

21 February 2022



Richard Balfour
C/- Nolan Planning Consultants 75 Oliver Street
FRESHWATER NSW 2096

Dear Sir/Madam

Application Number: Mod2021/0959
Address: Lot 9 DP 758044 , 1 Mulgowrie Crescent, BALGOWLAH HEIGHTS
NSW 2093
Proposed Development: Modification of Development Consent DA2019/0856 granted for
alterations and additions to a dwelling house

Please find attached the Notice of Determination for the above mentioned Application.

Please be advised that a copy of the Assessment Report associated with the application is available on Council's website at www.northernbeaches.nsw.gov.au

Please read your Notice of Determination carefully and the assessment report in the first instance.

If you have any further questions regarding this matter please contact the undersigned on 1300 434 434 or via email quoting the application number, address and description of works to council@northernbeaches.nsw.gov.au

Regards,



Adam Croft
Planner

NOTICE OF DETERMINATION

Application Number:	Mod2021/0959
Determination Type:	Modification of Development Consent

APPLICATION DETAILS

Applicant:	Richard Balfour
Land to be developed (Address):	Lot 9 DP 758044 , 1 Mulgowrie Crescent BALGOWLAH HEIGHTS NSW 2093
Proposed Development:	Modification of Development Consent DA2019/0856 granted for alterations and additions to a dwelling house

DETERMINATION - APPROVED

Made on (Date)	21/02/2022
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The request to modify the above-mentioned Development Consent has been approved as follows:

A. Add Condition No.1A - Modification of Consent - Approved Plans and supporting Documentation to read as follows:

The development must be carried out in compliance (except as amended by any other condition of consent) with the following:

a) Modification Approved Plans

Architectural Plans - Endorsed with Council's stamp		
Drawing No.	Dated	Prepared By
C4.55-3 Site Analysis Plan	12 November 2021	SketchArc
C4.55-6 Upper Floor Plan	12 November 2021	SketchArc
C4.55-7 Roof Plan	12 November 2021	SketchArc
C4.55-8 North West Elevation	12 November 2021	SketchArc
C4.55-9 South East Elevation	12 November 2021	SketchArc
C4.55-10 North East Elevation, South West Elevation	12 November 2021	SketchArc
C4.55-11 Section A-A	12 November 2021	SketchArc
C4.55-12 Section B-B	12 November 2021	SketchArc
C4.55-13 Section C-C	12 November 2021	SketchArc

Reports / Documentation – All recommendations and requirements contained within:		
Report No. / Page No. / Section No.	Dated	Prepared By
BASIX Certificate No. A355189_03	8 November 2021	Phil Brown Drafting

b) Any plans and / or documentation submitted to satisfy the Conditions of this consent.

Important Information

This letter should therefore be read in conjunction with DA2019/0856 dated 27 May 2020.

Please note that on site works cannot proceed unless a Construction Certificate application for the modified proposal has been lodged with and approved by Council or an accredited certifier, and relevant conditions of the Development Application have been carried out.

Right to Review by the Council

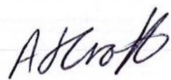
You may request Council to review this determination of the application under Division 8.2 of the Environmental Planning & Assessment Act 1979. Any Division 8.2 Review of Determination application must be submitted to Council within 28 days of this determination, to enable the assessment and determination of the application within the 6 month timeframe.

Right of Appeal

Section 8.10 of the Environmental Planning and Assessment Act confers on an applicant who is not satisfied with the determination of the Consent Authority a right of appeal to the Land and Environment Court within 6 months of determination.

NOTE: A fee will apply for any request to review the determination.

Signed On behalf of the Consent Authority



Name Adam Croft, Planner

Date 21/02/2022