



View 1 From ROW

Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

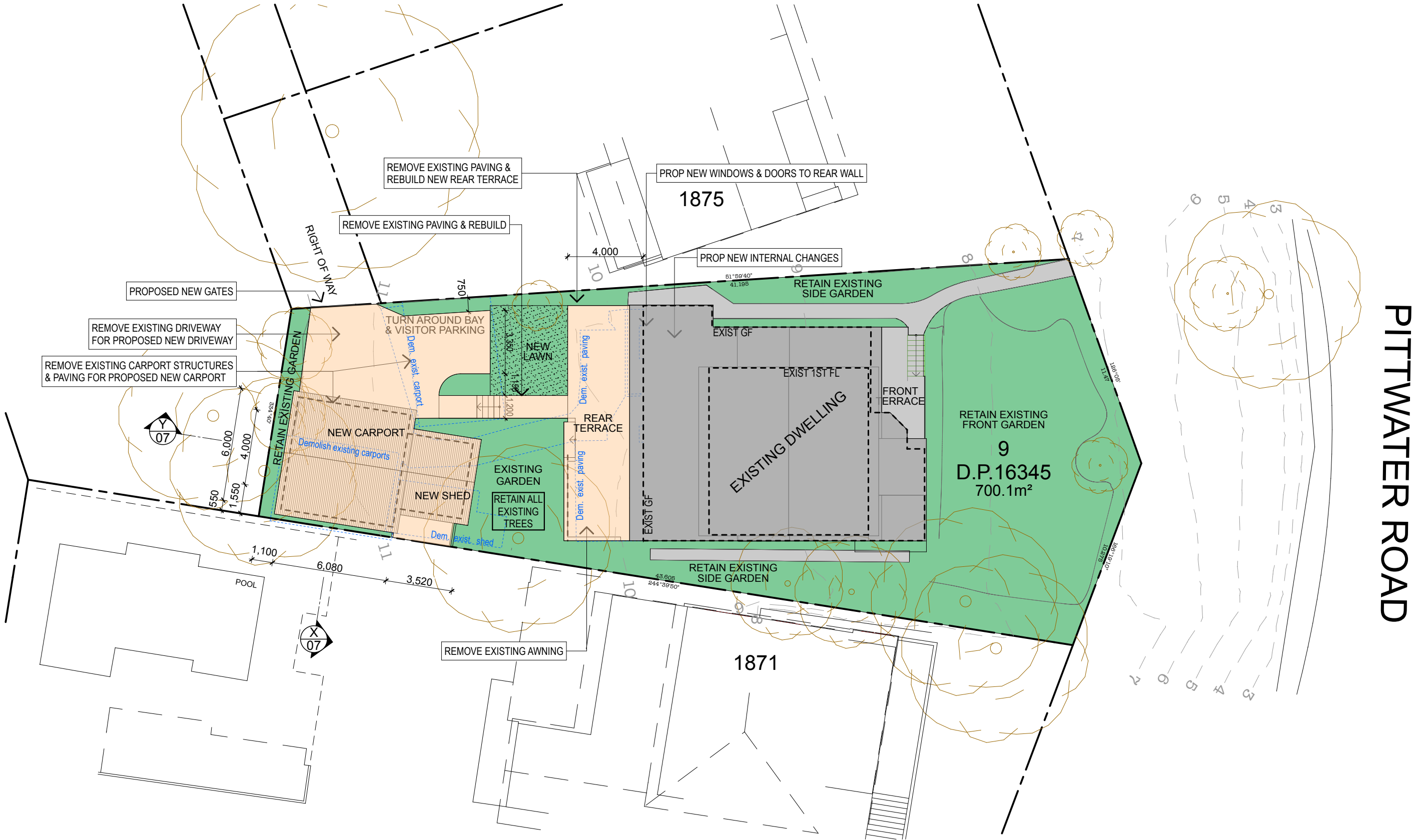
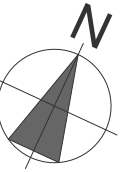
Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Cover Page

Drawing No. :
DA-00 @A3

Issue :
Date :
Aug 2022



1 Site Plan
1:200

Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

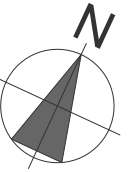
Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Site Plan

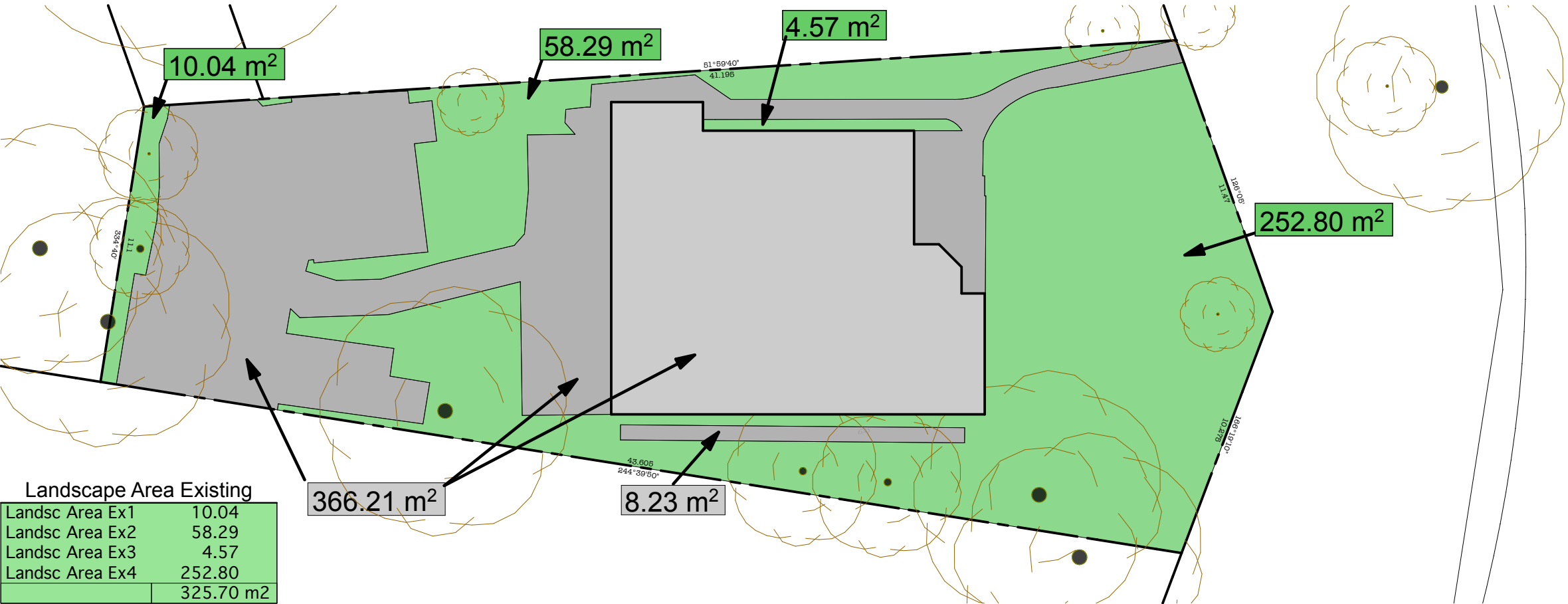
Drawing No. :
DA-01 @A3

Issue :
Date :
Aug 2022



PITTWATER ROAD

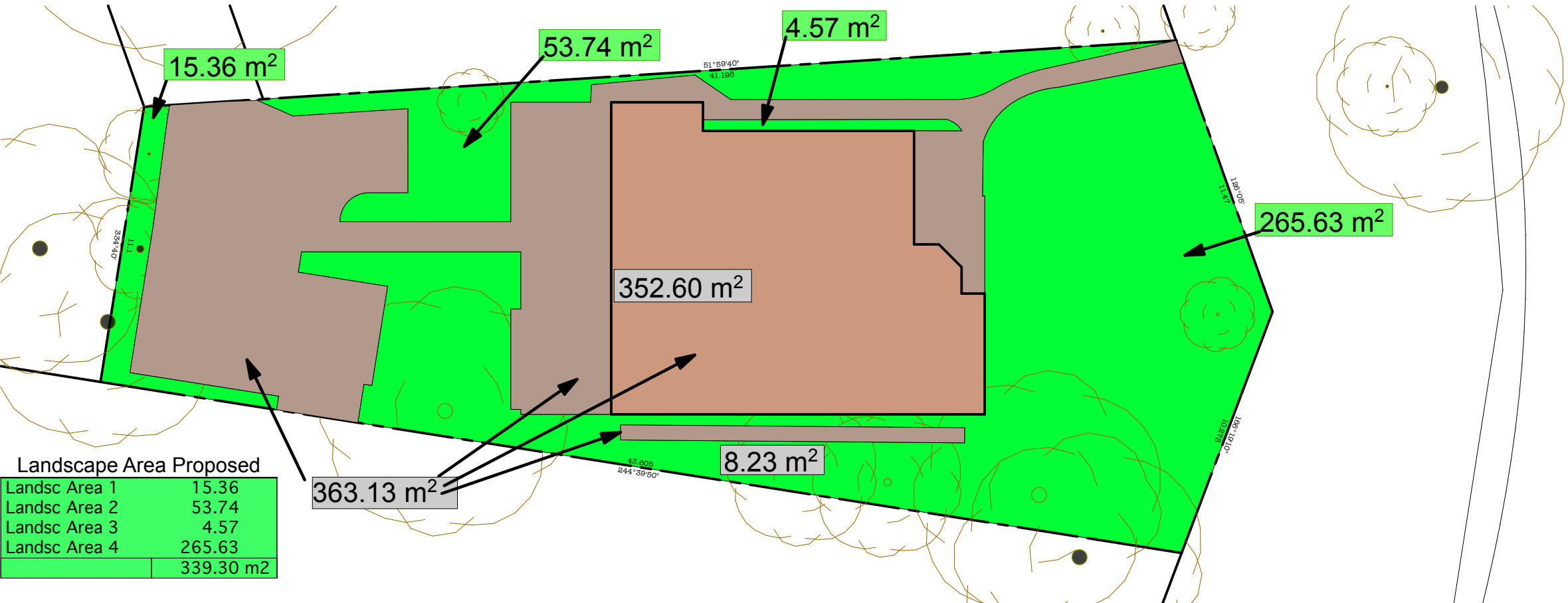
PITTWATER ROAD



Landscape Area Existing	
Landsc Area Ex1	10.04
Landsc Area Ex2	58.29
Landsc Area Ex3	4.57
Landsc Area Ex4	252.80
	325.70 m2

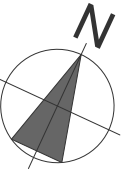
1 Landscaped Area Existing
1:200

AREA CALCULATIONS	
SITE Lot 9 DP 13345	
SITE AREA	= 700.1m²
EXISTING LANDSCAPED AREA	= 325.70m² (46.5%)
PROPOSED LANDSCAPED AREA	= 339.30m² (48.4%)
NET INCREASE LANDSCAPED AREA	= 13.6m² (1.9%)



Landscape Area Proposed	
Landsc Area 1	15.36
Landsc Area 2	53.74
Landsc Area 3	4.57
Landsc Area 4	265.63
	339.30 m2

2 Landscaped Area Proposed
1:200



1

Existing Ground Floor
1:100

Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Existing Ground Floor Plan

Drawing No. :
DA-03 @A3

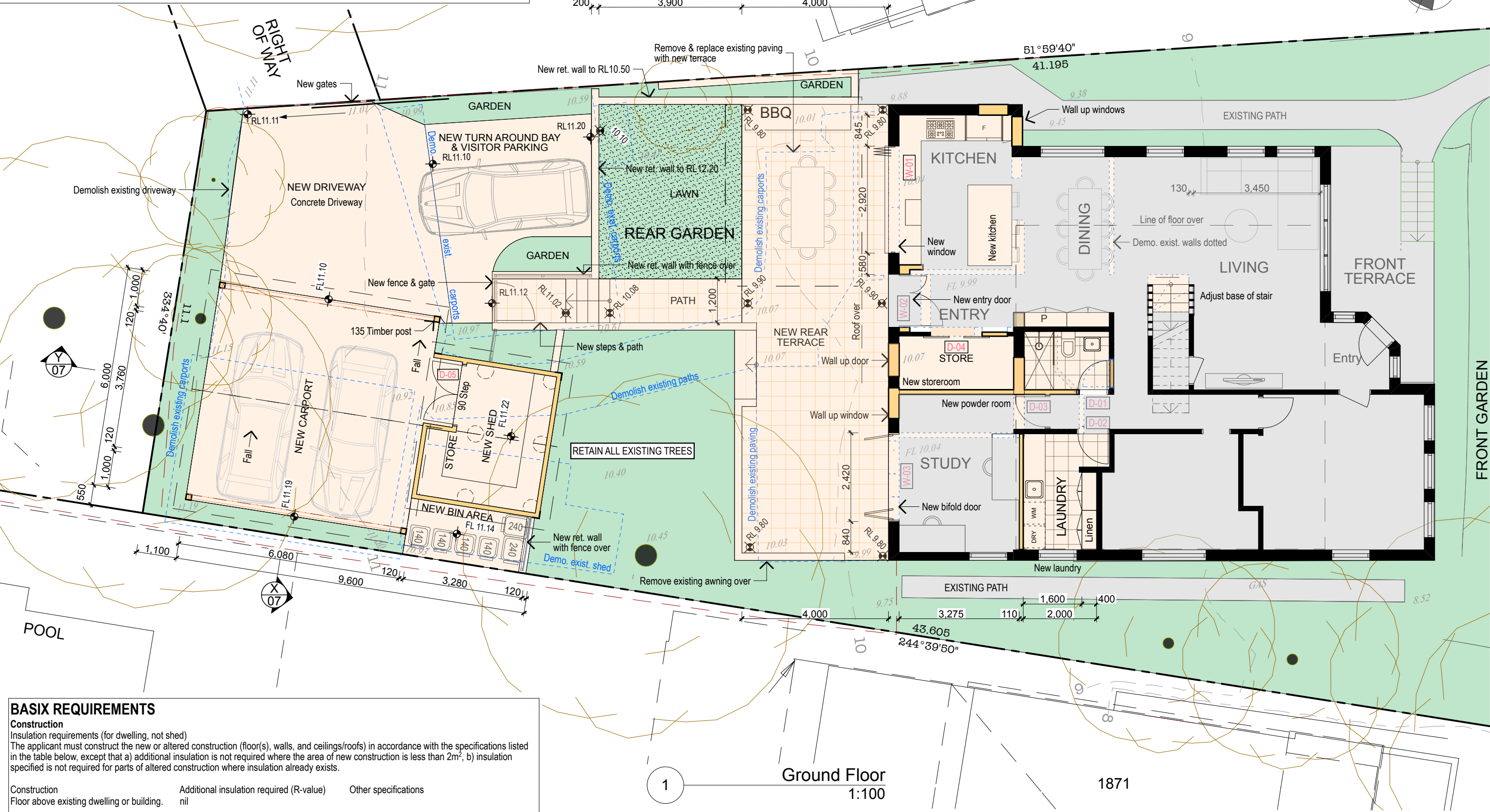
Issue :
Date :
Aug 2022

BASIX REQUIREMENTS

Fixtures and Systems

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



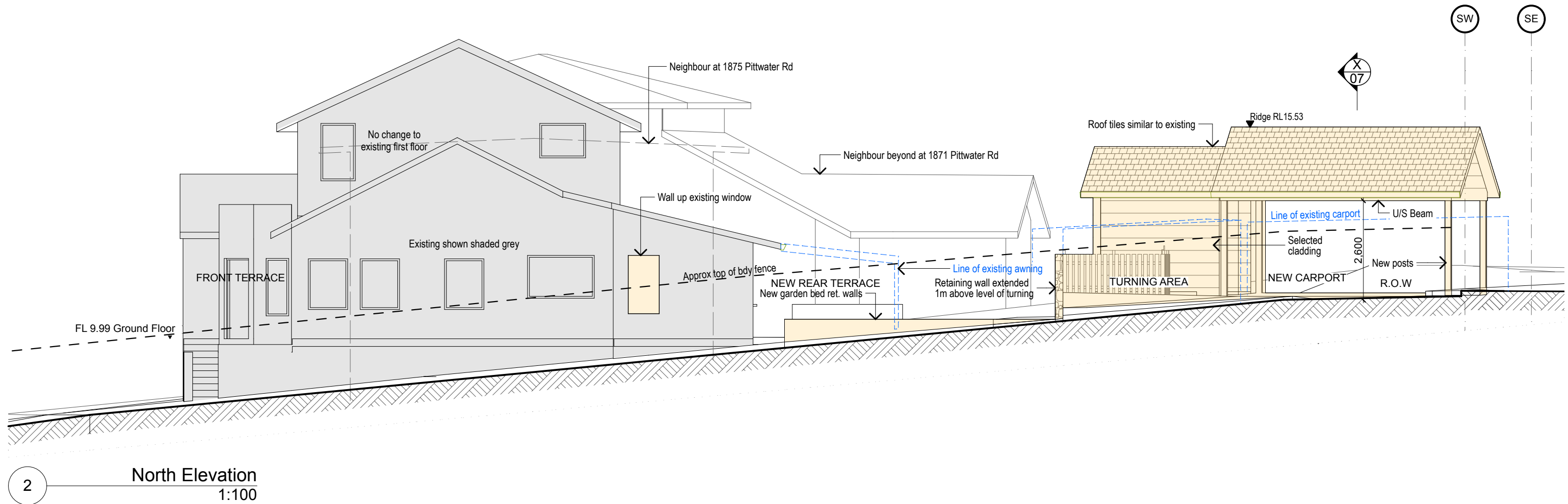
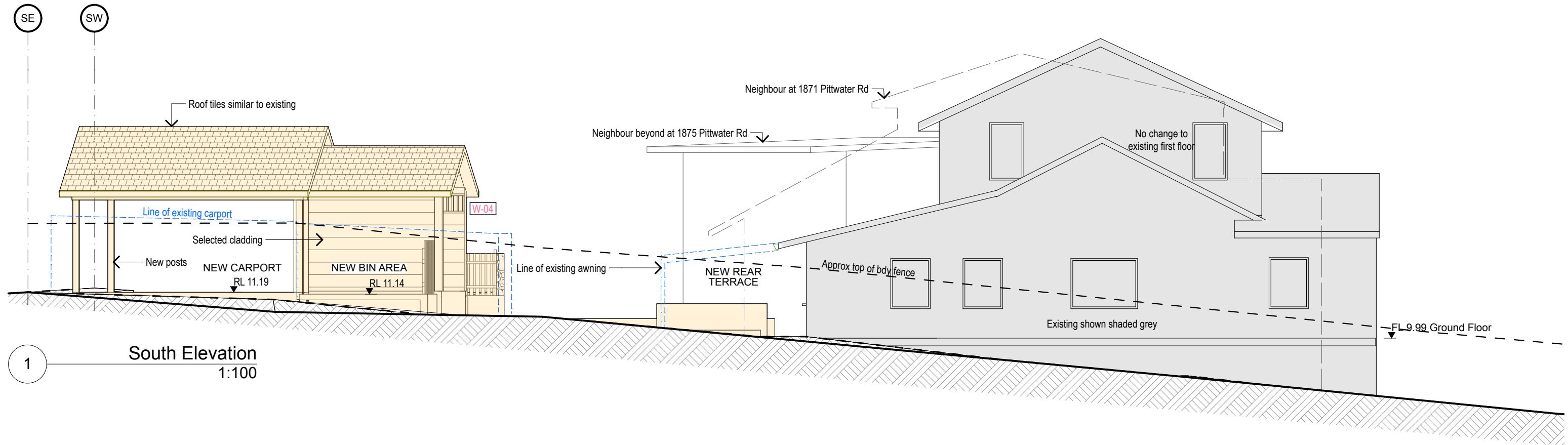
BASIX REQUIREMENTS

Construction
Insulation requirements (for dwelling, not shed)
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
Floor above existing dwelling or building.	nil	
External wall: Cavity brick (R0.67),	nil	
External wall: Brick veneer (R0.54)	R1.16 (or R1.70 including construction)	
External wall: framed (weatherboard, fibro, metal clad) (R0.40)	R1.30 (or R1.70 including construction)	
Flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
Raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

1 Ground Floor 1:100

All works to be in accordance with relevant BCA/NCC and Australian Standards. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

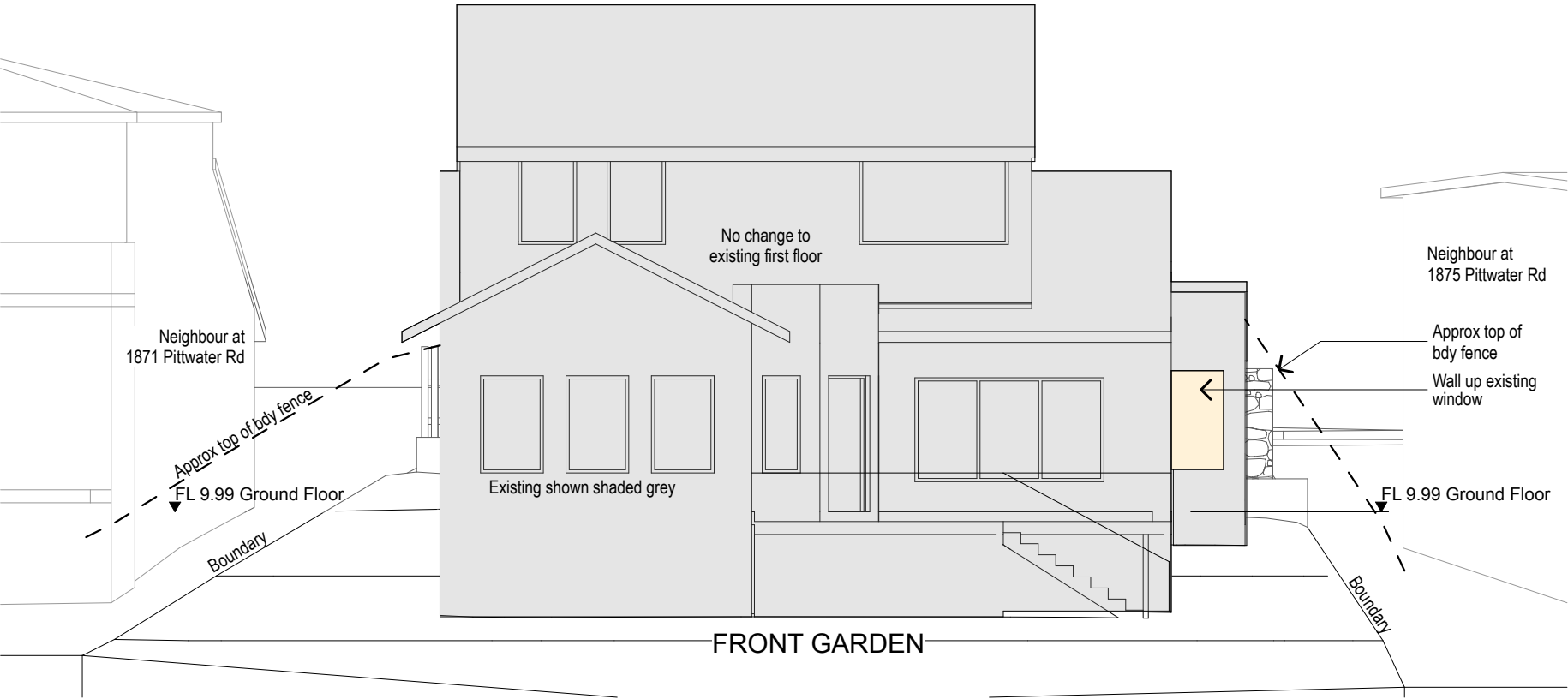
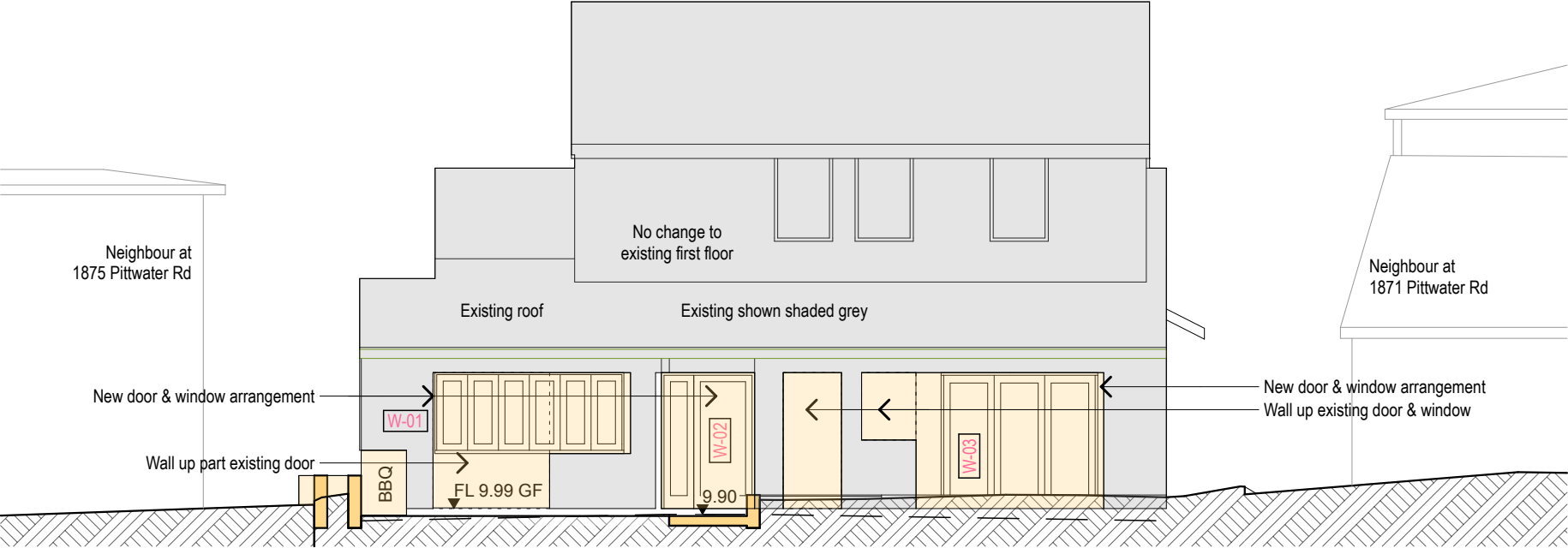
Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Elevations N & S

Drawing No. :
DA-05 @A3

Issue :
Date :
Aug 2022



BASIX REQUIREMENTS

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window/door no.	Orientation	Area of glass inc. frame (m²)	Overshadowing Hght (m)	Dist. (m)	Shading device	Frame and glass type
W1	W	3.66	0	0	eave/verandah/pergola/balcony >=750 mm	timber, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	W	3.02	0	0	eave/verandah/pergola/balcony >=750 mm	timber, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	W	5.08	0	0	eave/verandah/pergola/balcony >=750 mm	timber, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	Window in shed					Nil requirement

Window #	W-01	W-02
Room	Kitchen	Entry
Area m2	3.50	3.02
Elevation		
Basix	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Window #	W-03	W-04
Room	Study	Shed
Area m2	5.08	1.80
Elevation		
Basix	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Window Schedule

WINDOW SCHEDULE NOTES

ALL WINDOWS VIEWED FROM THE OUTSIDE (U.N.O)
ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE PRIOR TO MANUFACTURE.
REFER ALSO TO DOOR SCHEDULE.

LEGEND
F = Fixed glass

GENERAL
All Windows, Doors & Frames must be in Accordance with the latest Glazing req'ts of the Basix Report for the project.

WINDOW & DOOR FRAMES

Frames: Timber
Finish: Painted - White to match existing
Trims: Timber architraves & moldings to match existing
Additional matching trims & cover plates as shown.
Reveals: Timber reveals to all window frames.

Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

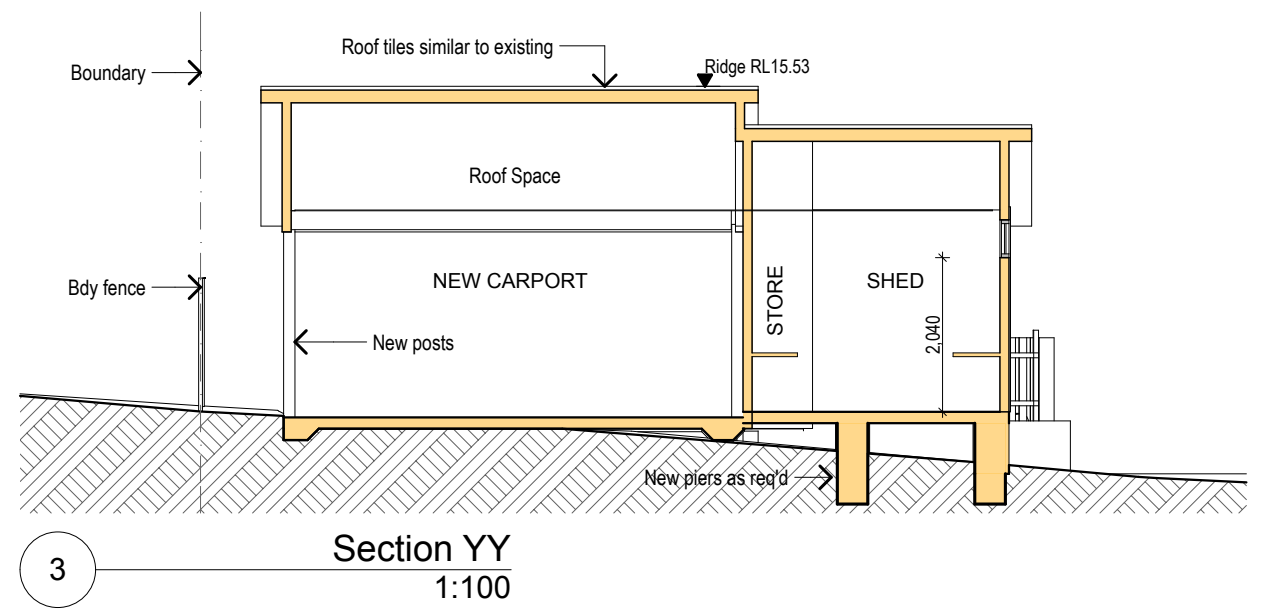
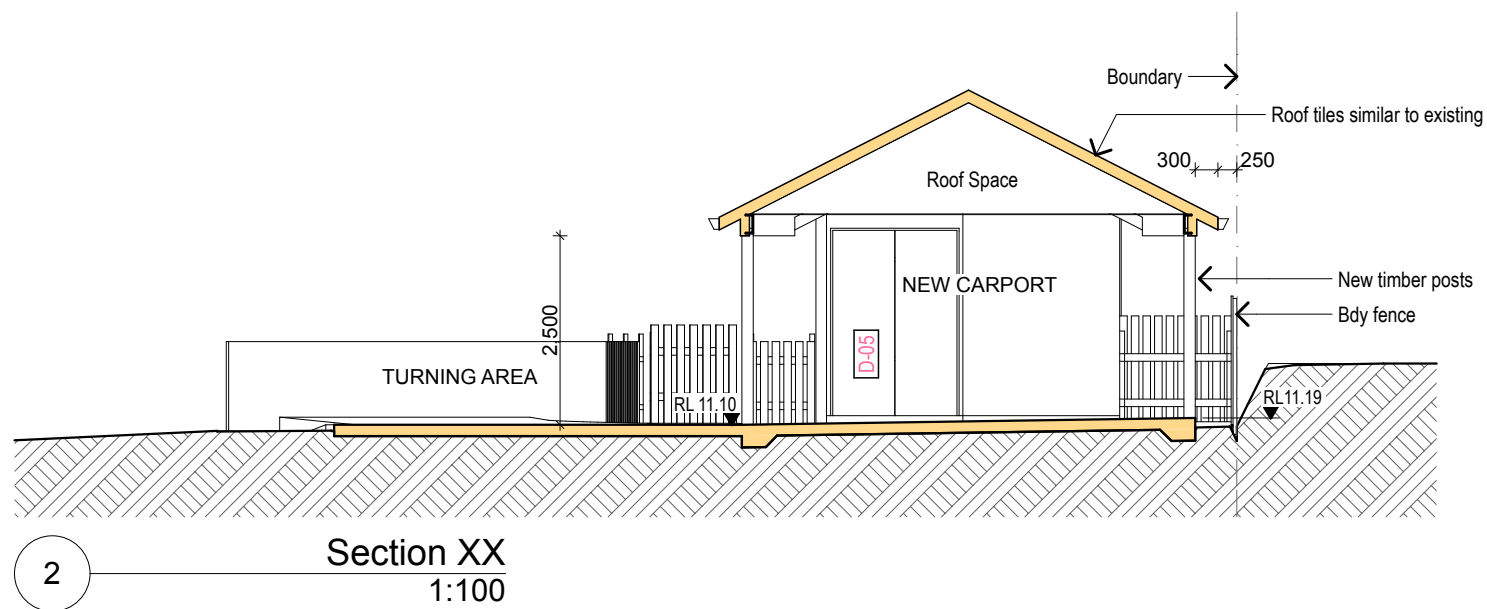
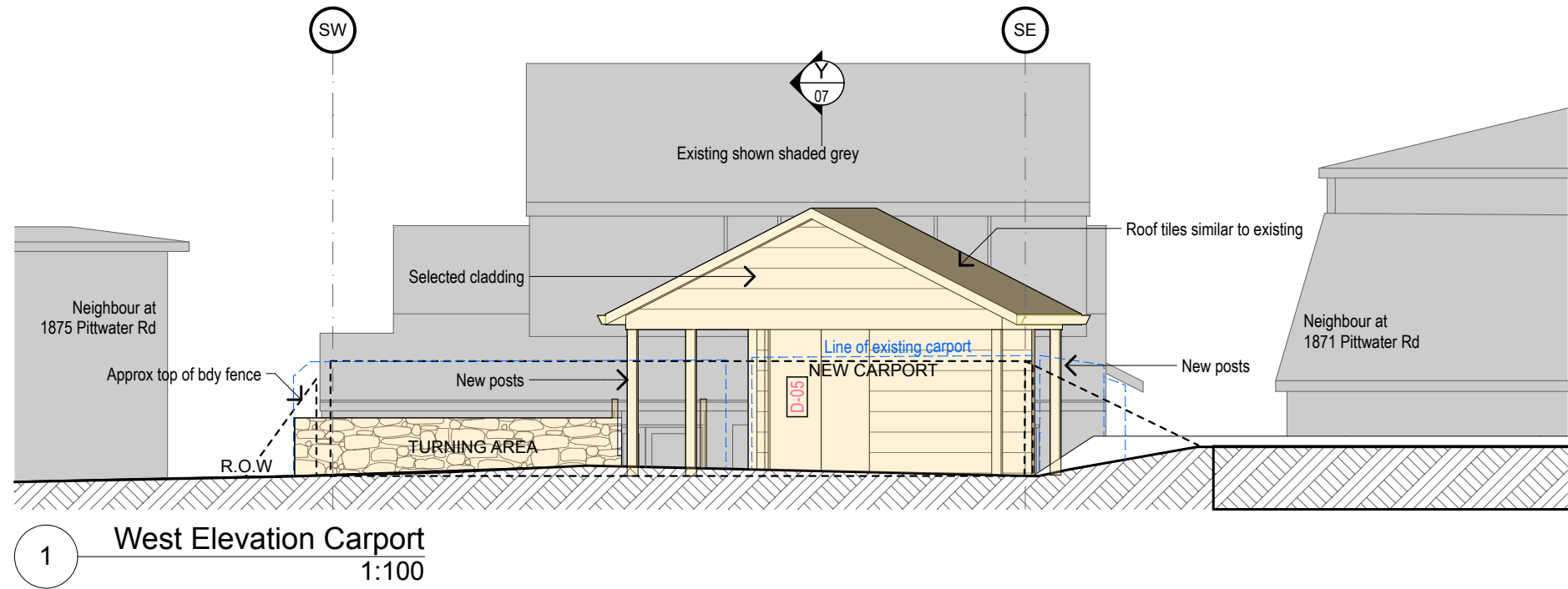
Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Elevations E, W & Window Sched

Drawing No. :
DA-06 @A3

Issue :
Date :
Aug 2022



Designed by
A. Holt B(Arch)

Project :
Alterations & Additions, 1873 Pittwater Rd, Bayview

Client :
Hermesen

Scale :
As Shown @ (A3)

Drawing :
Carport Elevation & Sections

Drawing No. :
DA-07 @A3

Issue :
Date :
Aug 2022

All works to be in accordance with relevant BCA/NCC and Australian Standards. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES:

- BOUNDARY SURVEY HAS BEEN UNDERTAKEN. SURVEY MARKS SHOULD BE PLACED IF EXCAVATION, CONSTRUCTION OR STRUCTURES ARE TO BE ERECTED ON OR NEAR THE BOUNDARIES.
- EXCEPT WHERE SHOWN BY DIMENSIONS LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- TREE SPREADS & HEIGHTS ARE INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN SHOWN. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. NOTIFICATION OF ALL RELEVANT AUTHORITIES SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA. DIAL BEFORE YOU DIG SERVICES (ph1100) SHOULD BE CONTACTED.
- CONTOUR INTERVAL – 1 METRE. CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE ADOPTED FOR DESIGN AND CALCULATION PURPOSES. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- DO NOT SCALE FROM THIS PLAN. DIMENSIONS SHOULD BE USED.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY. THIS NOTICE MUST NOT BE ERASED.
- ORIGIN OF LEVELS: P.M.55157 R.L. 2.228 A.H.D. (SCIMS)
- COPYRIGHT © ADAM CLERKE SURVEYORS PTY LTD 2021
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JORDAN HERMSEN & KELSEY SHANAHAN
- PLAN PREPARED BY REGISTERED SURVEYOR FOR DEVELOPMENT APPLICATION PURPOSES ONLY.

Adam Clerke
Adam Clerke
Registered surveyor No:8490

8
D.P.16345

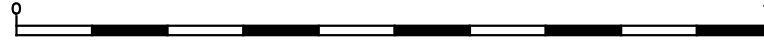
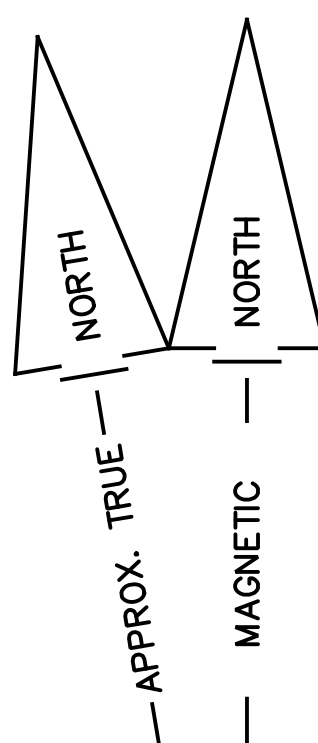
9
D.P.16345
AREA ... 700.1m²

13
D.P.16345

14
D.P.16345

10
D.P.16345

PITTWATER ROAD



LEGEND:

- TWL .. TOP OF WALL
- TF .. TOP OF FENCE
- FENCE
- SM — INDICATIVE POSITION OF SEWER MAIN (NOT VISIBLE). POSITION TO BE CONFIRMED BY SYDNEY WATER.
- WINDOW, RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.
- (A) .. RIGHT OF CARRIAGEWAY 4.57 WIDE (D37062, D45698, D174258 & R536929)
- INDICATIVE TREE SPREAD AND TRUNK DIAMETERS
- SPREAD
- AMENDMENTS (28/6/22)

ADAM CLERKE SURVEYORS PTY LTD
Incorporating PAUL KEEN & COMPANY
LAND & ENGINEERING SURVEYORS
P.O. BOX 175 NEWPORT NSW 2106
TEL..9918 4111 E..adam@adamclerkesurvey.com.au

DETAILS AND LEVELS OVER
LOT 9 IN D.P.16345

1873 PITTWATER ROAD, BAYVIEW

DATE... 7/12/21 REF... 5321B
SCALE...1:100(A1) DATUM...A.H.D