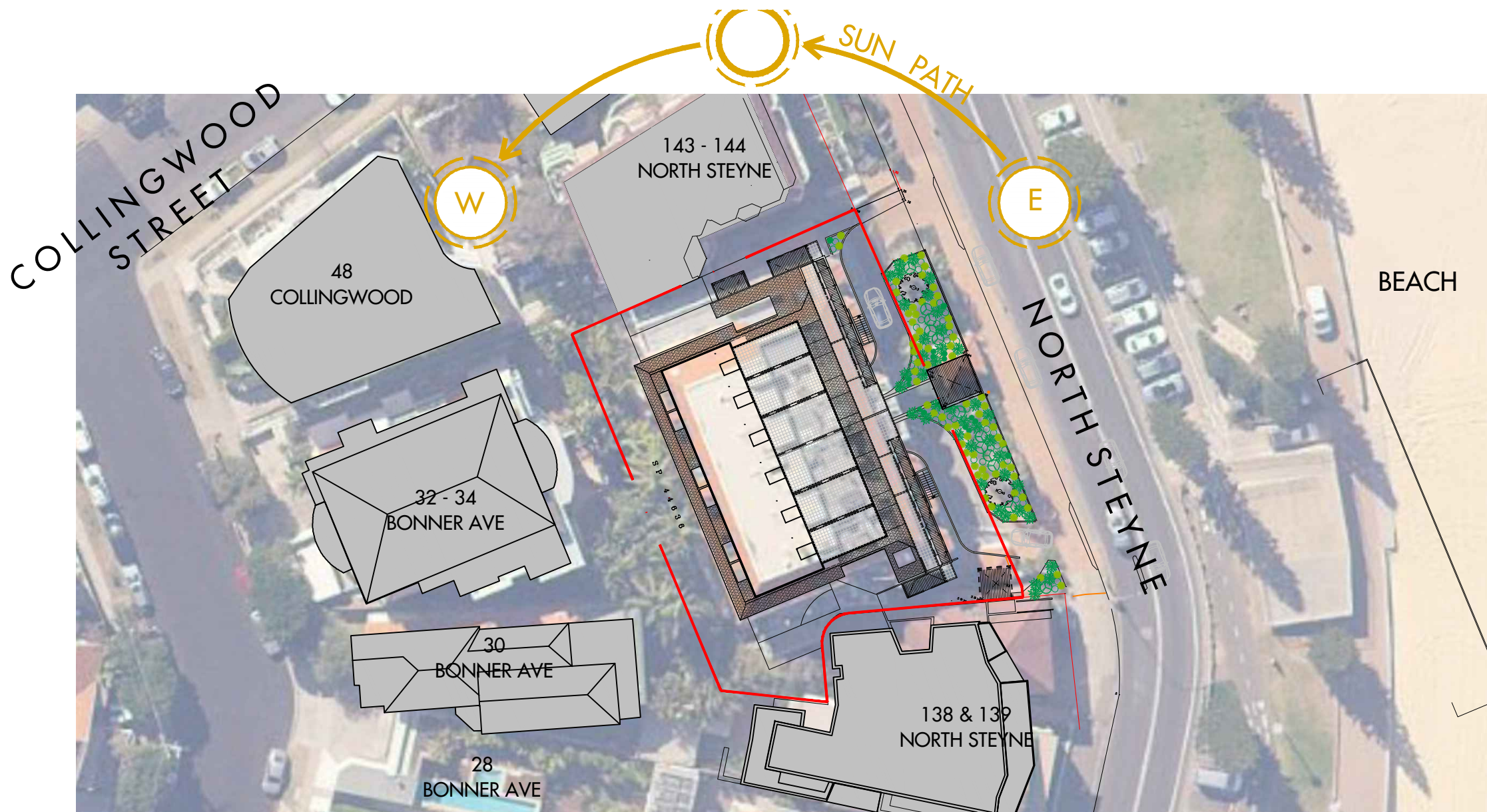




SATELLITE OVER THE SITE

# BUILDING REMEDIATION

## 140-142 NORTH STEYNE MANLY 2095 SP44636

ARCHITECTURAL DOCUMENTATION - PREPARED BY DESIGN VINES

- 10092\_DA01 - C LOCATION PLAN
- 10092\_DA02 - B SITE PLAN

- 10092\_DA05 - A EXISTING PLAN - BASEMENT FLOOR
- 10092\_DA06 - B EXISTING PLAN - GROUND FLOOR
- 10092\_DA07 - A EXISTING PLAN - FIRST FLOOR
- 10092\_DA08 - A EXISTING PLAN - SECOND FLOOR
- 10092\_DA09 - A EXISTING PLAN - ROOF

- 10092\_DA20 - B PROPOSED PLAN - BASEMENT FLOOR
- 10092\_DA21 - C PROPOSED PLAN - GROUND FLOOR
- 10092\_DA22 - C PROPOSED PLAN - FIRST FLOOR
- 10092\_DA23 - C PROPOSED PLAN - SECOND FLOOR
- 10092\_DA24 - B PROPOSED PLAN - ROOF

- 10092\_DA30 - B PROPOSED ELEVATIONS
- 10092\_DA31 - B PROPOSED ELEVATIONS

- 10092\_DA40- A SHADOW ANALYSIS 9am
- 10092\_DA41- A SHADOW ANALYSIS 12pm
- 10092\_DA42- A SHADOW ANALYSIS 3pm

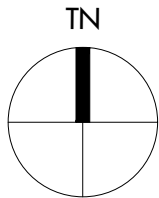
FURTHER DOCUMENTATION:

- WASTE MANAGEMENT PLAN
- MATERIALS AND FINISHES SCHEDULE
- COST PLAN
- STATEMENT OF ENVIRONMENTAL EFFECTS
- SURVEY - GK WILSON

NO CHANGE TO BASEMENT OR PARKING ACCESS.  
NO CHANGE TO FLOOR SPACE  
NO CHANGE TO SITE COVERAGE OR BUILDING FOOTPRINT  
NO CHANGE TO SITE ACCESS.

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| Rev | Description                                          | Date     |
|-----|------------------------------------------------------|----------|
| C   | Issue for Section 4.55 amendment - BIN STORE REMOVED | 13.05.25 |
|     |                                                      |          |
|     |                                                      |          |
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Client  
SP 44636  
140-142 NORTH STEYNE  
MANLY 2095

**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

Title  
LOCATION PLAN

|                             |                 |      |
|-----------------------------|-----------------|------|
| Drawn<br>MB                 | Checked         | Date |
| Number<br><b>10092_AR01</b> | Rev<br><b>C</b> |      |

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EXTERNAL FINISHES ISSUED FOR DEVELOPMENT APPLICATION

|          |                                                                |                                                                            |         |
|----------|----------------------------------------------------------------|----------------------------------------------------------------------------|---------|
| RF - 01  | Roof sheeting.<br>Paint finish to existing terracotta roofing. | Colorbond steel: Basalt                                                    | BASALT® |
| FAS - 01 | Aluminium flashing to entrance cover and bin store             | Finish to match corresponding paint colour                                 |         |
| M-01     | Metal awning                                                   | Aerobus Dulux or similar                                                   | Aerobus |
| A- GL    | Aluminium glazing frame                                        | Finish to match corresponding paint colour                                 |         |
| A - TIM  | Underside of Awning and slab edge lining                       |                                                                            |         |
| A - SC   | Screening to bin store for ventilation                         | Finish to match corresponding paint colour                                 |         |
| PRI      | Privacy screening                                              | Maintain existing anodised finish or match corresponding wall paint finish |         |
| DP       | Down pipe                                                      | Finish to match corresponding paint colour                                 |         |
| BAL      | Glass Balcony Balustrade                                       |                                                                            |         |



VIEW OF THE DEVELOPMENT 138 & 139 & 140 -142. THE REAR OF 140 -142 NORTH STEYNE WILL NOT BE SEEN.

ORIGINAL DA REMOVED THE BIN STORE TO BE REBUILT BUT NOW WILL NOT BE REBUILT AS BINS MOVE INTO BASEMENT.

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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Development application                    | 13.08.23 |
| B     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 15.04.25 |
|       |                                                      |          |
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EXTERNAL FINISHES TO ROOF - BASALT  
BCA Classification - D  
Solar Absorptance - 0.69  
Basix Classification - M

- Shaded area indicating proposed extension
- Existing structure to be demolished
- Existing wall to be retained

SP 44636  
140-142 NORTH STEYNE  
MANLY 2095

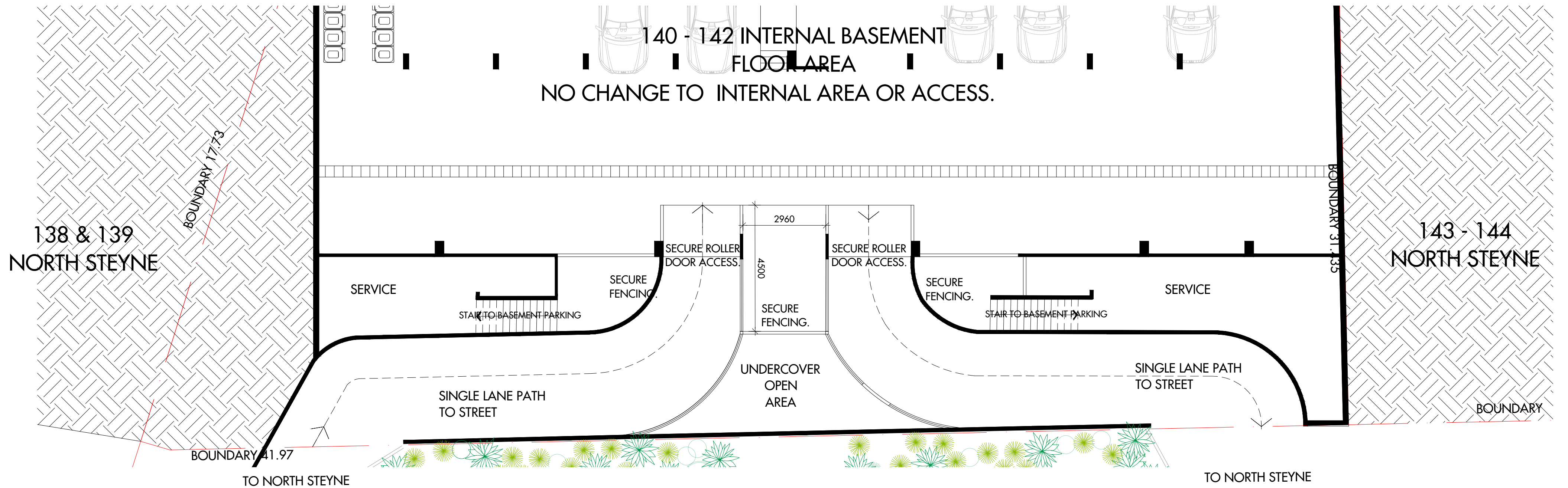
**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

SITE PLAN

|        |            |          |
|--------|------------|----------|
| Date   | Checked    | Scale    |
| MB     |            | 1:200@A2 |
| Number | 10092_DA02 |          |
| Rev    | B          |          |

DEVELOPMENT APPLICATION- SECTION 4.55

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ENTRANCE RAMP FROM BASEMENT TO NORTH STEYNE.



OVERVIEW OF UNDERCOVER SPACE DOWN EXIT RAMP.



SECURITY FENCING TO STORAGE AND SECURE ROLLER DOORS TO BASEMENT ENTRY.

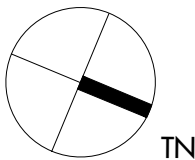


EXIT RAMP FROM BASEMENT TO NORTH STEYNE



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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 15.04.25 |
|       |                                                      |          |
|       |                                                      |          |
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MANLY 2095

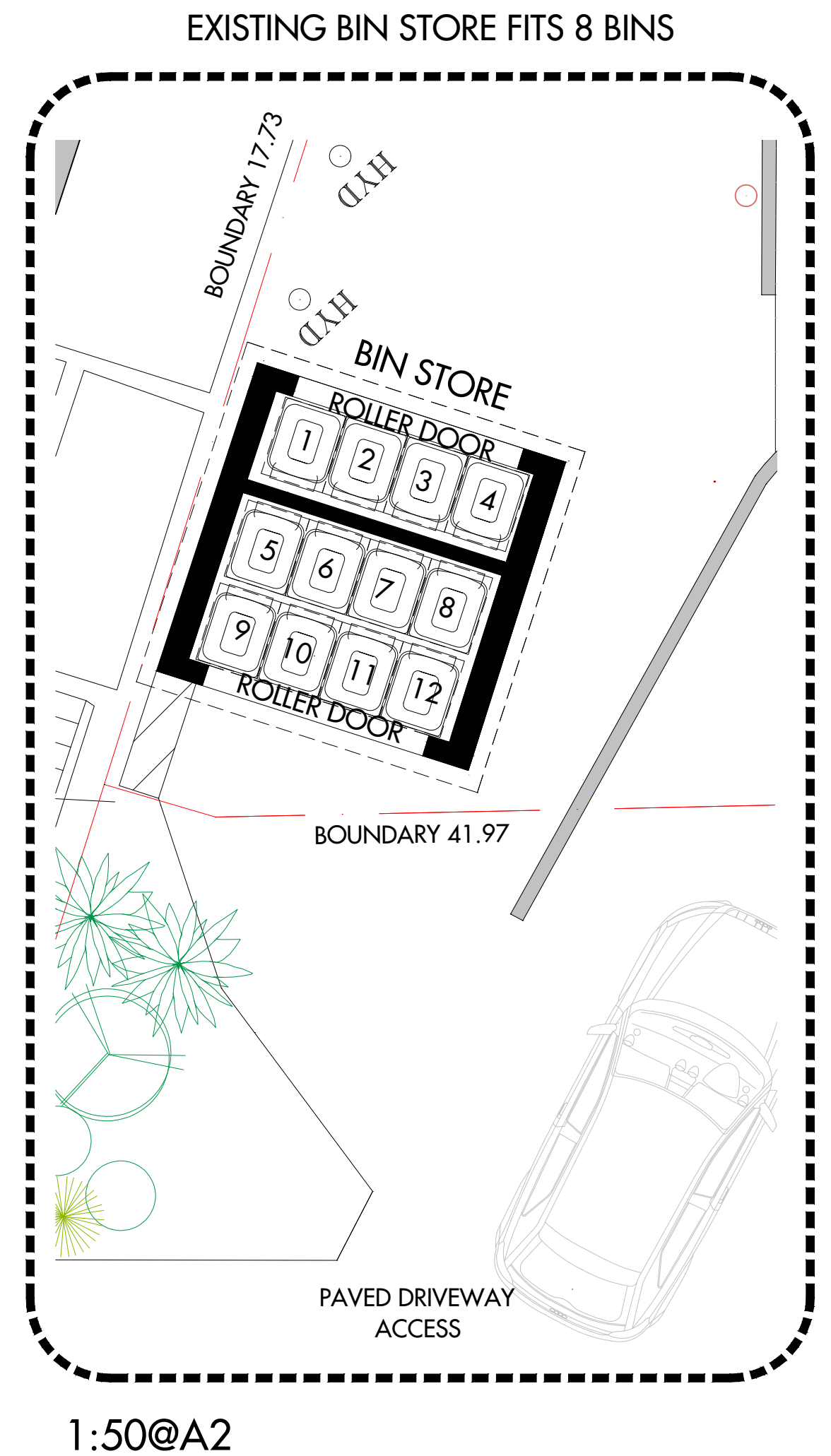
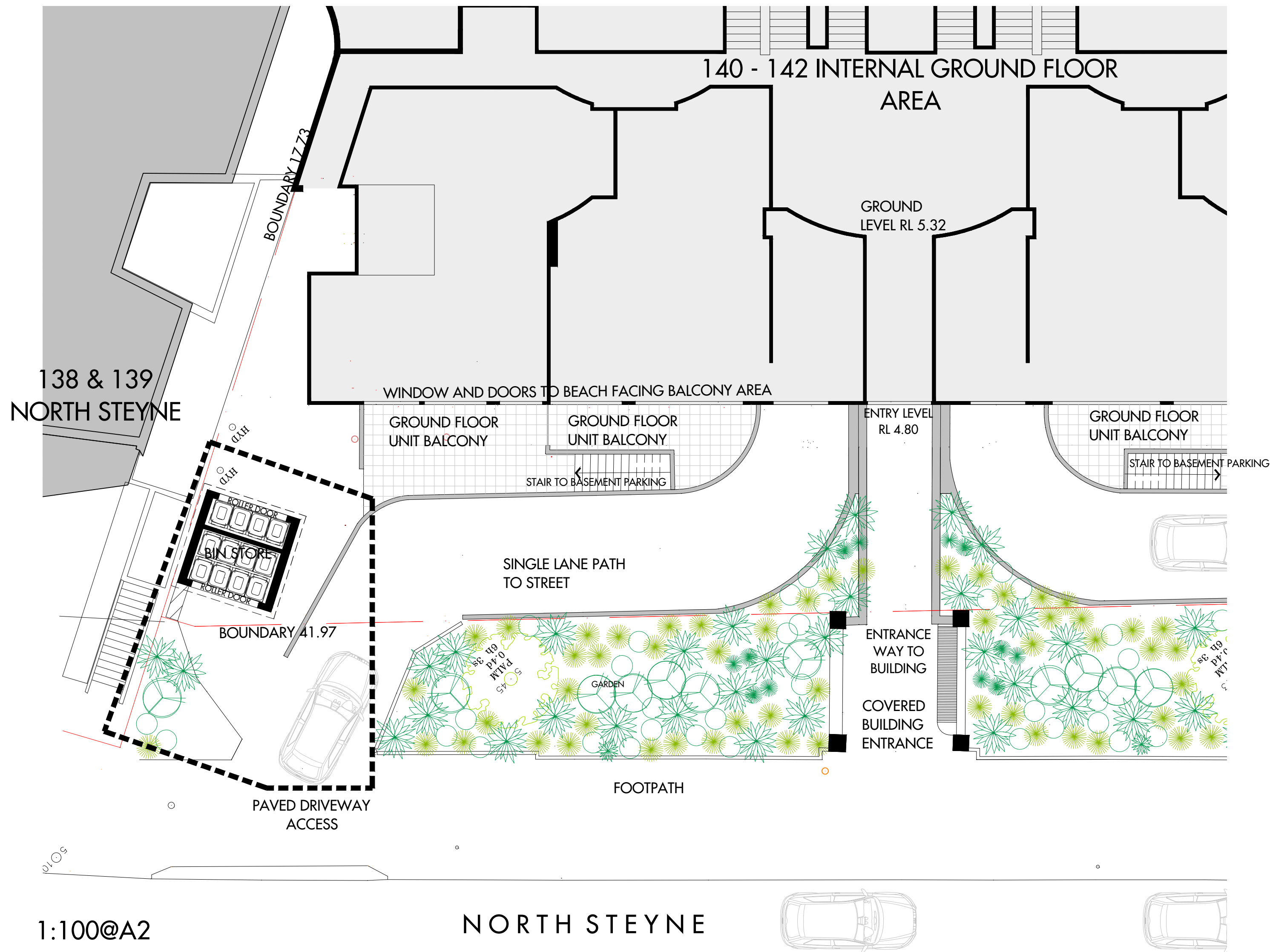
**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

EXISTING PLAN  
BASEMENT

| Drawn      | Checked | Scale    |
|------------|---------|----------|
| MB         |         | 1:100@A2 |
| Number     | Rev     |          |
| 10092_DA05 | A       |          |

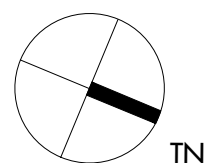
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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Development application                    | 13.08.23 |
| B     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 15.04.25 |
|       |                                                      |          |
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SP 44636  
140-142 NORTH STEYNE  
MANLY 2095

**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

EXISTING PLAN  
GROUND FLOOR

Drawn: MB

Checked: MB

Scale: VARIES

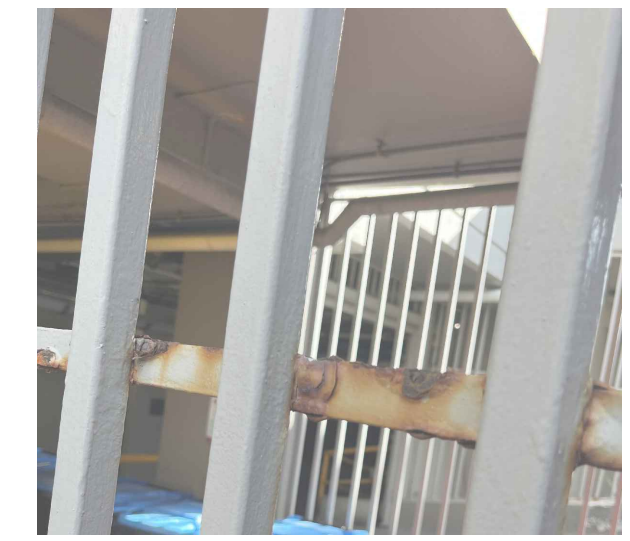
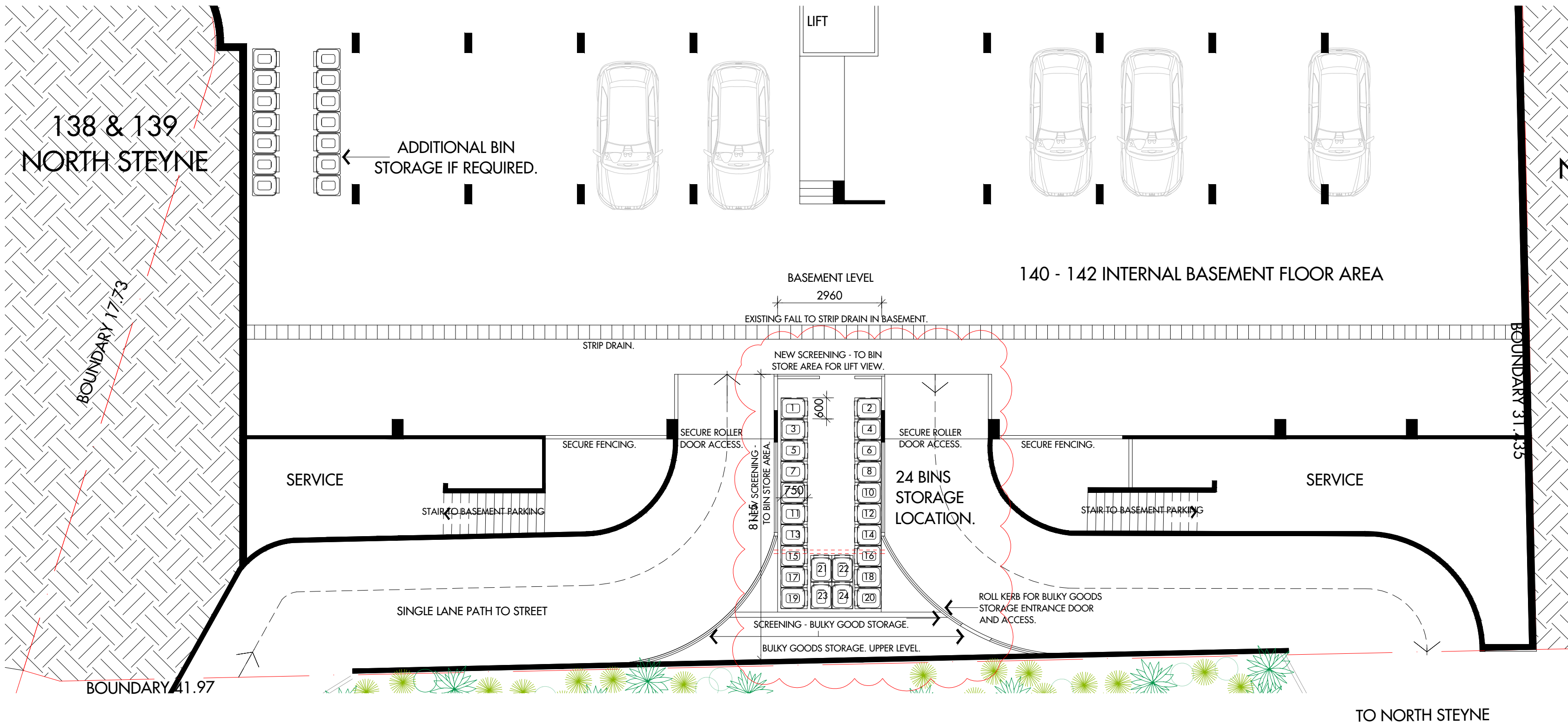
Number: 10092\_DA06

Rev: B

DEVELOPMENT APPLICATION- SECTION 4.55

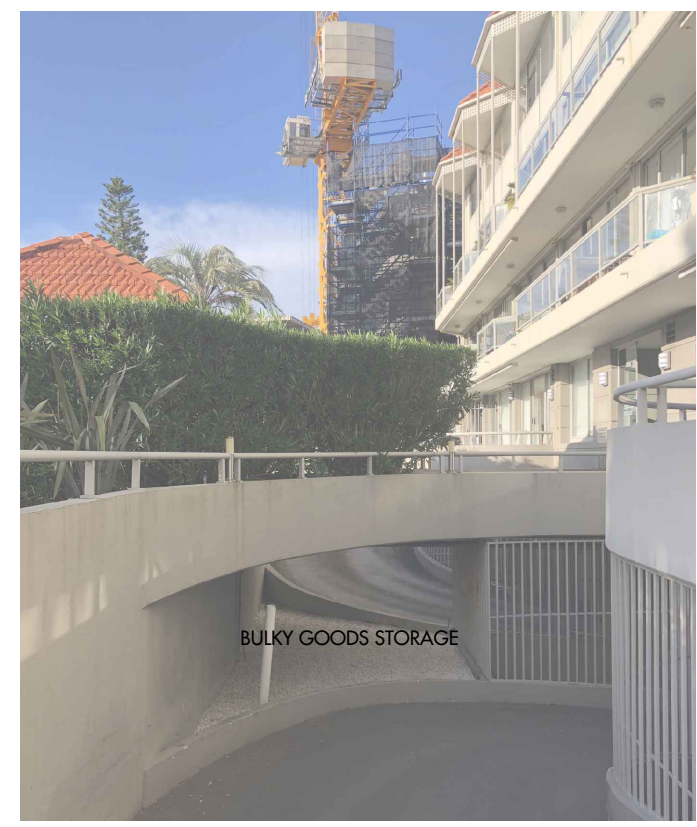
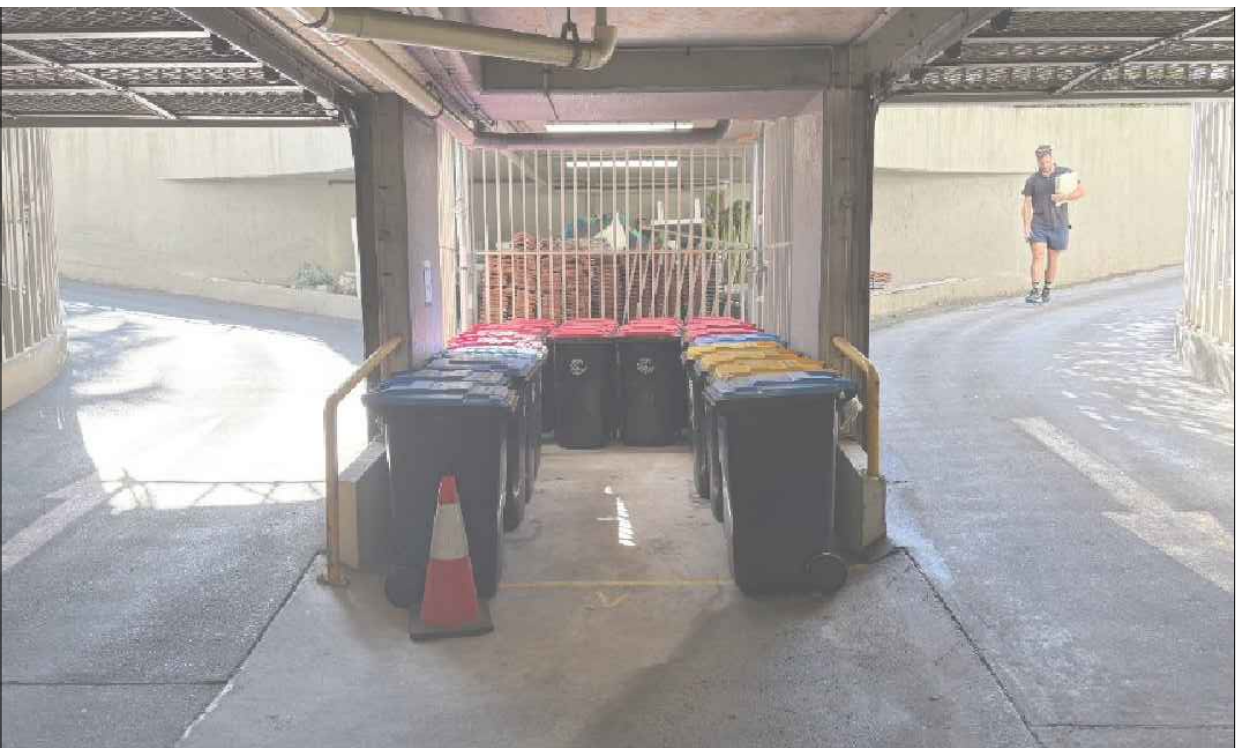
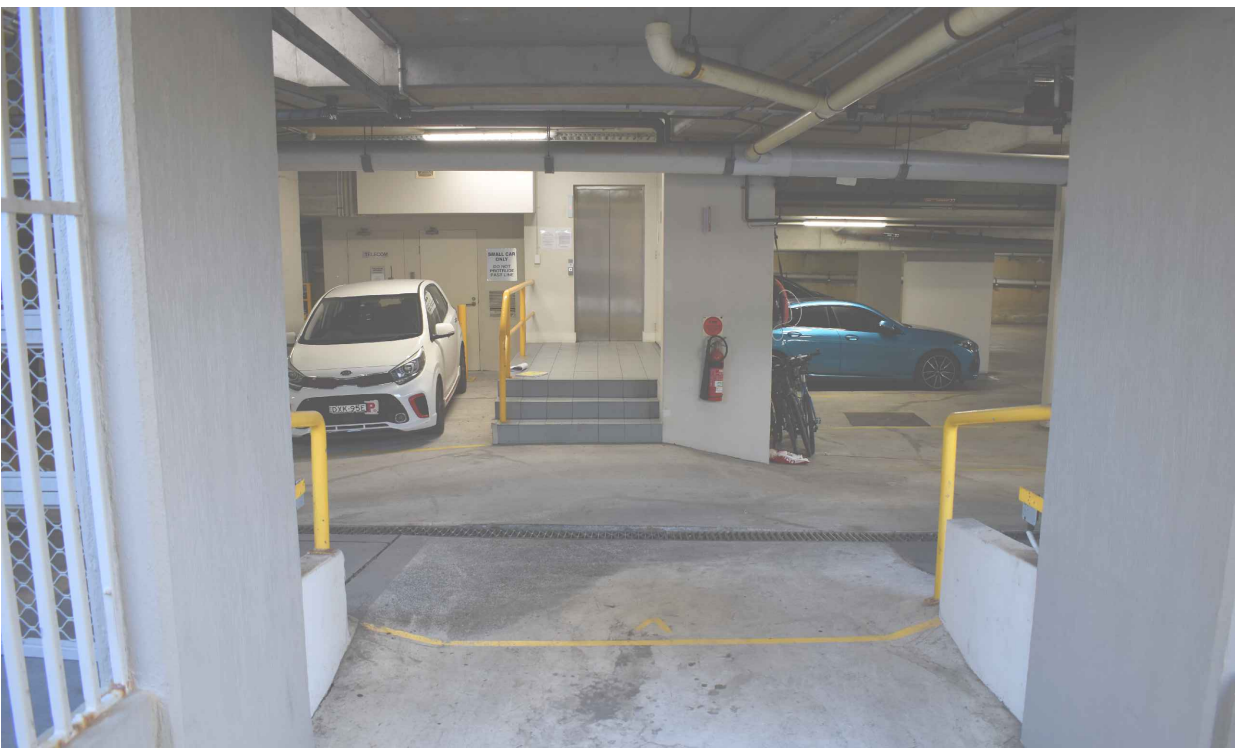
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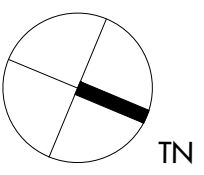
NEW SCREENING - TO BIN STORE AREA.  
EXISTING STEEL SCREENING IS RUSTED AND IN  
NEED OF REPLACEMENT.  
NEW SCREENING - VERTICAL SLATS -  
ALUMINUM FINISH POWDER COAT IRONSTONE  
TO MATCH FACADE.

EXISTING INACCESSIBLE VISITOR SPACE. SPACE MEASURE 4.5m X 2.4m WITH THE LIFT  
ACCESS INFRONT - A CAR IS NOT ABLE TO REVERSE INTO THE SPACE.



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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 15.04.25 |
| B     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 18.06.25 |
|       |                                                      |          |
|       |                                                      |          |
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- Shaded area indicating proposed extension
- Existing structure to be demolished
- Existing wall to be retained

ALL BIN MOVEMENTS BY  
STRATA MANAGEMENT.

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**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

|                           |            |         |          |
|---------------------------|------------|---------|----------|
| PROPOSED PLAN<br>BASEMENT | Design     | Checked | Date     |
|                           | MB         |         | 1:100@A2 |
| Number                    | 10092_DA20 | Rev     | B        |

DEVELOPMENT APPLICATION- SECTION 4.55

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REAR OF BUILDING NOT SEEN FROM PUBLIC DOMAIN

138 & 139 NORTH STEYNE

BOUNDARY 17.73

EXISTING BALCONY AREA

NO CHANGE TO UNIT 14 REAR GLAZING OR ACCESS

140 - 142 INTERNAL FIRST FLOOR AREA

EXISTING BALCONY AREA

MAINTAIN EXISTING LATTICE PRIVACY SCREENING ACROSS BALCONY

REAR OF BUILDING NOT SEEN FROM PUBLIC DOMAIN

BALCONY

GUTTER OVER

BALCONY

LINE OF BUILDING

BALCONY

143 - 144 NORTH STEYNE

BOUNDARY 31.435

BOUNDARY

RAMP TO SIDE PATH

NO CHANGE TO PAVED DRIVEWAY ACCESS

FOOTPATH

COVERED ENTRANCE ROOFING

FALL

BIN STORE RELOCATED TO UNDER ENTRANCE WALKWAY. CONTINUE TILING OVER. SEE DA20

EXISTING PERIMETER FENCE TO REMAIN

MAINTAIN PRIVACY SCREEN TO BALCONY

BALCONY TO BECOME CONTINUOUS TO PERIMETER RETURN.

WINDOW AND DOORS TO EACH FACING BALCONY AREA

EXISTING BALCONY AREA. REMOVE PLANTER BOX IN BALCONY.

LEVEL 1 RL 7.94

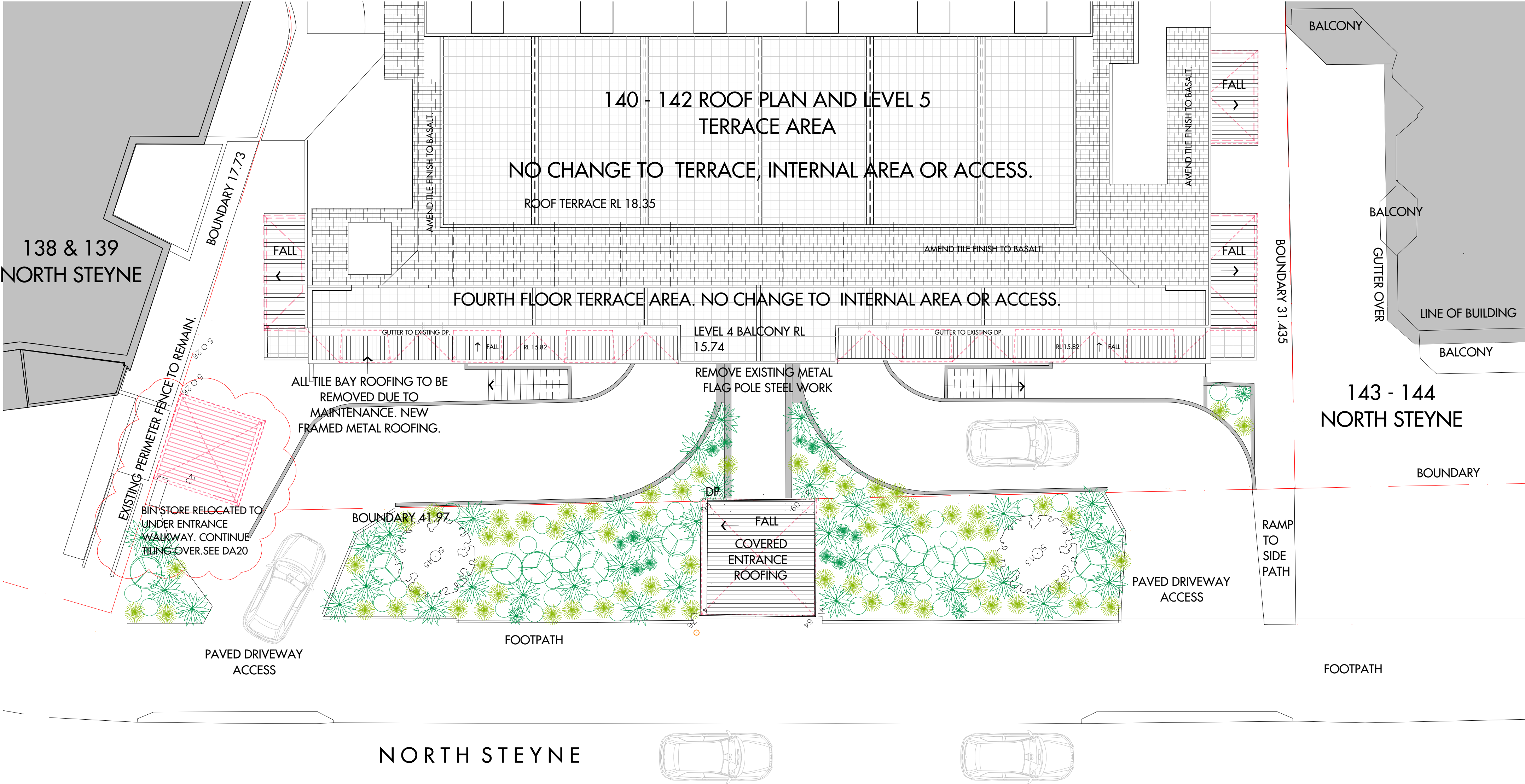
LEVEL 1 BALCONY RL 7.75

FEATHERING OF LEVEL TO BALCONY LEVEL RL 7.99

DEVELOPMENT APPLICATION- SECTION 4.55

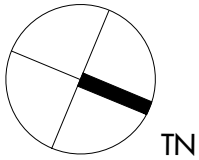
[illegible]





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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Development application                    | 13.08.23 |
| B     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 15.04.25 |
|       |                                                      |          |
|       |                                                      |          |
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- Shaded area indicating proposed extension
- Existing structure to be demolished
- Existing wall to be retained

Client  
SP 44636  
140-142 NORTH STEYNE  
MANLY 2095

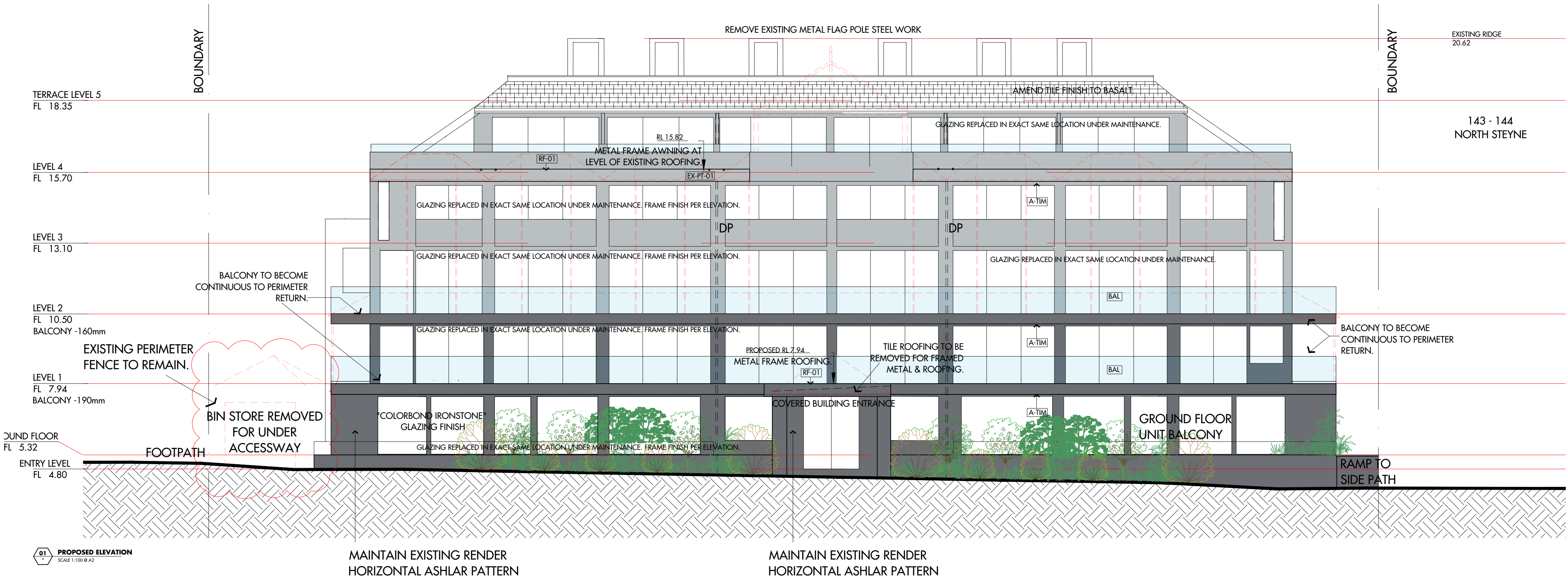
CONSTRUCTION | REMEDIAL | REFURBISHMENT

The  
PROPOSED  
ROOF & LEVEL 5 TERRACE

|                             |                 |                   |
|-----------------------------|-----------------|-------------------|
| Drawn<br>MB                 | Checked         | Scale<br>1:100@A2 |
| Number<br><b>10092_DA24</b> | Rev<br><b>B</b> |                   |

DEVELOPMENT APPLICATION- SECTION 4.55

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FINISHES LEGEND

|          |                                                                                             |
|----------|---------------------------------------------------------------------------------------------|
| EX-PT-01 | WALL FINISH - GREY PAIL DULUX OR SIMILAR<br>GLAZING FRAME TO MATCH PAINT FINISH.            |
| EX-PT-02 | WALL FINISH - AEROBUS DULUX OR SIMILAR                                                      |
| EX-PT-03 | WALL FINISH - IRONSTONE DULUX OR SIMILAR.<br>GLAZING FRAME IRONSTONE TO MATCH PAINT FINISH. |

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| Issue | Description                                          | Date     |
|-------|------------------------------------------------------|----------|
| A     | Issue for Development application                    | 13.08.23 |
| B     | Issue for Section 4.55 amendment - BIN STORE REMOVED | 13.05.25 |
|       |                                                      |          |
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|       |                                                      |          |

Existing structure to be demolished

A- GL. GLAZING REPLACED IN EXACT SAME LOCATION UNDER MAINTENANCE.

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MANLY 2095

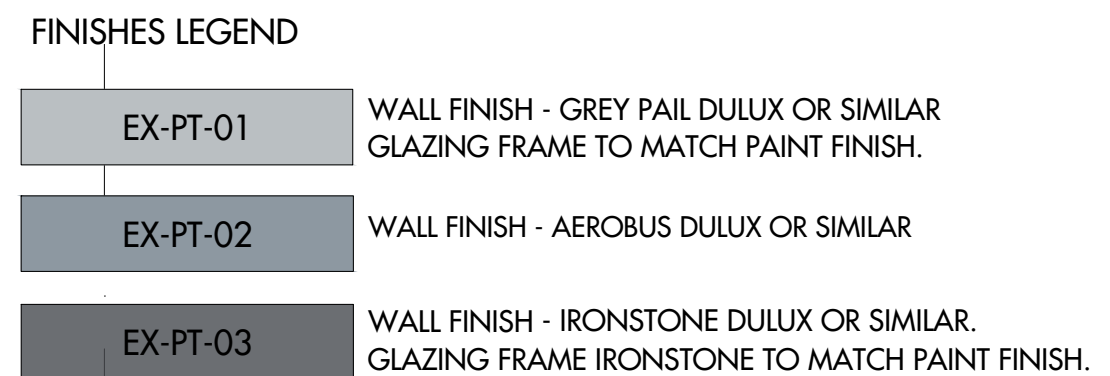
**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

PROPOSED FACADE

|                             |                   |                  |
|-----------------------------|-------------------|------------------|
| Drawn<br>MB                 | Checked           | Date<br>1:100@A2 |
| Number<br><b>10092 DA30</b> | Issue<br><b>B</b> |                  |

DEVELOPMENT APPLICATION- SECTION 4.55

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SCALE 1:100 @ A2

~~SCALE 1:100 @ A2~~

 Existing structure to be demolished

A- GL. GLAZING REPLACED IN EXACT SAME LOCATION UNDER MAINTENANCE.

A- GL. GLAZING REPLACED IN EXACT SAME LOCATION UNDER MAINTENANCE.

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140-142 NORTH STEYNE  
MANLY 2095

**EVEREST**  
CONSTRUCTION | REMEDIAL | REFURBISHMENT

## PROPOSED ELEVATIONS

|                   |          |          |
|-------------------|----------|----------|
| Design            | Checked  | Scale    |
| MB                |          | 1:100@A2 |
| Number            | Issue    |          |
| <b>10092 DA31</b> | <b>C</b> |          |

DEVELOPMENT APPLICATION- SECTION 4.55

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