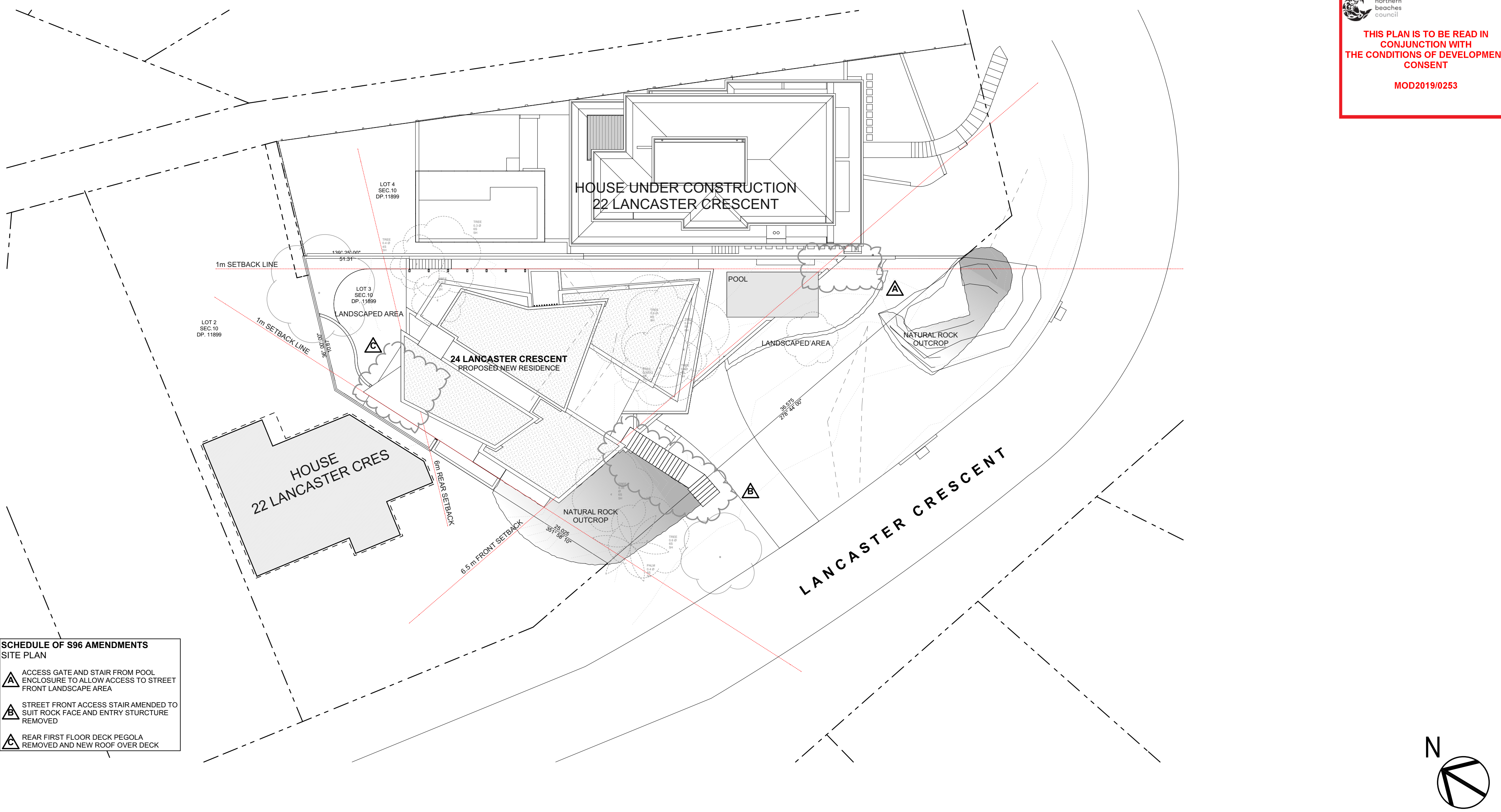
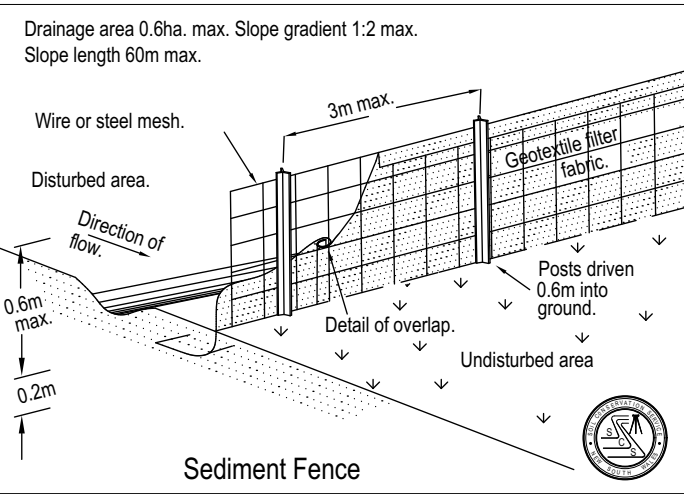
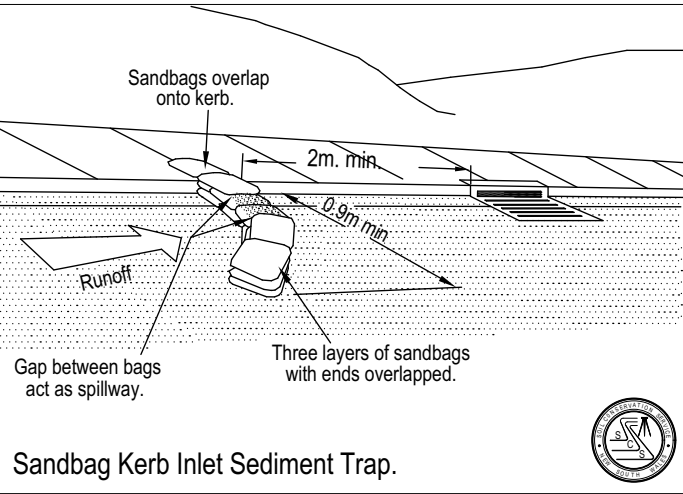
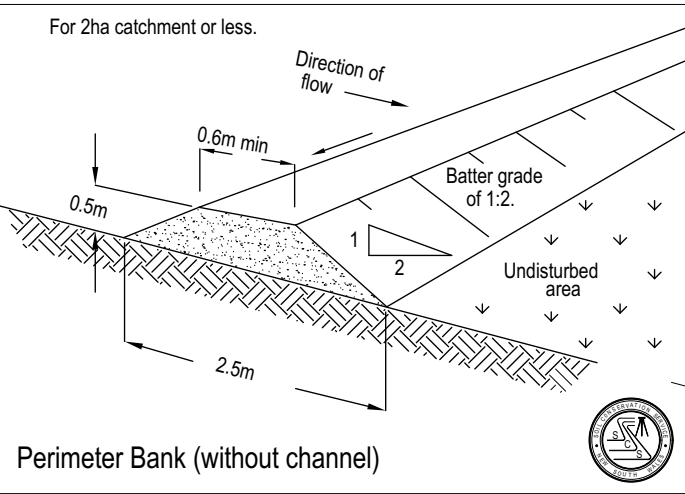
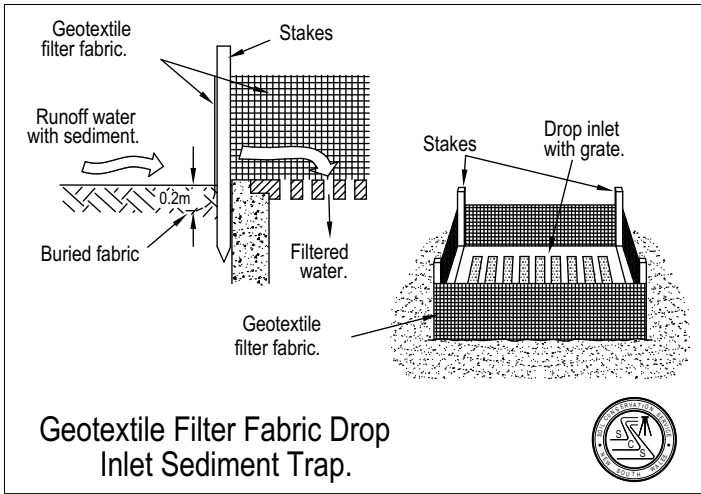
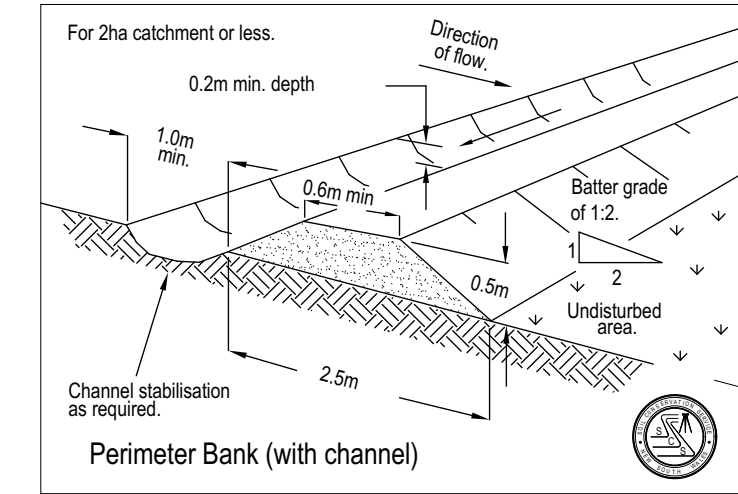




SCHEDULE OF S96 AMENDMENTS	
SITE PLAN	
	ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
	STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STURCTURE REMOVED
	REAR FIRST FLOOR DECK PEGOLA REMOVED AND NEW ROOF OVER DECK



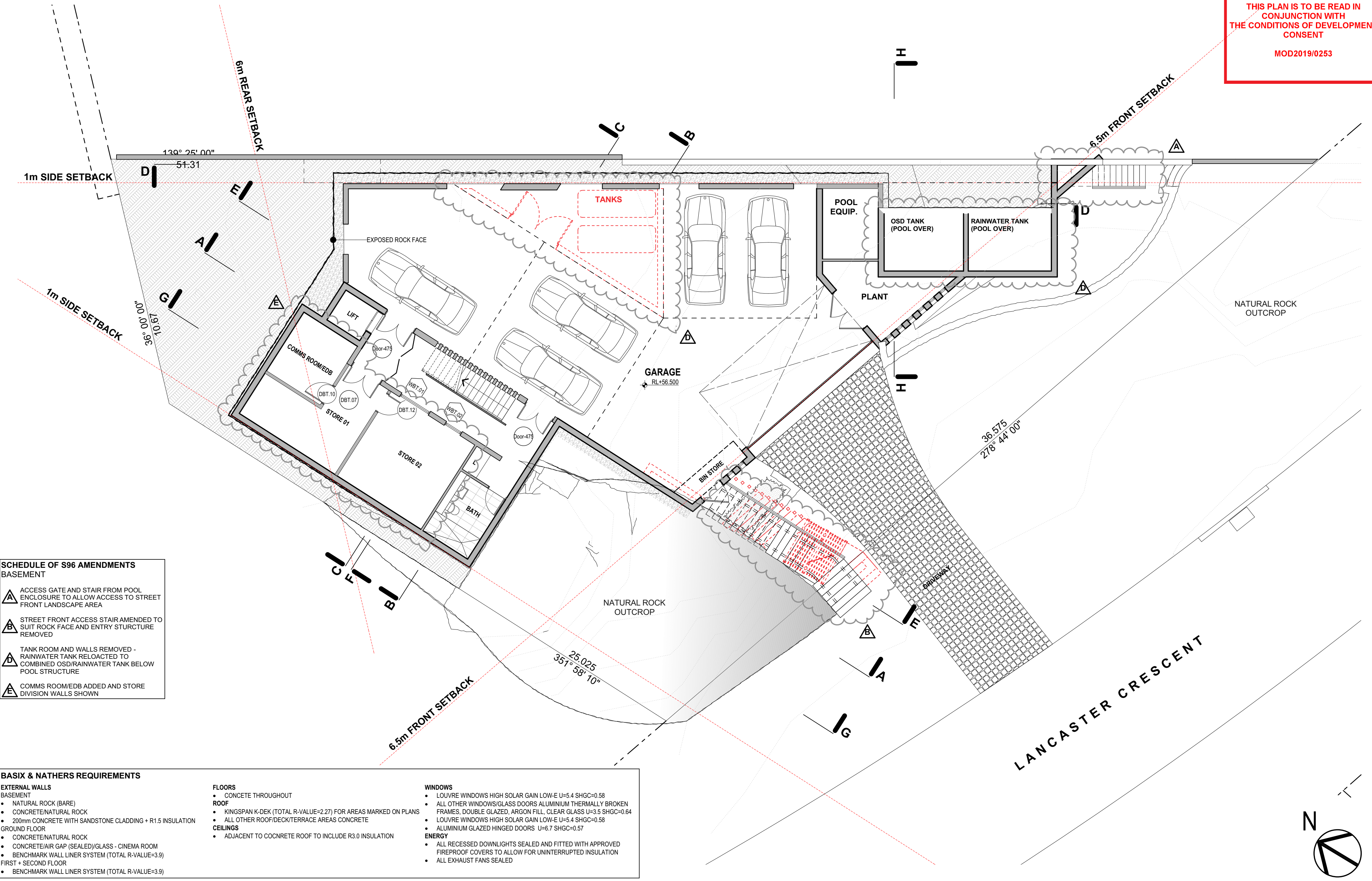
CONSTRUCTION SEQUENCE:

1. PROVIDE SOIL EROSION SEDIMENT CONTROL MEEASURES SUCH AS SILT FENCING AND STRAW BALES AS INDICATED.
2. PROVIDE SHAKER PAD AND ENSURE SITE ACCESS IS LIMITED TO ONE LOCATION. ENSURE ALL VEHICLE MOVEMENTS IN AND OUT OF THE SITE PASS OVER THE SHAKER PADS.
3. UNDERTAKE BULK EARTHWORKS ENSURING THAT ALL SEDIMENT CONTROL MEASURES ARE REGULARLY MAINTAINED AND IN GOOD WORKING ORDER.

Issue Date	Rev	Description	Drawn	Checked
15/09/2016	A	ISSUED FOR DEVELOPMENT APPLICATION	DVI	LT
07/02/2017	B	DEFERRED COMMENCEMENT - DA AMENDMENTS	DVI	LT
13/03/2017	C	SECTION 96 - LIGHTWELL	DVI	LT
24/05/2019	D	SECTION 96	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT

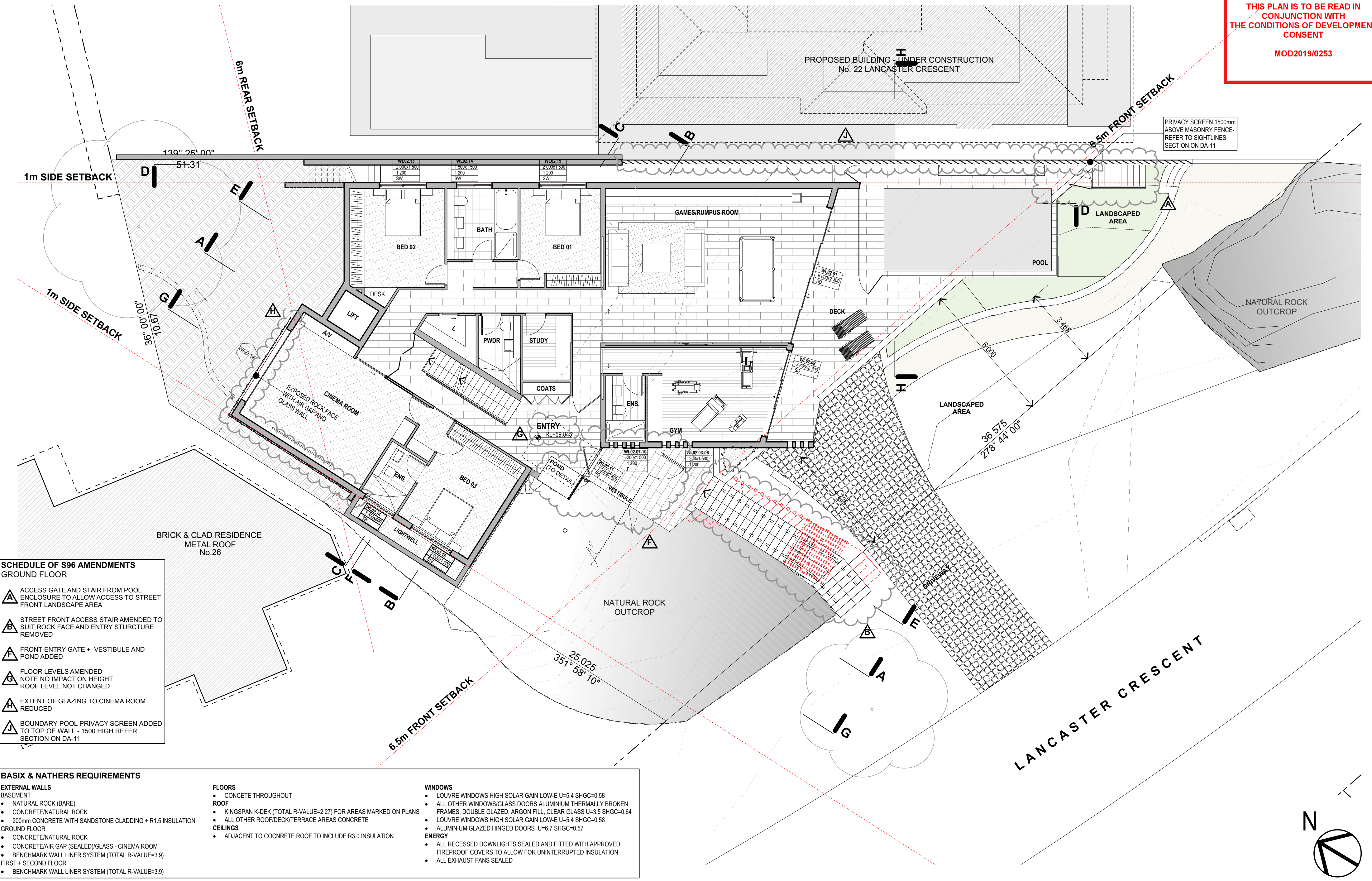
PROJECT	
GARLING HOUSE PROPOSED NEW RESIDENCE 24 LANCASTER CRESCENT, COLLAROY NSW LOT 3 DP.11899	
FOR MR & MRS GARLING	

DRAWING TITLE	
PLANS SITE PLAN	
SCALE 1:200, 1:100 @ A2	DRAWN BY LT/DVI
PROJECT NO. 1612	PLOT DATE 9/04/2020
	REVISION
	DA-01 F



SCHEDULE OF S96 AMENDMENTS	
BASEMENT	
	ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
	STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STURCTURE REMOVED
	TANK ROOM AND WALLS REMOVED - RAINWATER TANK RELOACTED TO COMBINED OSD/RAINWATER TANK BELOW POOL STRUCTURE
	COMMS ROOM/EDB ADDED AND STORE DIVISION WALLS SHOWN

BASIX & NATHERS REQUIREMENTS		
EXTERNAL WALLS		
BASEMENT		
• NATURAL ROCK (BARE)		
• CONCRETE/NATURAL ROCK		
• 200mm CONCRETE WITH SANDSTONE CLADDING + R1.5 INSULATION		
GROUND FLOOR		
• CONCRETE/NATURAL ROCK		
• CONCRETE/AIR GAP (SEALED)/GLASS - CINEMA ROOM		
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)		
FIRST + SECOND FLOOR		
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)		
FLOORS		
• CONCETE THROUGHOUT		
ROOF		
• KINGSPAN K-DEK (TOTAL R-VALUE=2.27) FOR AREAS MARKED ON PLANS		
• ALL OTHER ROOF/DECK/TERRACE AREAS CONCRETE		
CEILINGS		
• ADJACENT TO COCNCRETE ROOF TO INCLUDE R3.0 INSULATION		
WINDOWS		
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58		
• ALL OTHER WINDOWS/GLASS DOORS ALUMINIUM THERMALLY BROKEN FRAMES, DOUBLE GLAZED, ARGON FILL, CLEAR GLASS U=3.5 SHGC=0.64		
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58		
• ALUMINIUM GLAZED HINGED DOORS U=6.7 SHGC=0.57		
ENERGY		
• ALL RECESSED DOWNLIGHTS SEALED AND FITTED WITH APPROVED FIREPROOF COVERS TO ALLOW FOR UNINTERRUPTED INSULATION		
• ALL EXHAUST FANS SEALED		



SCHEDULE OF S96 AMENDMENTS GROUND FLOOR	
	ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
	STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STURCTURE REMOVED
	FRONT ENTRY GATE + VESTIBULE AND POND ADDED
	FLOOR LEVELS AMENDED NOTE NO IMPACT ON HEIGHT ROOF LEVEL NOT CHANGED
	EXTENT OF GLAZING TO CINEMA ROOM REDUCED
	BOUNDARY POOL PRIVACY SCREEN ADDED TO TOP OF WALL - 1500 HIGH REFER SECTION ON DA-11

BASIX & NATHERS REQUIREMENTS	
EXTERNAL WALLS	
BASEMENT	
• NATURAL ROCK (BARE)	
• CONCRETE/NATURAL ROCK	
• 200mm CONCRETE WITH SANDSTONE CLADDING + R1.5 INSULATION	
GROUND FLOOR	
• CONCRETE/NATURAL ROCK	
• CONCRETE/AIR GAP (SEALED)/GLASS - CINEMA ROOM	
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)	
FIRST + SECOND FLOOR	
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)	

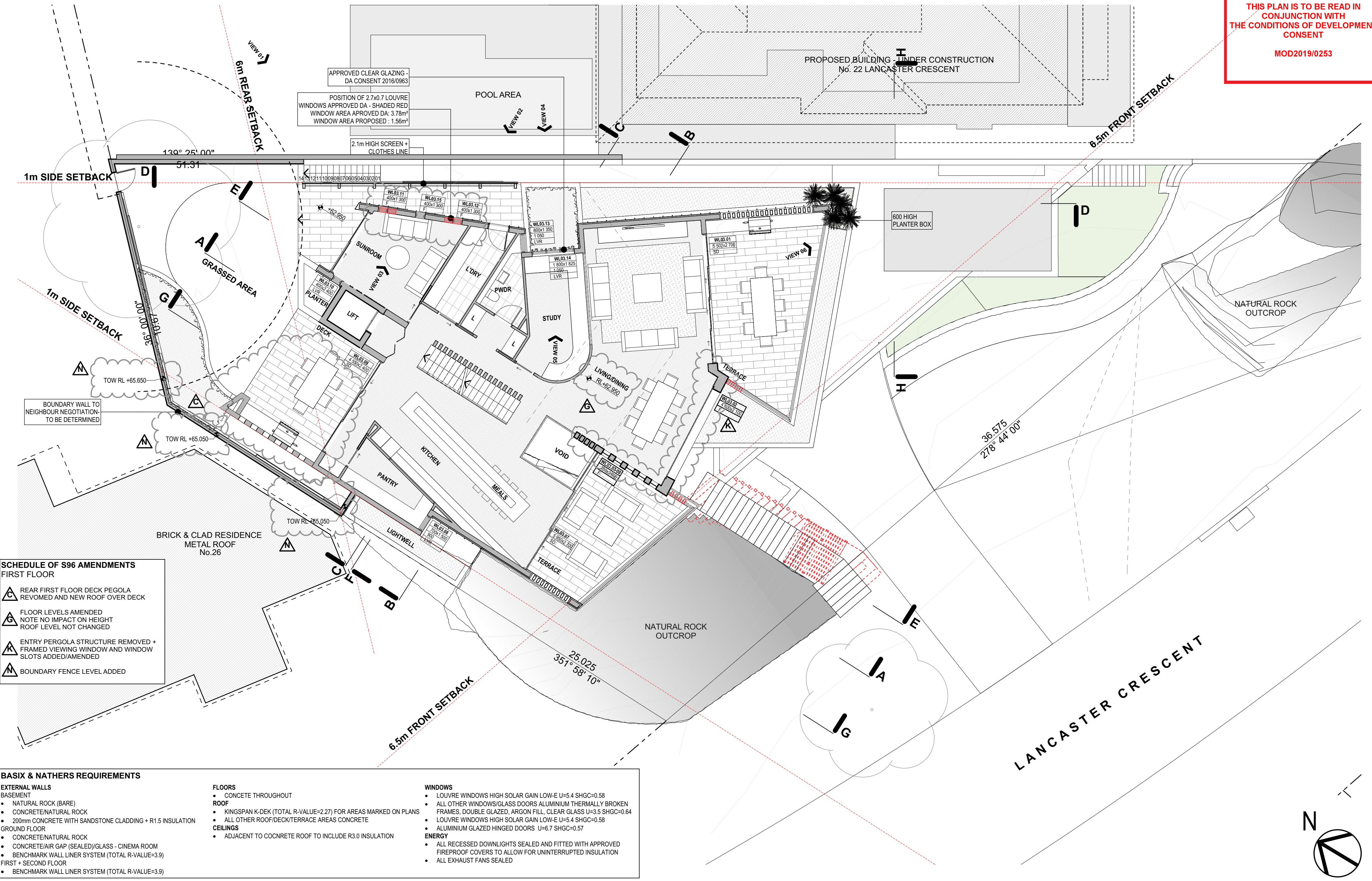
FLOORS	
• CONCETE THROUGHOUT	
ROOF	
• KINGSPAN K-DEK (TOTAL R-VALUE=2.27) FOR AREAS MARKED ON PLANS	
• ALL OTHER ROOF/DECK/TERRACE AREAS CONCRETE	
CEILINGS	
• ADJACENT TO COCNCRETE ROOF TO INCLUDE R3.0 INSULATION	

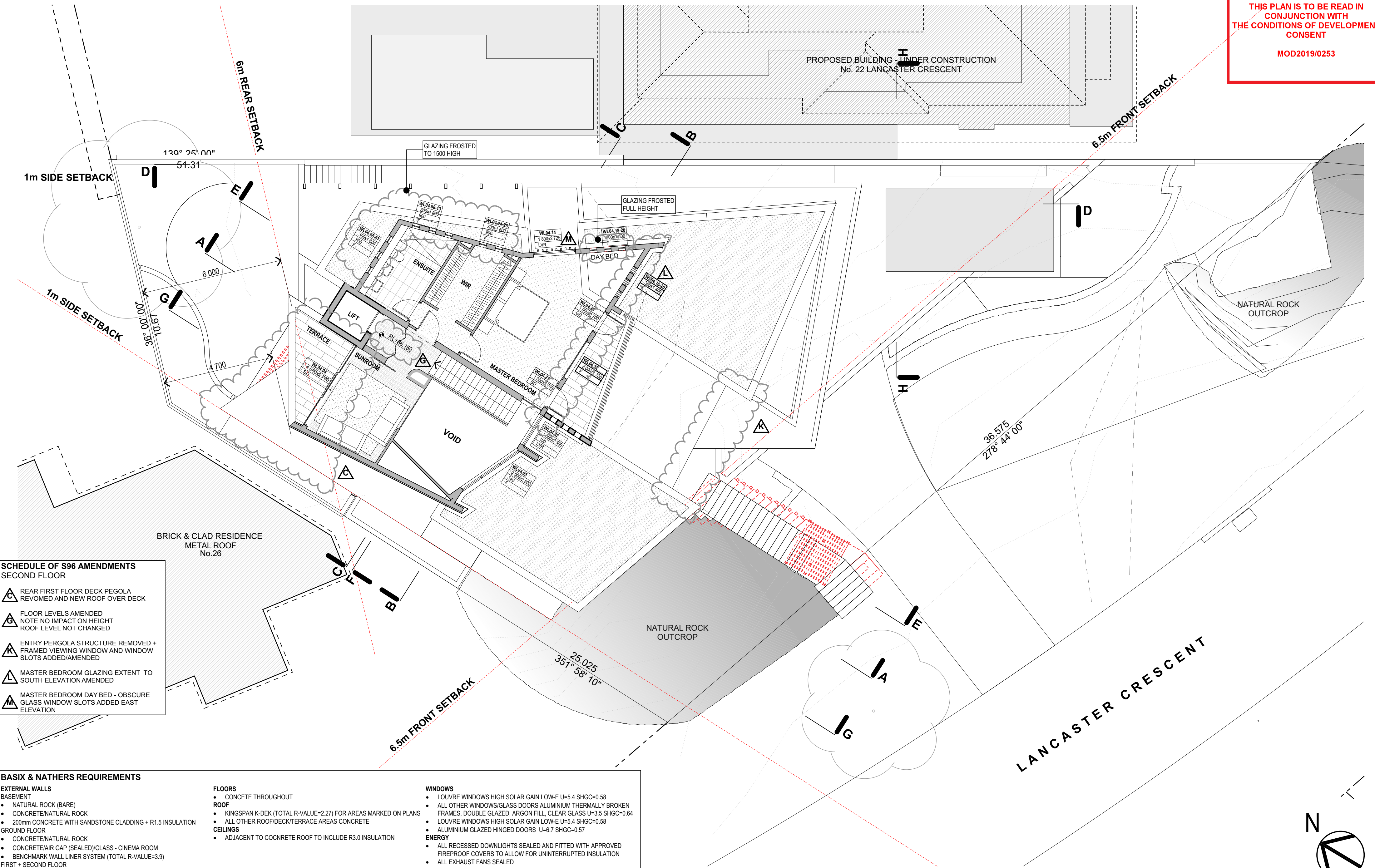
WINDOWS	
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58	
• ALL OTHER WINDOWS/GLASS DOORS ALUMINIUM THERMALLY BROKEN FRAMES, DOUBLE GLAZED, ARGON FILL, CLEAR GLASS U=3.5 SHGC=0.64	
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58	
• ALUMINIUM GLAZED HINGED DOORS U=6.7 SHGC=0.57	
ENERGY	
• ALL RECESSED DOWNLIGHTS SEALED AND FITTED WITH APPROVED FIREPROOF COVERS TO ALLOW FOR UNINTERRUPTED INSULATION	
• ALL EXHAUST FANS SEALED	

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13/03/2017	C	SECTION 96 - LIGHTWELL	DVI	LT
24/05/2019	D	SECTION 96	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT

PROJECT	
GARLING HOUSE	
PROPOSED NEW RESIDENCE	
24 LANCASTER CRESCENT, COLLAROY NSW	
LOT 3 DP.11899	
FOR MR & MRS GARLING	

DRAWING TITLE	
PLANS	
GROUND FLOOR	
SCALE	DRAWN BY
1:100 @ A2	LT/DVI
PROJECT NO.	REVISION
1612	DA-04
PLOT DATE	
9/04/2020	
	F





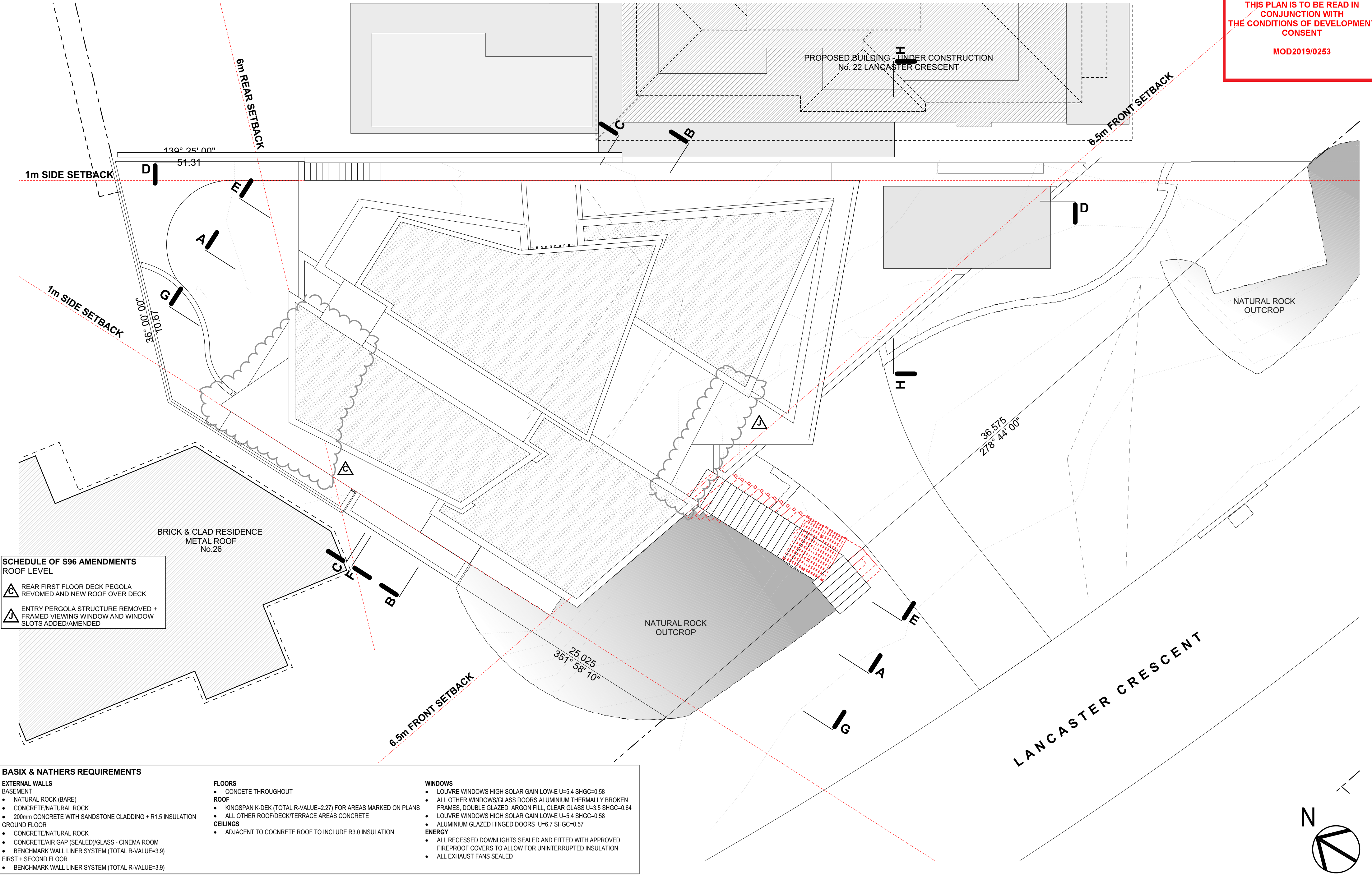
SCHEDULE OF S96 AMENDMENTS SECOND FLOOR	
	REAR FIRST FLOOR DECK PEGOLA REVOMED AND NEW ROOF OVER DECK
	FLOOR LEVELS AMENDED NOTE NO IMPACT ON HEIGHT ROOF LEVEL NOT CHANGED
	ENTRY PERGOLA STRUCTURE REMOVED + FRAMED VIEWING WINDOW AND WINDOW SLOTS ADDED/AMENDED
	MASTER BEDROOM GLAZING EXTENT TO SOUTH ELEVATION AMENDED
	MASTER BEDROOM DAY BED - OBSCURE GLASS WINDOW SLOTS ADDED EAST ELEVATION

BASIX & NATHERS REQUIREMENTS	
EXTERNAL WALLS	
BASEMENT	
• NATURAL ROCK (BARE)	
• CONCRETE/NATURAL ROCK	
• 200mm CONCRETE WITH SANDSTONE CLADDING + R1.5 INSULATION	
GROUND FLOOR	
• CONCRETE/NATURAL ROCK	
• CONCRETE/AIR GAP (SEALED)/GLASS - CINEMA ROOM	
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)	
FIRST + SECOND FLOOR	
• BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)	

FLOORS	
• CONCETE THROUGHOUT	
ROOF	
• KINGSPAN K-DEK (TOTAL R-VALUE=2.27) FOR AREAS MARKED ON PLANS	
• ALL OTHER ROOF/DECK/TERRACE AREAS CONCRETE	
CEILINGS	
• ADJACENT TO COCNRETE ROOF TO INCLUDE R3.0 INSULATION	

WINDOWS	
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58	
• ALL OTHER WINDOWS/GLASS DOORS ALUMINIUM THERMALLY BROKEN FRAMES, DOUBLE GLAZED, ARGON FILL, CLEAR GLASS U=3.5 SHGC=0.64	
• LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58	
• ALUMINIUM GLAZED HINGED DOORS U=6.7 SHGC=0.57	
ENERGY	
• ALL RECESSED DOWNLIGHTS SEALED AND FITTED WITH APPROVED FIREPROOF COVERS TO ALLOW FOR UNINTERRUPTED INSULATION	
• ALL EXHAUST FANS SEALED	

Issue Date	Rev	Description	Drawn	Checked	PROJECT	DRAWING TITLE	SCALE	DRAWN BY	PLOT DATE
15/09/2016	A	ISSUED FOR DEVELOPMENT APPLICATION	DVI	LT	GARLING HOUSE PROPOSED NEW RESIDENCE 24 LANCASTER CRESCENT, COLLAROY NSW LOT 3 DP.11899	PLANS SECOND FLOOR	1:100 @ A2	LT/DVI	9/04/2020
07/02/2017	B	DEFERRED COMMENCEMENT - DA AMENDMENTS	DVI	LT					
24/05/2019	D	SECTION 96	DVI	LT					
APRIL 2020	F	REVISED SECTION 96	DVI	LT	FOR MR & MRS GARLING		1612	DA-06	F



SCHEDULE OF S96 AMENDMENTS
SOUTH + WEST ELEVATIONS

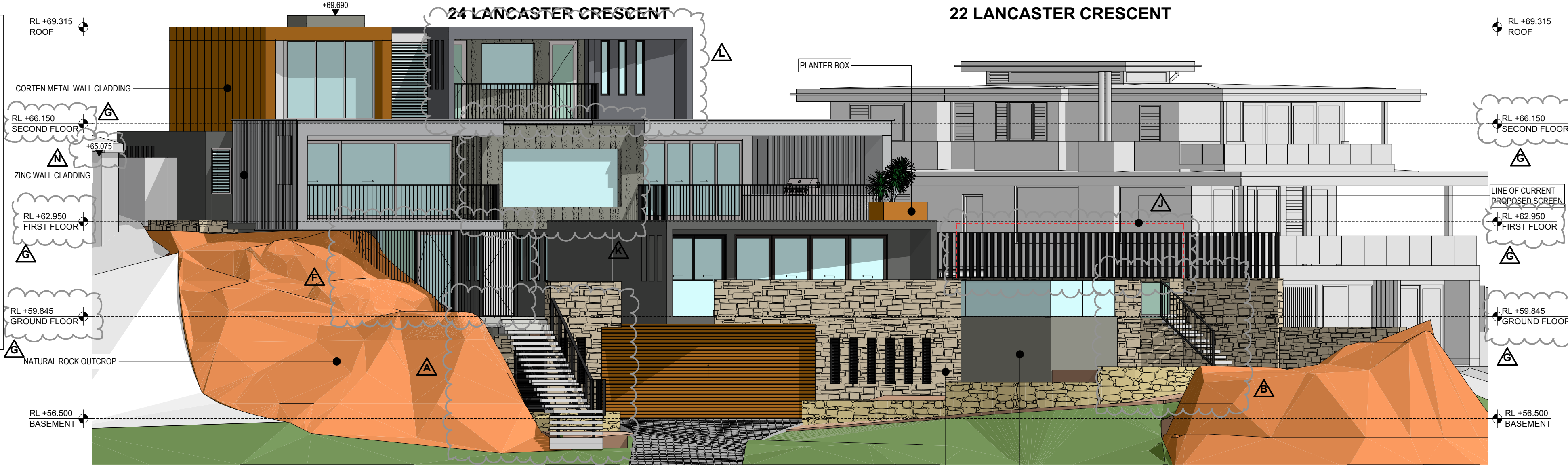
- ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
- STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STURCTURE REMOVED
- REAR FIRST FLOOR DECK PEGOLA REVOMED AND NEW ROOF OVER DECK
- FRONT ENTRY GATE + VESTIBULE AND POND ADDED
- FLOOR LEVELS AMENDED
NOTE NO IMPACT ON HEIGHT
ROOF LEVEL NOT CHANGED
- BOUNDARY POOL PRIVACY SCREEN ADDED TO TOP OF WALL - 1500 HIGH REFER SECTION ON DA-11
- ENTRY PERGOLA STRUCTURE REMOVED + FRAMED VIEWING WINDOW AND WINDOW SLOTS ADDED/AMENDED
- MASTER BEDROOM GLAZING EXTENT TO SOUTH ELEVATION AMENDED
- BOUNDARY FENCE LEVEL ADDED



northern
beaches
council

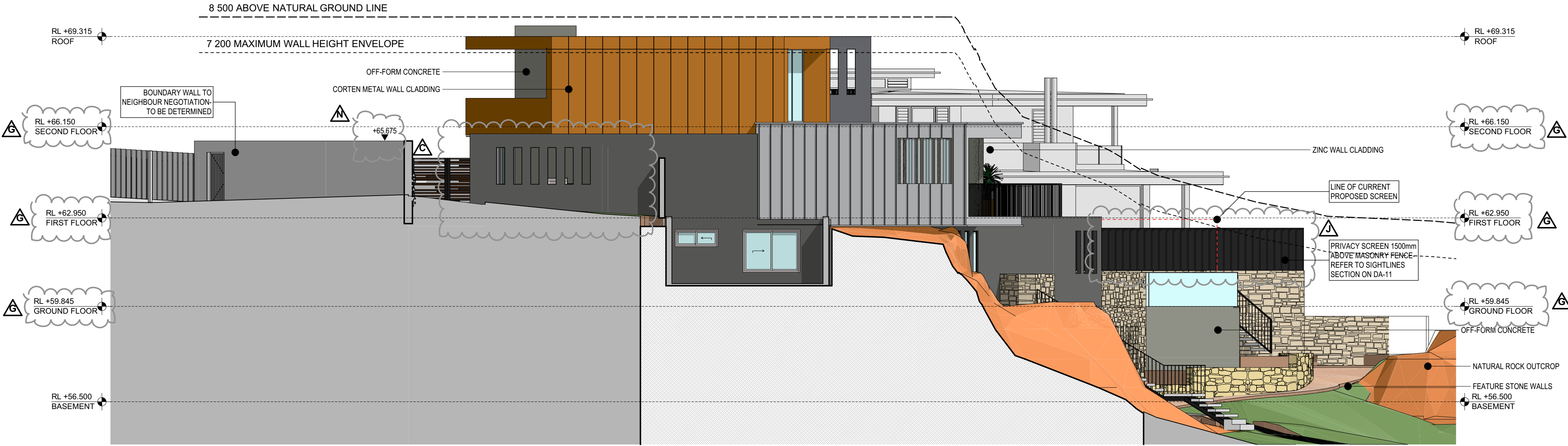
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2019/0253



SOUTH ELEVATION [LANCASTER CRES] 1:100

WEST ELEVATION [SIDE ELEVATION] 1:100



BASIX & NATHERS REQUIREMENTS

EXTERNAL WALLS

- BASEMENT
- NATURAL ROCK (BARE)
 - CONCRETE/NATURAL ROCK
 - 200mm CONCRETE WITH SANDSTONE CLADDING + R1.5 INSULATION
- GROUND FLOOR
- CONCRETE/NATURAL ROCK
 - CONCRETE/AIR GAP (SEALED)/GLASS - CINEMA ROOM
 - BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)
- FIRST + SECOND FLOOR
- BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)

FLOORS

- CONCRETE THROUGHOUT
- ROOF
- KINGSPAN K-DEK (TOTAL R-VALUE=2.27) FOR AREAS MARKED ON PLANS
 - ALL OTHER ROOF/DECK/TERRACE AREAS CONCRETE
- CEILINGS
- ADJACENT TO COCNRETE ROOF TO INCLUDE R3.0 INSULATION

WINDOWS

- LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58
 - ALL OTHER WINDOWS/GLASS DOORS ALUMINIUM THERMALLY BROKEN FRAMES, DOUBLE GLAZED, ARGON FILL, CLEAR GLASS U=3.5 SHGC=0.64
 - LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58
 - ALUMINIUM GLAZED HINGED DOORS U=6.7 SHGC=0.57
- ENERGY
- ALL RECESSED DOWNLIGHTS SEALED AND FITTED WITH APPROVED FIREPROOF COVERS TO ALLOW FOR UNINTERRUPTED INSULATION
 - ALL EXHAUST FANS SEALED

GARTNERTROVATO
ARCHITECTS

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Issue Date	Rev	Description	Drawn	Checked
15/09/2016	A	ISSUED FOR DEVELOPMENT APPLICATION	DVI	LT
07/02/2017	B	DEFERRED COMMENCEMENT - DA AMENDMENTS	DVI	LT
13/03/2017	C	SECTION 96 - LIGHTWELL	DVI	LT
24/05/2019	D	SECTION 96	DVI	LT
23/08/2019	E	SECTION 96 - FENCE LEVELS ADDED	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT

PROJECT
GARLING HOUSE
PROPOSED NEW RESIDENCE
24 LANCASTER CRESCENT, COLLAROY NSW
LOT 3 DP.11899

FOR MR & MRS GARLING

DRAWING TITLE
ELEVATIONS
SOUTH + WEST

SCALE
1:100 @ A2

PROJECT NO.
1612

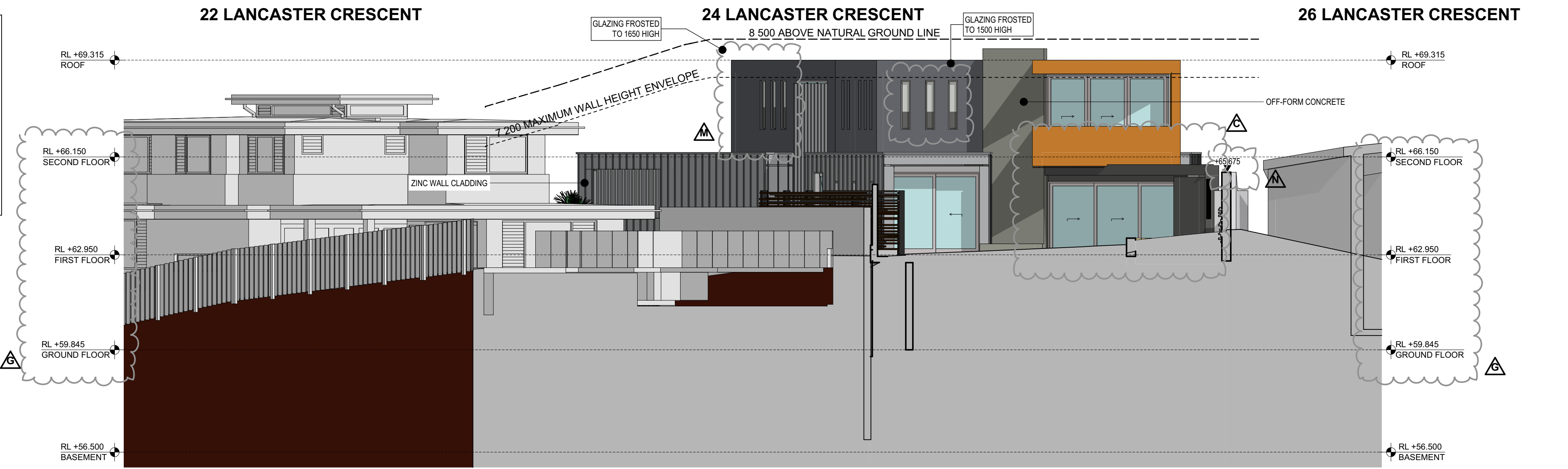
DRAWN BY
LT/DVI

DRAWING NO.
DA-08

PLOT DATE
9/04/2020

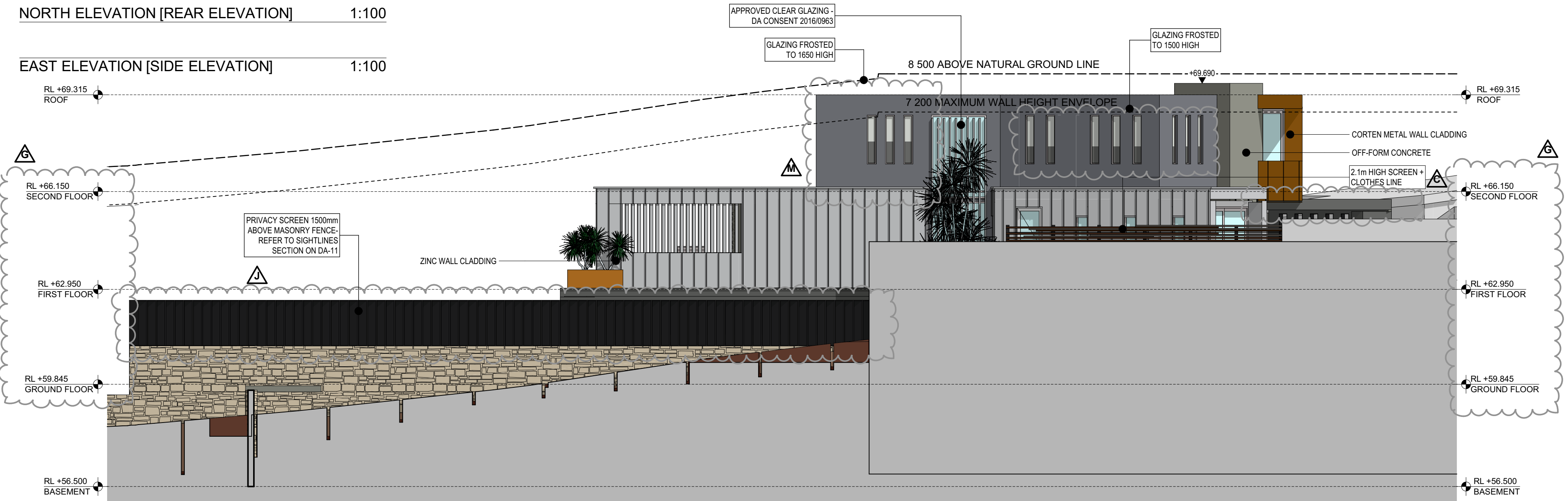
REVISION
F

- SCHEDULE OF S96 AMENDMENTS**
NORTH + EAST ELEVATIONS
- REAR FIRST FLOOR DECK PEGOLA REVOMED AND NEW ROOF OVER DECK
 - FLOOR LEVELS AMENDED
NOTE NO IMPACT ON HEIGHT
ROOF LEVEL NOT CHANGED
 - BOUNDARY POOL PRIVACY SCREEN ADDED TO TOP OF WALL - 1500 HIGH REFER SECTION ON DA-11
 - MASTER BEDROOM DAY BED - OBSCURE GLASS TO 1650 HIGH WINDOW SLOTS ADDED EAST ELEVATION
 - BOUNDARY FENCE LEVELS ADDED



NORTH ELEVATION [REAR ELEVATION] 1:100

EAST ELEVATION [SIDE ELEVATION] 1:100



BASIX & NATHERS REQUIREMENTS

EXTERNAL WALLS

- BASEMENT**
- NATURAL ROCK (BARE)
 - CONCRETE/NATURAL ROCK
 - 200mm CONCRETE WITH SANDSTONE CLADDING + R1.5 INSULATION
- GROUND FLOOR**
- CONCRETE/NATURAL ROCK
 - CONCRETE/AIR GAP (SEALED)/GLASS - CINEMA ROOM
 - BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)
- FIRST + SECOND FLOOR**
- BENCHMARK WALL LINER SYSTEM (TOTAL R-VALUE=3.9)

FLOORS

- CONCRETE THROUGHOUT
- ROOF**
- KINGSPAN K-DEK (TOTAL R-VALUE=2.27) FOR AREAS MARKED ON PLANS
 - ALL OTHER ROOF/DECK/TERRACE AREAS CONCRETE
- CEILINGS**
- ADJACENT TO COCNRETE ROOF TO INCLUDE R3.0 INSULATION

WINDOWS

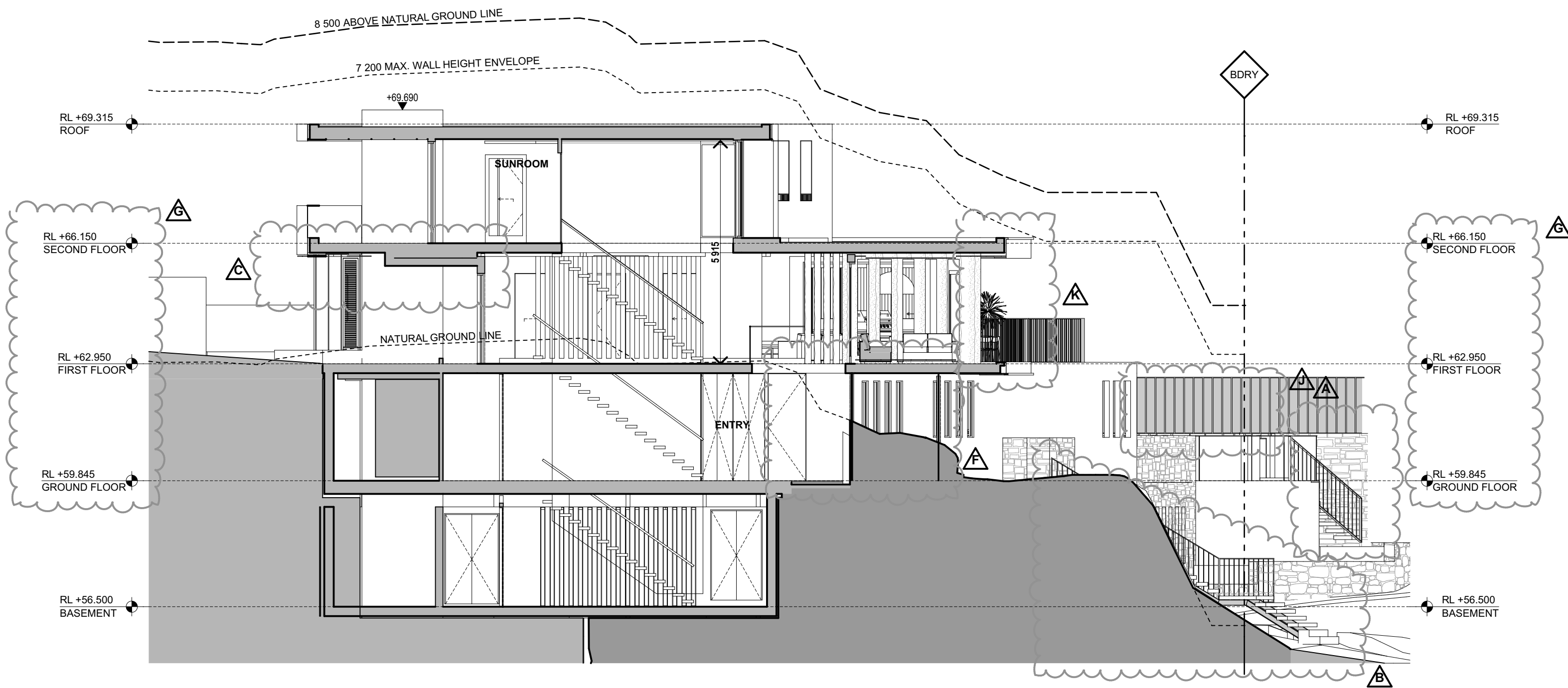
- LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58
 - ALL OTHER WINDOWS/GLASS DOORS ALUMINIUM THERMALLY BROKEN FRAMES, DOUBLE GLAZED, ARGON FILL, CLEAR GLASS U=3.5 SHGC=0.64
 - LOUVRE WINDOWS HIGH SOLAR GAIN LOW-E U=5.4 SHGC=0.58
 - ALUMINIUM GLAZED HINGED DOORS U=6.7 SHGC=0.57
- ENERGY**
- ALL RECESSED DOWNLIGHTS SEALED AND FITTED WITH APPROVED FIREPROOF COVERS TO ALLOW FOR UNINTERRUPTED INSULATION
 - ALL EXHAUST FANS SEALED

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

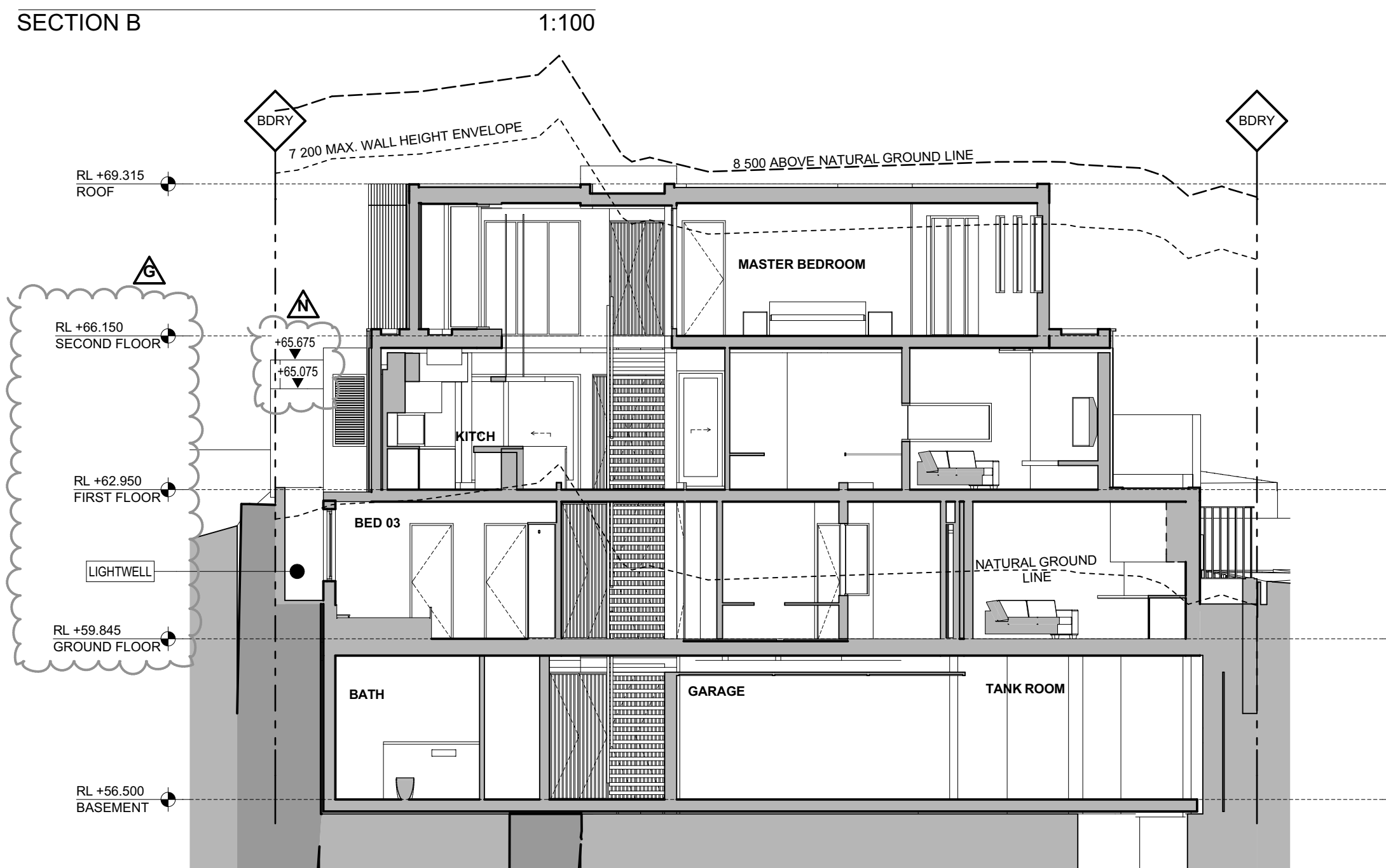
MOD2019/0253

Issue Date	Rev	Description	Drawn	Checked
15/09/2016	A	ISSUED FOR DEVELOPMENT APPLICATION	DVI	LT
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23/08/2019	E	SECTION 96 - FENCE LEVELS ADDED	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT

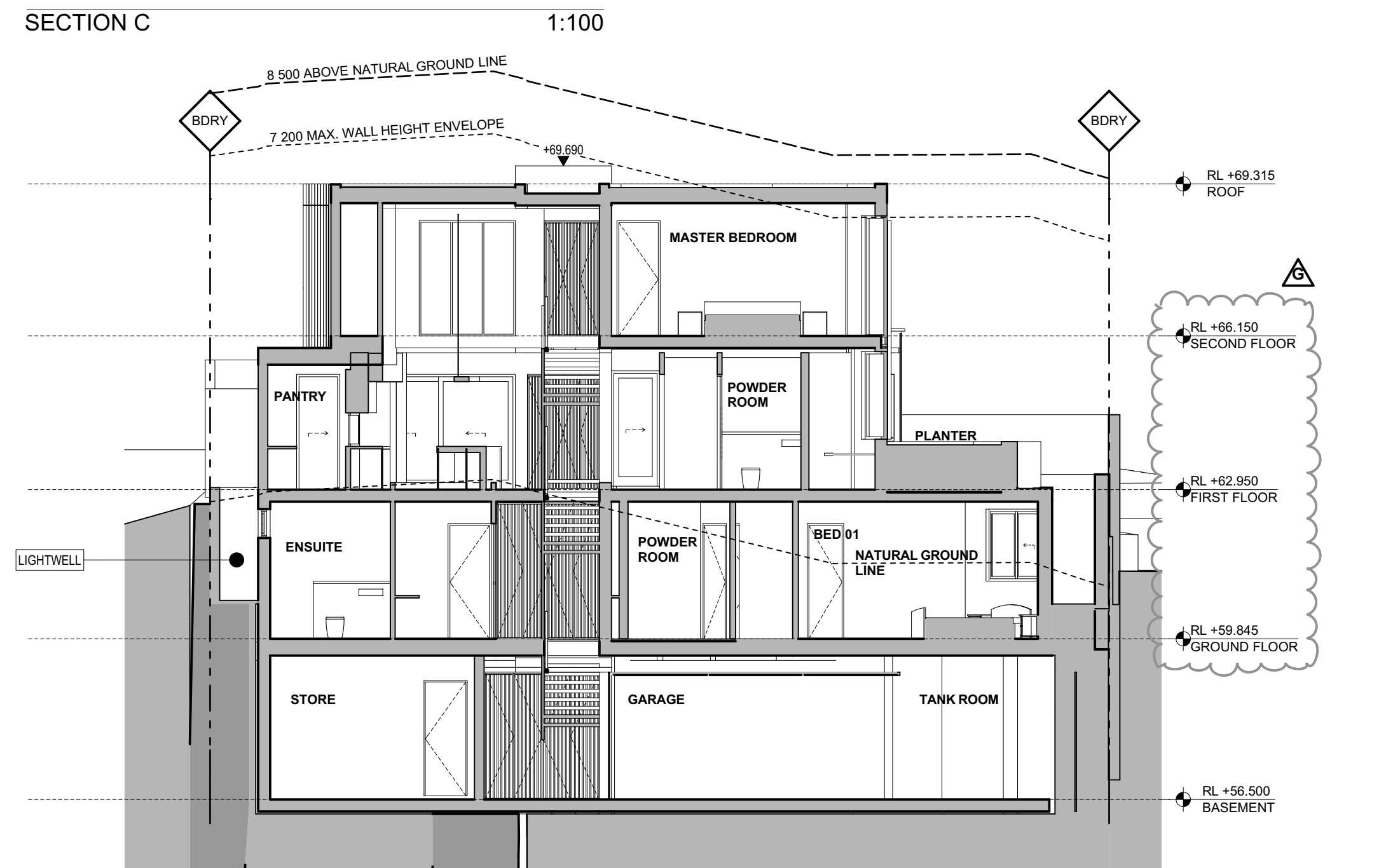
PROJECT	DRAWING TITLE	SCALE	DRAWN BY	PLOT DATE
GARLING HOUSE PROPOSED NEW RESIDENCE 24 LANCASTER CRESCENT, COLLAROY NSW LOT 3 DP.11899	ELEVATIONS NORTH + EAST	1:100 @ A2	LT/DVI	9/04/2020
FOR MR & MRS GARLING	1612	DA-09	REVISION	F



SECTION A 1:100



SECTION B 1:100



SECTION C 1:100

- SCHEDULE OF S96 AMENDMENTS**
SECTION A + B + C
- A** ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
 - B** STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STURCTURE REMOVED
 - C** REAR FIRST FLOOR DECK PEGOLA REVOMED AND NEW ROOF OVER DECK
 - F** FRONT ENTRY GATE + VESTIBULE AND POND ADDED
 - G** FLOOR LEVELS AMENDED
NOTE NO IMPACT ON HEIGHT
ROOF LEVEL NOT CHANGED
 - BOUNDARY POOL PRIVACY SCREEN ADDED TO TOP OF WALL
 - K** ENTRY PERGOLA STRUCTURE REMOVED + FRAMED VIEWING WINDOW AND WINDOW SLOTS ADDED/AMENDED
 - M** BOUNDARY FENCE LEVELS ADDED

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

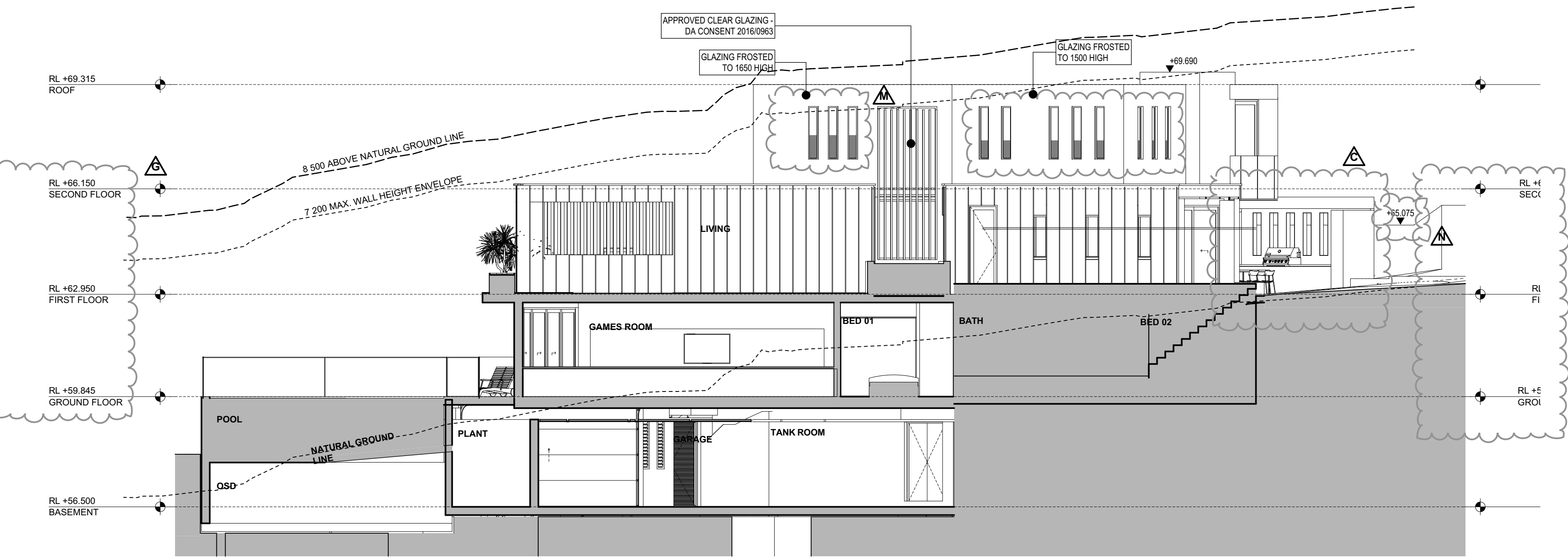
MOD2019/0253

Issue Date	Rev	Description	Drawn	Checked
15/09/2016	A	ISSUED FOR DEVELOPMENT APPLICATION	DVI	LT
07/02/2017	B	DEFERRED COMMENCEMENT - DA AMENDMENTS	DVI	LT
13/03/2017	C	SECTION 96 - LIGHTWELL	DVI	LT
24/05/2019	D	SECTION 96	DVI	LT
23/08/2019	E	SECTION 96 - FENCE LEVELS ADDED	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT

PROJECT	DRAWING TITLE	PLOT DATE
GARLING HOUSE PROPOSED NEW RESIDENCE 24 LANCASTER CRESCENT, COLLAROY NSW LOT 3 DP.11899	SECTIONS SECTION A + B + C	9/04/2020
FOR MR & MRS GARLING	SCALE 1:100 @ A2	DRAWN BY LT/DVI
	PROJECT NO. 1612	REVISION DA-10
		F

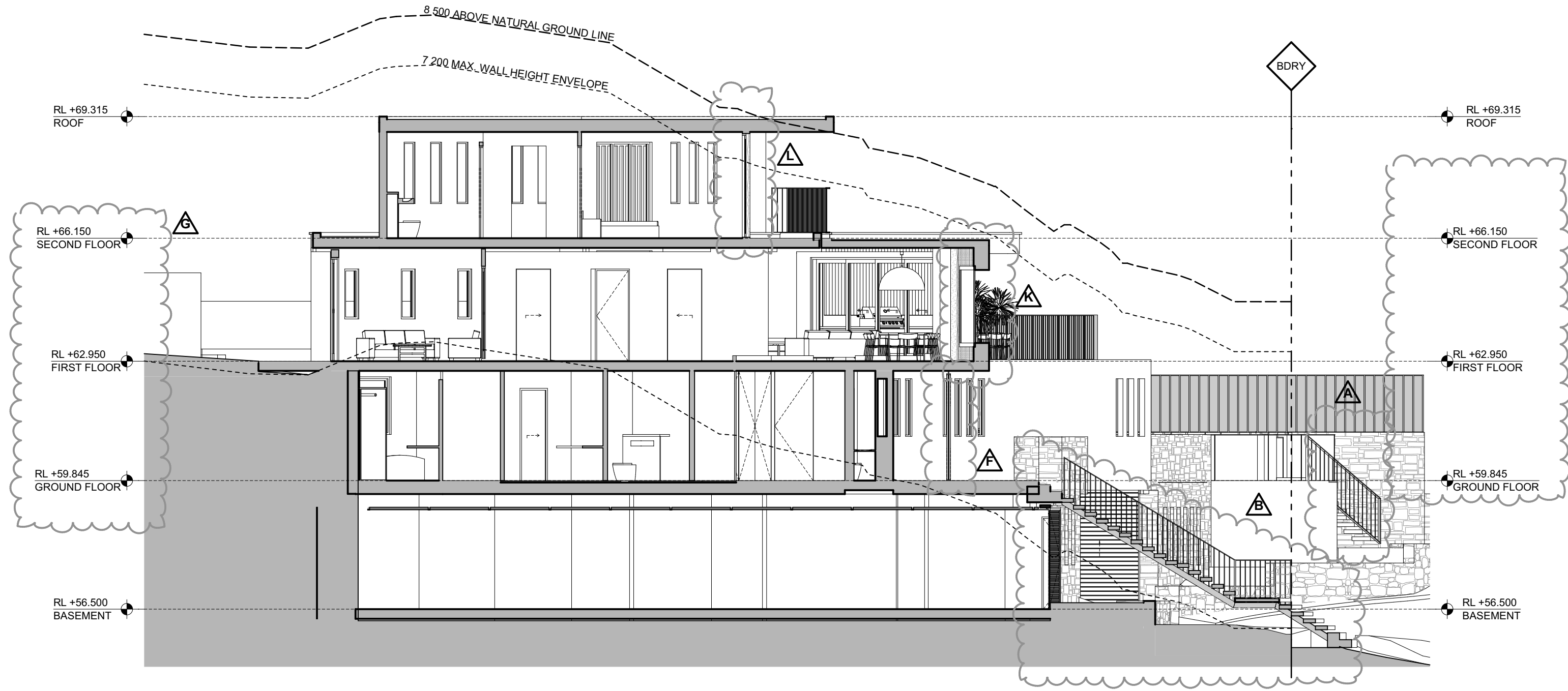
- SCHEDULE OF S96 AMENDMENTS**
SECTIONS D + E
- ACCESS GATE AND STAIR FROM POOL ENCLOSURE TO ALLOW ACCESS TO STREET FRONT LANDSCAPE AREA
 - STREET FRONT ACCESS STAIR AMENDED TO SUIT ROCK FACE AND ENTRY STRUCTURE REMOVED
 - REAR FIRST FLOOR DECK PEGOLA REMOVED AND NEW ROOF OVER DECK
 - FRONT ENTRY GATE + VESTIBULE AND POND ADDED
 - FLOOR LEVELS AMENDED
NOTE NO IMPACT ON HEIGHT
ROOF LEVEL NOT CHANGED
 - BOUNDARY POOL PRIVACY SCREEN ADDED TO TOP OF WALL - 15000 HIGH REFER SECTION ON DA-11
 - ENTRY PERGOLA STRUCTURE REMOVED + FRAMED VIEWING WINDOW AND WINDOW SLOTS ADDED/AMENDED
 - MASTER BEDROOM GLAZING EXTENT TO SOUTH ELEVATION AMENDED
 - MASTER BEDROOM DAY BED - OBSCURE GLASS TO 1650 HIGH WINDOW SLOTS ADDED EAST ELEVATION
 - BOUNDARY FENCE LEVELS ADDED


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2019/0253

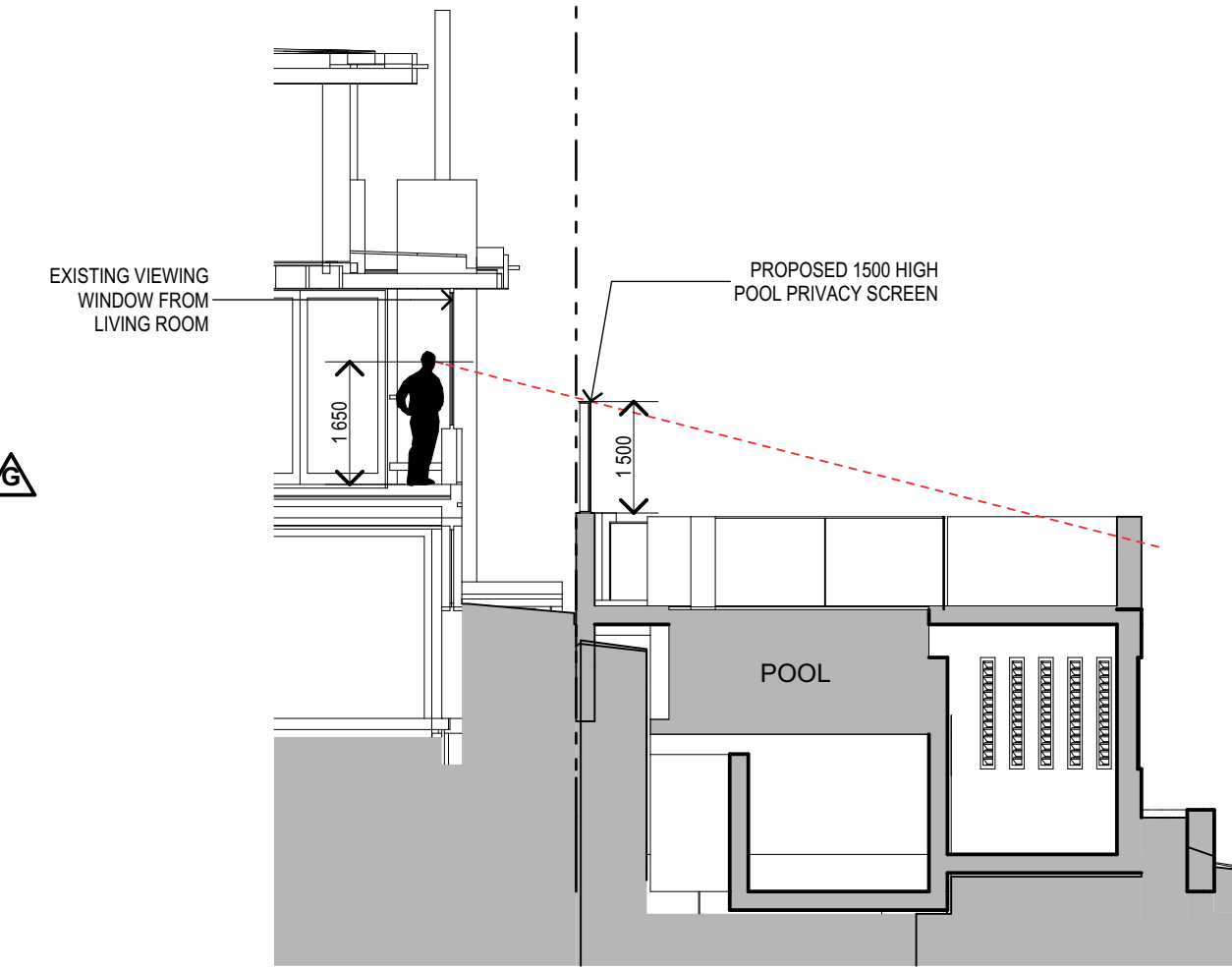


SECTION D 1:100

SECTION E 1:100

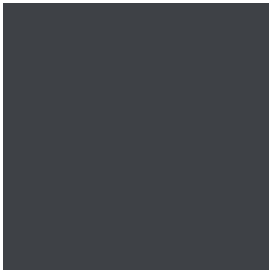


22 LANCASTER CRESCENT 24 LANCASTER CRESCENT



POOL PRIVACY SCREEN SECTION 1:100

Issue Date	Rev	Description	Drawn	Checked
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23/08/2019	E	SECTION 96 - FENCE LEVELS ADDED	DVI	LT
APRIL 2020	F	REVISED SECTION 96	DVI	LT



RESENE HALF FOUNDRY



OFF FORM CONCRETE
PRECAST WALL PANEL



WINDOW FRAMES:
ANODISED ALUMINIUM



CONCRETE ROOF BALAST
RIVER PEBBLE



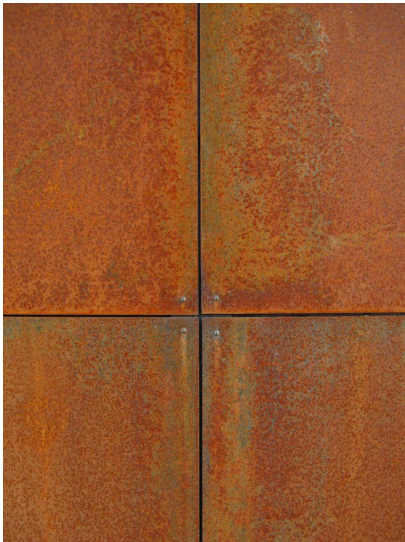
FEATURE STONE WALLS



FEATURE STONE WALLS



FRAMELESS GLASS
BALUSTRADE



CORTEN METAL WALL
CLADDING WITH
EXPRESSED JOINTS



ZINC WALL CLADDING
STANDING SEAM TO
EXTERNAL WALL
EXPRESSED JOINTS TO
SOFFITS