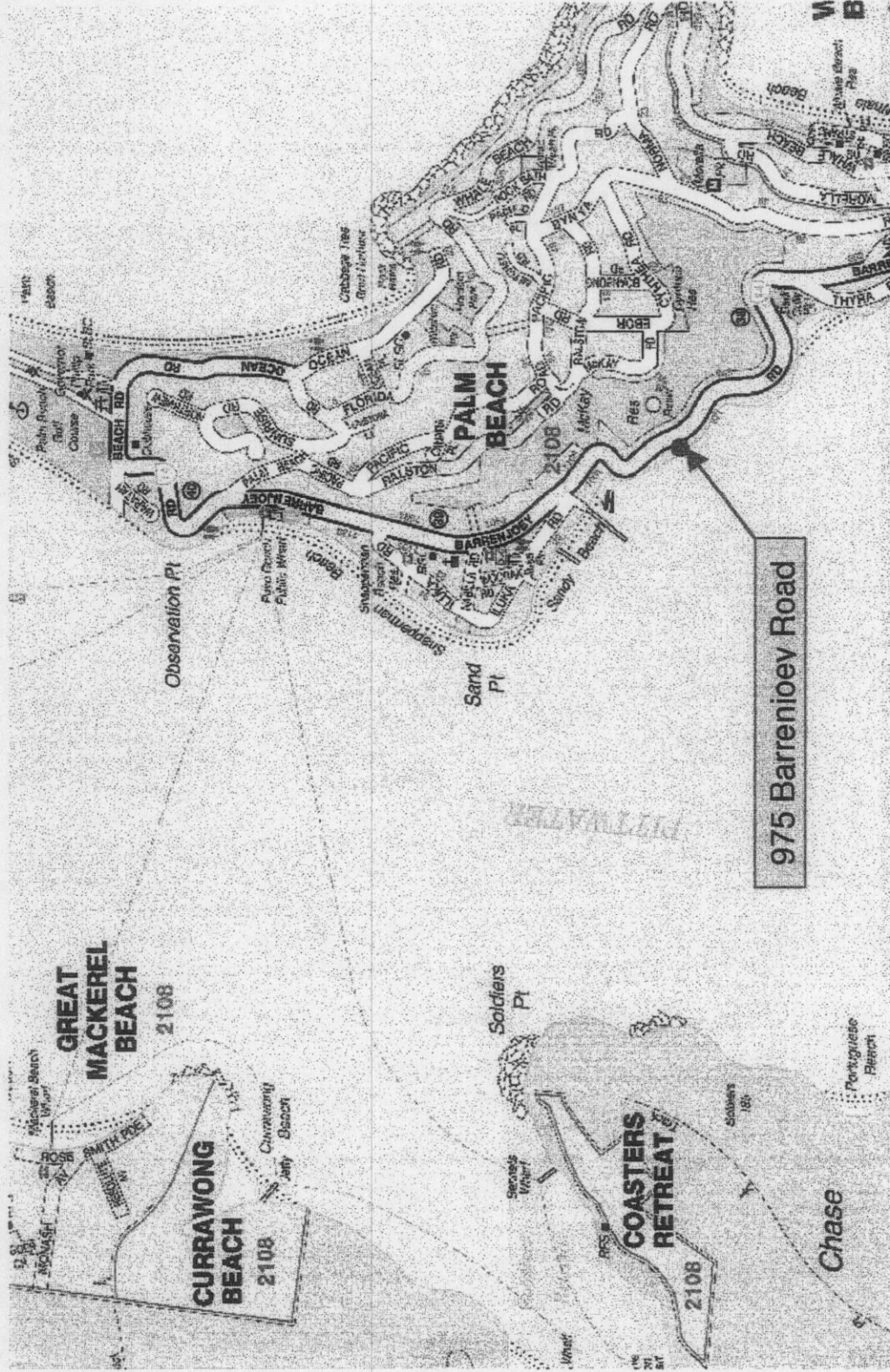
CATEGORY OF ATTACK LOW

4.5 CONSTRUCTION

There are no specific construction requirements for buildings classified as "CATEGORY OF BUSHFIRE ATTACK".

END

975 Barrenjoey Rd, Palm B
Bushfire Asses



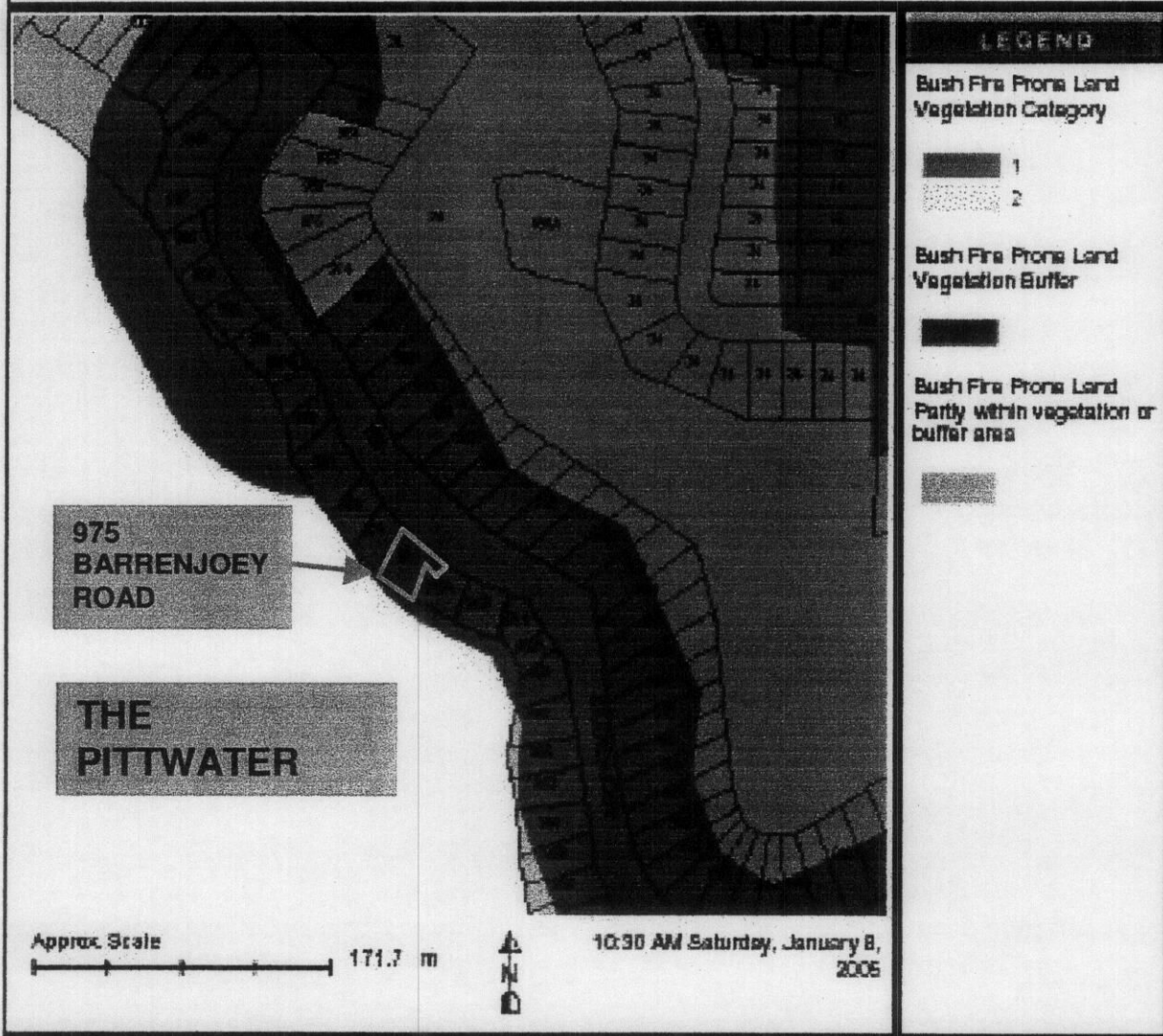
LOCALITY PLAN

ADDENDU



Pittwater Council Mapping

975 Barrenjoey Road bushfire assessment



DISCLAIMER

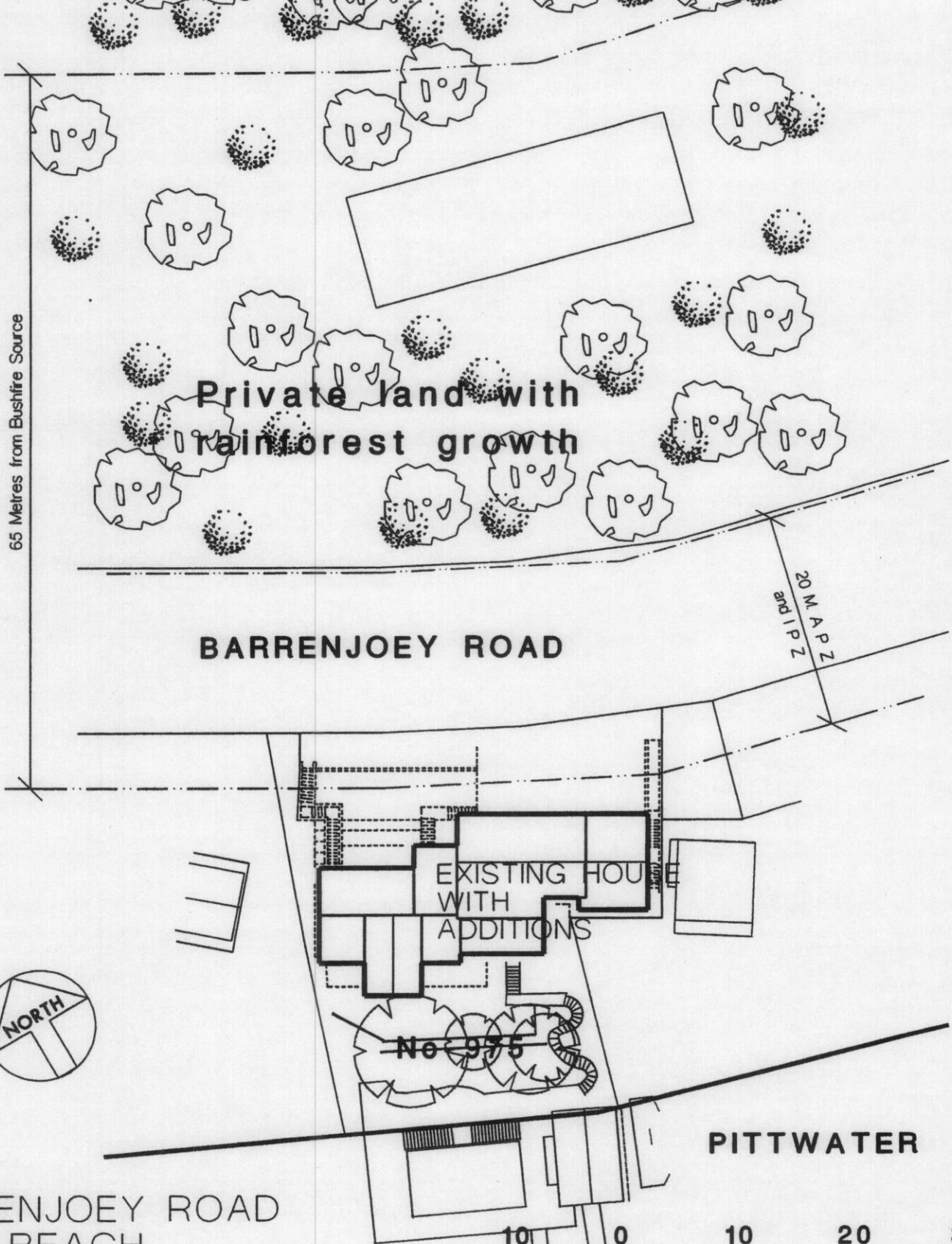
The contents of this website (which includes downloadable material) are subject to copyright and are protected by the laws of Australia and other countries through international treaties.

The information on this website is not checked for accuracy, may be out of date, and is not intended as a substitute for making written enquiries. Accordingly, you should apply to the council in writing for any information that you intend to rely on.

© Pittwater Council, 2001. All rights reserved.

© Land & Property Information, 2001. All rights reserved.

SOURCE OF POTENTIAL BUSHFIRE



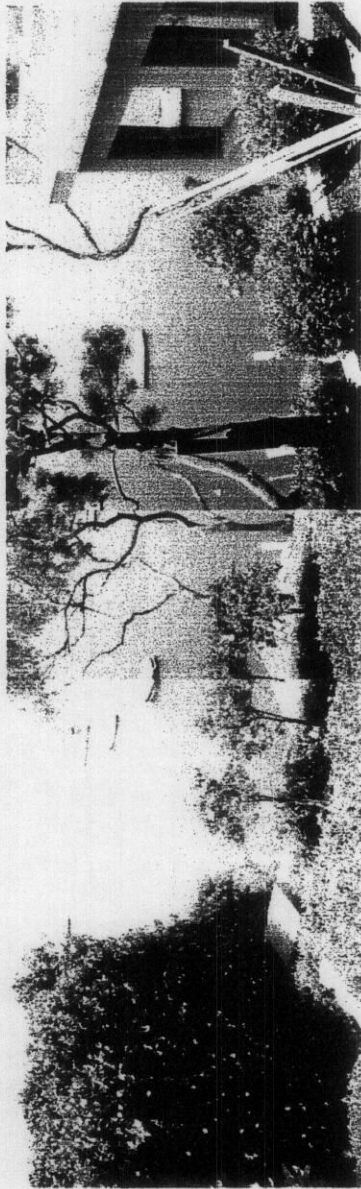
BARRENJOEY ROAD
PALM BEACH

10 January 2005

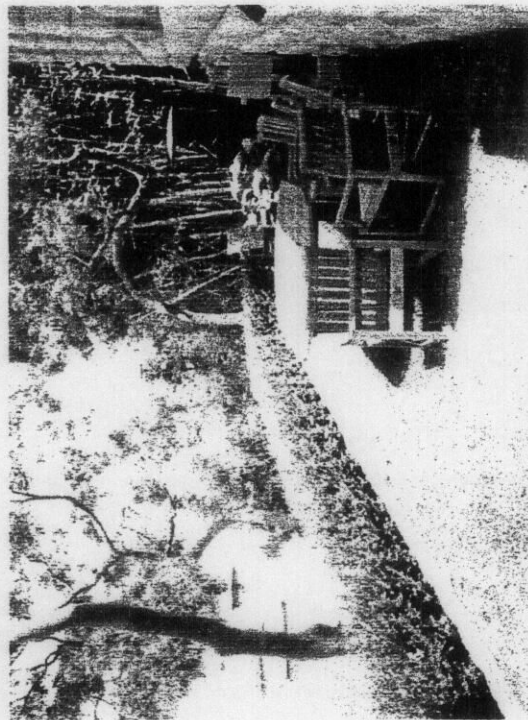
AGA Consultants

SITE PLAN

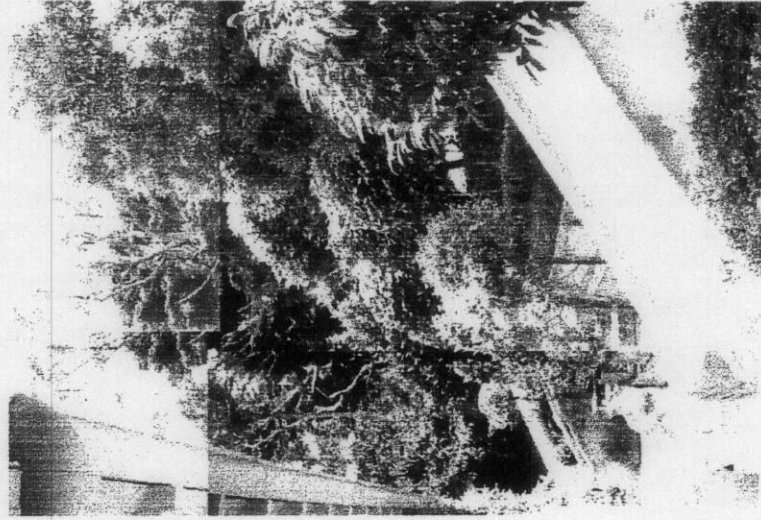
5.3



**West view from house looking
over Pittwater**



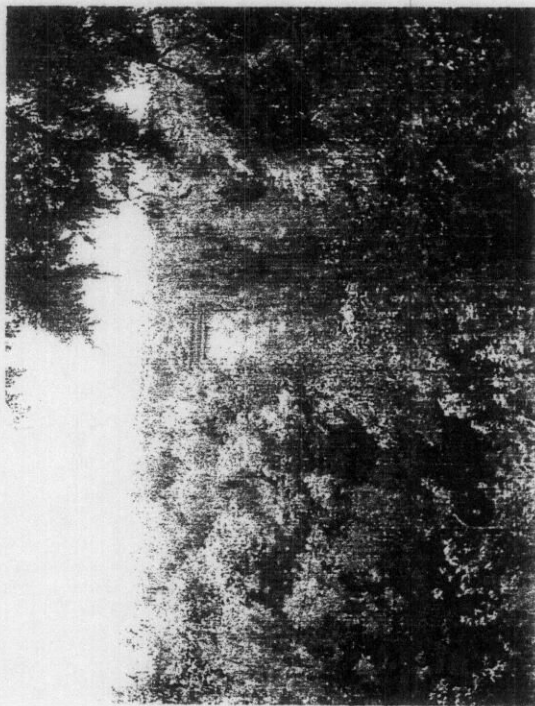
**North view at front of house,
overlooking Pittwater**



**Front of house
(east side) with
steps up to
Barrenjoey Road**

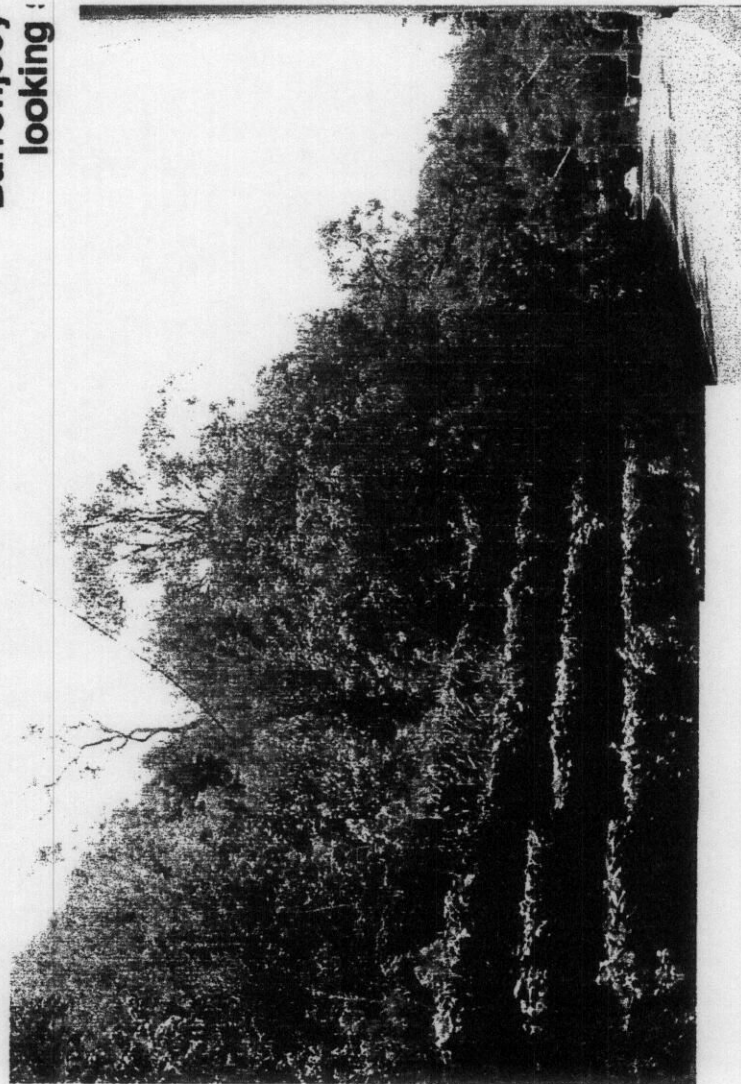
PHOTOGRAPHS

ADDEND



House up hill on opposite
side of Barrenjoey Road

Barrenjoey
looking :



PHOTOGRAPHS

ADDEND

TREE SELECTION FOR FIRE-PRONE AREAS

Source

http://www.rfs.nsw.gov.au/index.cfm?cid=87&the_start=4

TREE SELECTION FOR FIRE-PRONE AREAS

Flammability

All plants will burn, but some are more tolerant of fire than others. Severe fires cause more damage. Low to moderate fires scorch or burn plants. High-intensity fires incinerate plants. Young plants are more susceptible to damage than mature plants.

Features of plants that provide protection from fire include:

- high salt content of leaves
- high moisture content of leaves
- low volatile oil content of leaves
- thick bark protecting conductive tissues and dormant buds
- seeds enclosed in woody capsules
- dense crown
- lowest branches out of reach of ground fires

Plants that retain or accumulate dead leaves and twigs will burn, especially if this material is continuous from the ground to the crown. Trimmed cypress hedges, for example, are an extreme fire hazard. Volatile oils in leaves of eucalypts, callistemons and melaleucos burst into flames on heating and increase fire intensity.

Thick bark will protect trees, but may be a fire hazard if it is loose, fibrous or stringy. These types of bark easily ignite and encourage fire to spread through the crown of the trees. Wind can carry burning bark, especially loose, flaky or ribbon bark, away to start new fires - a process called "spotting"

Ability to regenerate

Many plants can regrow or regenerate after a fire. Native plants have evolved with fire and most will regenerate well. They have survival mechanisms such as dormant buds, thick bark and thick, woody capsules to protect seeds, or they store seed in the soil. Introduced plants have few survival mechanisms, but burn less readily than most natives.

Eucalypts can reshoot from dormant buds beneath their bark.

Casuarinas and some acacias reshoot from roots. Some eucalypts, acacias, tea-trees, banksias, hakeas and callistemons regenerate from seed. Seed of many acacias is stored in the soil and germinates after fire. Larger acacias are more tolerant of fire than smaller ones.

If crowns and trunks of native species such as eucalypts, acacias and casuarinas are killed by fire, the tree will often reshoot from the stump when felled.

Introduced deciduous trees, such as poplars and willows, reshoot from roots, and oaks reshoot from stumps when the fire-killed crown and trunk is felled. Most pines will not recover if more than half their foliage is burnt, although Canary Island pine, Ponderosa pine, Aleppo pine, and Redwood are more fire-tolerant than this.

After the fire

Ground cover and prunings from fodder trees may provide supplementary stockfeed when pastures are burnt. Saltbush, most casuarinas, several species of eucalypt and acacia, poplars and willows are all fodder trees.

Fire-damaged shelterbelts will still protect stock from wind and sun, so retain them until new shelterbelts are established.

Fire-tolerant plants may provide a valuable refuge and source of food after a fire for wildlife such as small marsupials, nectar-feeding birds, bees and other insects.

c - prefers cool climate,

x - extensively naturalised: might be declared noxious weed in some areas.

The more fire resistant native trees and shrubs include:

- *Acacia cyclops*
- *Acacia glandulicarpa*
- *Acacia howittii*
- *Acacia iteaphylla*
- *Acacia melanoxylon*
- *Acacia pravissima*
- *Acacia prominens*
- *Acacia terminalis*
- *Acacia vestita*
- *Acmena smithii*
- *Agonis juniperina*
- *Angophora costata*
- *Atriplex* spp.
- *Brachychiton populneus*
- *Casuarina cristata*
- *Casuarina cunninghamiana*
- *Eucalyptus maculata*
- *Ficus macrophylla*
- *Hakea salicifolia*
- *Hakea suaveolens*
- *Heterodendrum oleifolium*
- *Lagunaria patersonii*
- *Melaleuca lanceolata*
- *Melia azedarach*
- *Myoporum insulare*

- *Pittosporum undulatum*
- *Tristania conferta* West Australian Coastal Wattle
- Hairy Pod Wattle
- Sticky Wattle
- Gawler Range Wattle
- Blackwood
- Ovens Wattle
- Golden Rain Wattle
- Cedar Wattle
- Hairy Wattle
- Lilly Pilly
- Juniper Myrtle
- Apple Jack
- Saltbush
- Kurrajong
- Belah
- River She-Oak
- Spotted Gum
- Moreton Bay Fig
- Willow Hakea
- Sweet Hakea
- Cattlebush
- Pyramid Tree
- Moonah
- White Cedar
- Boobialla
- Sweet Pittosporum
- Brush Box

Introduced plants that are hard to burn include:

- *Acer campestre*
- *Acer negundo*
- *Acer platanoides* c
- *Acer pseudoplatanus* c
- *Aesculus hippocastanum* c
- *Alnus jorullensis*
- *Calodendrum capense*
- *Castanea sativa* c
- *Celtis occidentalis*
- *Ceratonia siliqua*
- *Cercis siliquastrum*
- *Coprosma repens*
- *Cornus capitata* c
- *Corynocarpus leavigatus*
- *Elaeagnus angustifolia*

- Olive
- Red-leaf Photinia
- Chinese Hawthorn
- Tarata
- Plane
- Poplar
- Cherry Laurel
- Portugal Laurel
- Algerian Oak
- Turkey Oak
- Holm Oak
- English Oak
- Weeping Willow
- Pepper-Tree
- Rowan
- Athel
- Linden
- Elms

Ground cover plants that are hard to burn include:

- Ajuga reptans
- Atriplex spp.
- Carpobrotus spp.
- Coprosma 'kirkii'
- Delosperma 'alba'
- Drosanthemum floribundum
- Gazania spp.
- Hederia spp.
- Helianthemum spp. c
- Kennedia spp.
- Kochia spp.
- Lampranthus multiradiatus
- Myoporum parvifolium
- Portulacaria spp.
- Pelargonium spp.
- Rhadgodia spp.
- Rosmarinus officinalis prostratus
- Rosemary (prostrate form)
- Santolina spp.
- Verbena peruviana
- Vinca spp.
- Bugle
- Saltbush
- Pigface
- Gazanias

- Clinging types of Ivy
- Sunroses
- Coral Peas
- Bluebushes
- Noonflower
- Creeping Myoporum
- Jade Plants
- Pelargoniums
- Saltbush
- Stonecrops
- Periwinkles

Level 4, 1 Chandos Street
St Leonards
NSW 2065 Australia
email partridge@partridge.com.au
web www.partridge.com.au
Facsimile 02 9460 9090
Telephone 02 9460 9000



Partridge Partners

Engineering Consultants

Structural
Civil
Facade
Ecological
Forensic

25/01/2005

Mr & Mrs Gilman
975 Barrenjoey Rd
PALM BEACH NSW 2108

STRUCTURAL CERTIFICATE OF ADEQUACY OF EXISTING STRUCTURE

Project Description: Proposed Alterations & Additions to Residence

Site Address: 975 BARRENJOEY RD, PALM BEACH

Client: Mr & Mrs Gilman

We, Partridge Partners Pty Limited, being Professional Structural Engineers, within the meaning of Building Code of Australia, hereby certify that we have inspected the above building, and the existing footings and walls are capable of safely supporting the design loadings for the proposed alterations as detailed on the following drawings:

Certified Structural Drawing Nos:-2005.0010 / S1, S2, S3, S4, S5, S6 & S7.

Architectural Drawings Nos: A.01, A.02, A.03, A.04, A.04, A.05, A.06, A.07, A.08 & A.09.

The new design *may* cause some slight opening of existing cracks and formation of fine new cracks. In the unlikely event of such cracks occurring, we are of the opinion that they will not be structural and may be treated by simple patching and/or painting.

Signed:

Nicholas Joannides
BE(Hons1) MEngSc FIEAust CPEng RPEQ
Director

For and on Behalf of:
Partridge Partners Pty Ltd

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0148/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	28 NOV 2005



Liability is limited by the
Investigative & Remedial Engineers
Scheme, approved under the
Professional Services Act 1994 (NSW)



Association of
Consulting Engineers Australia
Partridge Partners Pty Ltd
ACN 002 451 925
ABN 73 002 451 925

COPY

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainlayer.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3400140

Reece, Brookvale,
Quick Check Agent on behalf of
SYDNEY WATER

Per:

Reece 31.10.05

FINISH
BOATSHED

PROPERTY

Area of Reduction
in Response to
Council Request

(WATERLOO)
BRICK RESIDENCE
CEMENT RENDERED
THREE STOREY
HOUSE

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0148/05

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by:

Date:

28 NOV 2005



Pittwater Council
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document
- Complete pages 1, 2 & 3
- Sign on page 8
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate.

☐
☐
☐
☐

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HINC)
\$0 - \$5,000	\$92.00	\$161.00
\$5,001 - \$100,000	\$235.00	\$305.00
\$100,001 - \$250,000	\$376.00	\$430.00
\$250,001 and over	\$484.00	
\$250,001 - \$500,000		\$590.00
\$500,001 - \$1,000,000		\$740.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
------------------	-------------	--------------	--------------

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: N0099/05	Determination Date: 5 AUGUST 2005
---	--------------------------------------

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: CC0148/05	Date of Issue: 25 NOVEMBER 2005
---	------------------------------------

1c) DEVELOPMENT DETAILS

Type of Work: ☐ New Building ☐ Additions / Alterations ☐ Subdivision	Brief description of development:
--	-----------------------------------

1d) SITE DETAILS

Unit/Suite:	Street No: 975	Street: BARRENJOEY ROAD
Suburb: PALM BEACH	Lot No:	Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B): Mobile: Email: Fax:

3. **PRINCIPAL CERTIFYING AUTHORITY**

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If **NO** work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

*If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia.
Tel: 61 2 98950111 Fax: 61 2 9895 0222.*

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Footing Inspection (prior to placement of concrete)
- ☒ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☒ Wet Area Waterproofing Inspection (prior to covering)
- ☒ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)

Office Use Only

Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form.

A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$100,000	\$150
\$100,001 and over	\$250

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$270	\$270
Commercial (Class 2 – 9 buildings)	\$325	\$325

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- ☒ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☒ Details of compliance with development consent conditions



Office Use Only

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer
- ☐ Underpinning works by a structural engineer
- ☐ Structural engineering works by a structural engineer
- ☒ Retaining walls by a structural engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☒ Mechanical ventilation by a mechanical engineer
- ☒ Termite control and protection by a licensed pest controller
- ☒ Waterproofing of wet areas by a licensed waterproofer or licensed builder
- ☒ Installation of glazing by a licensed builder
- ☒ Installation of smoke alarm systems by a licensed electrician
- ☒ Completion of construction requirements in a bush fire prone area by a competent person
- ☐ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person.
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer

Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	