



PITTWATER COUNCIL

ABN61340837871
Telephone 02 9970 1111
Facsimile 02 9970 1200
Postal Address
PO Box 882
Mona Vale NSW 1660
DX 9018, Mona Vale

Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

23 December 2011

COPY

Mr Gerald Colley & Mrs Sally Colley
18 Wollstonecraft Avenue
AVALON NSW 2107

Dear Sir/ Madam

Re: Construction Certificate CC0369/11
Property: 18 WOLLSTONECRAFT AVENUE AVALON NSW 2107

Please find enclosed your approved Construction Certificate and stamped plans

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA)

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Kate Stoner
DEVELOPMENT COMPLIANCE OFFICER

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street, Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road, Avalon

Support Services
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Depot
1 Boondah Road, Warriewood



PITTWATER COUNCIL

Construction Certificate No: CC0369/11

Site Details **18 WOLLSTONECRAFT AVENUE AVALON NSW 2107**

Legal Description **Lot 83 DP 12074**

Type of Development **Building Work**/Subdivision

Description **Alterations and additions to the existing dwelling**

Associated Development Consent No **N0283/11** Dated **7 September 2011**

Building Code of Australia Certification **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates

- **Basix Certificate No. A118913**
- **Colour schedule**
- **Structural adequacy letter dated 25 November 2011**
- **Building Specifications**
- **Plan showing eastern and western elevations**
- **Plan showing north and south elevations**
- **Structural details, Job no. 27842-S1, dated 25 October 2011**
- **Plan showing Existing and proposed floor plans**

I hereby certify that the above plans, documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No N0283/11

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979

Kate Stoner
Development Compliance Group

23 December 2011
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 036911

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

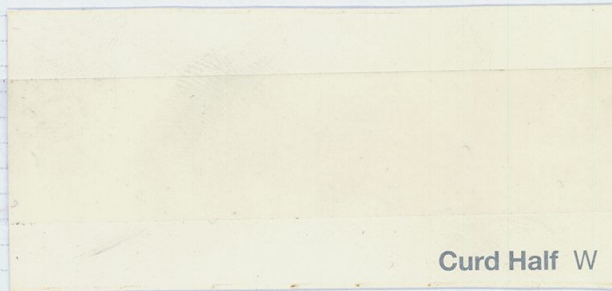
Endorsed by:

Date:

23 DEC 2011

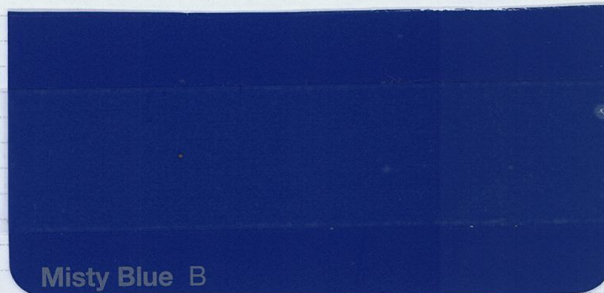
COLOUR SCHEDULE FOR 18 WOLLSTONECRAFT AVE AVALON

WEATHERBOARDS AND ARCHITRAVES



Curd Half W

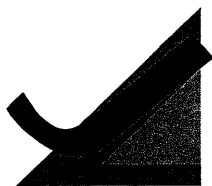
FASCIAS



Misty Blue B

ROOF/GUTTERING AND DOWNPIPES





Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

MM 27842.

25th November, 2011

Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

18 WOLLSTONECRAFT AVENUE, AVALON
Development Application No: N0283/11

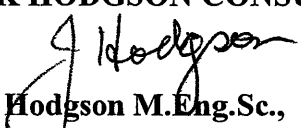
This Report on Structural Adequacy is based on a surface inspection of the subject property
No opening up of the existing development or excavation was carried out

We inspected the property on the 4th November, 2011 and have examined the architectural
plans for the proposed additions & alterations on 3 sheets, unnamed and undated

Jack Hodgson Consultants has prepared the structural engineering plans for the subject
address Drawing No 27842-S1.

In our opinion, the existing structure is adequate to support any loads that may be imposed on
it provided any point loads are carried directly down through the structure to new or old
footings

JACK HODGSON CONSULTANTS PTY. LIMITED.


J. D. Hodgson M.Eng.Sc.,
F.I.E. Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.

PITTVATER CCUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0369/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	
Date	23 DEC 2011

DIRECTOR J D HODGSON, M Eng Sc, F I E Aust, Nper3 Struc Civil 149788
67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6926

SPECIFICATION
ALTERATIONS/ADDITIONS
18 WOLLSTONECRAFT AVE AVALON
DP 12074
DA APP NO N0283/11

OWNERS
SALLY AND GERRY COLLEY

APPLICANT
EDWARD BALL CONSTRUCTIONS
30/18-20 WATERLOO ST NARRABEEN
NSW 2101

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
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Endorsed by	
Date	23 DEC 2011

Preliminaries

Site fencing

Temporary site fencing to be installed before demolition commences with appropriate signs placed facing Wollstonecraft St

Rubbish

All rubbish to be removed from site and to be placed in skip bins located inside the temporary fencing.

Roof-cover

Tarpaulins are to be used when roof is to be exposed before the new floor is installed. Then a purpose made floor covering to go over floor then up and over the existing roof, to remain until roof and outside wall coverings are installed.

Scaffolding

To be installed along the western wall prior to demolition commencing.

Demolition

To be done in a safe and workmanlike manner with the remainder of the existing roof and ceiling to be temporarily supported until new floor is installed.

Electrical

Any exposed wiring to be made safe during construction.

Carpentry

All dimensions to be checked on site before construction.

All work to be done in a tradesmen like manner.

Floor framework

As per AS 1684

All timber to be H2 or better treated

Bearers

300x63 LVL continuous over existing ceiling joists on top of bearing walls, solid blocked and made level as per engineers specification

Joists

300x63 hyne LVL at 450 centres fixed to bearers as per engineers specifications.

Flooring

15mm thick with a plastic tongue plyfloor, glued and nailed to joists.

15mm cfc floor layed over joists to bathroom floor area.

Boral RV-4 acoustic underlay glued to plyfloor

Boral 19mm strip flooring fixed directly to the underlay.

Wall framework

Plates and noggins 90x45 F7

Studs 90x45 F7 at 450mm centres

Bracing and tie downs as per engineers detail

Roof framework

All roofing to be done in accordance with engineers details

Rafters 150x45 LVL at 600 centres

Ridges 200x45 LVL

Hips 200x45 LVL

Collar ties 150x45 LVL

Battens 70x35 F7 at 900 centres.

Tie downs as per AS 1684

Facia 240x25F LSOP.

Eaves 4.5mm fibreceement.

Plumbing

As per AS-3500.

Wastes and drainage pipes to connect to existing work.

All new showerheads, toilets and taps to have flow rates according to BASIX requirements.

Electrical

As per AS-3000

All new light fixtures to conform to the BASIX requirements.

Smoke alarms to AS 3786-1993

Painting

Exterior painting to match existing.

External weatherboard

To match existing.

200 classic smooth rusticated weathertex with a foil wrapped breather
sisalation 491.

External architraves and trims

70x19 LSOP

19x19 quadrant mold LSOP

40x19 LSOP

Roof plumbing and guttering

As per AS 1562.1-19992

Roof cladding to match existing 0.48 zincalume colourbond woodland grey in colour.

All flashings,ridges,hips to match existing.

Gutters and downpipes to match existing and to drain to existing gutters and storm water outlets.

Insulation

As per BASIX certificate

R1.30 for walls

R1.24 for raked ceiling

75mm foiled backed blanket for roof.

Plasterboard

10mm sheeting to walls as per AS/NZS 2588:1998

10mm superceiling sheets to raked ceilings as per AS/NZS 2588:1998

6mm villaboard sheeting to wet areas.

Waterproofing

Waterproofing to wet areas as per As 3740-2004

Joinery

All glazing/ windows to be done in accordance with Australian Standard AS2047, AS1288 and AS2208. All windows to conform to AS4055 for wind loads and where applicable to AS3959-2009 for construction in bushfire prone areas.

Existing windows in Bed1 to be taken out and installed in Study

Window space in Bed 1 to be remodelled to suite new

French Door with sidelights.

Windows -hallway 1200mm high x 1810mm wide rating N2-700 PA

WC 1200mm high x 970mm wide rating N2-700PA with cathedral white decorative obscure glass

bedroom 2 2/ 1200mm high x 970mm wide rating N2-700 PA with comfortsave clear glass as per BASIX specification

1/1200mm high x 3610mm wide rating N2-700 PA with comfortsave clear glass as per BASIX specification.

Skylights to be fixed double glazed "velux" type.

New timber staircase installed to AS1657-1985 requirements with closed treads.

Architraves 70x19 finger jointed primed pine colonial style.

Skirtings 130x19 finger jointed primed pine colonial style.

Doors to be a maple four panelled style.

BASI® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A118913

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue Friday, 29, July 2011



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 036911
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	<i>ZS</i>
Date	23 DEC 2011

Project address	
Project name	colley addition
Street address	18 wollstonecraft Avenue avalon 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 12074
Lot number	83
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa)

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name
ABN (if applicable)

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating			✓	

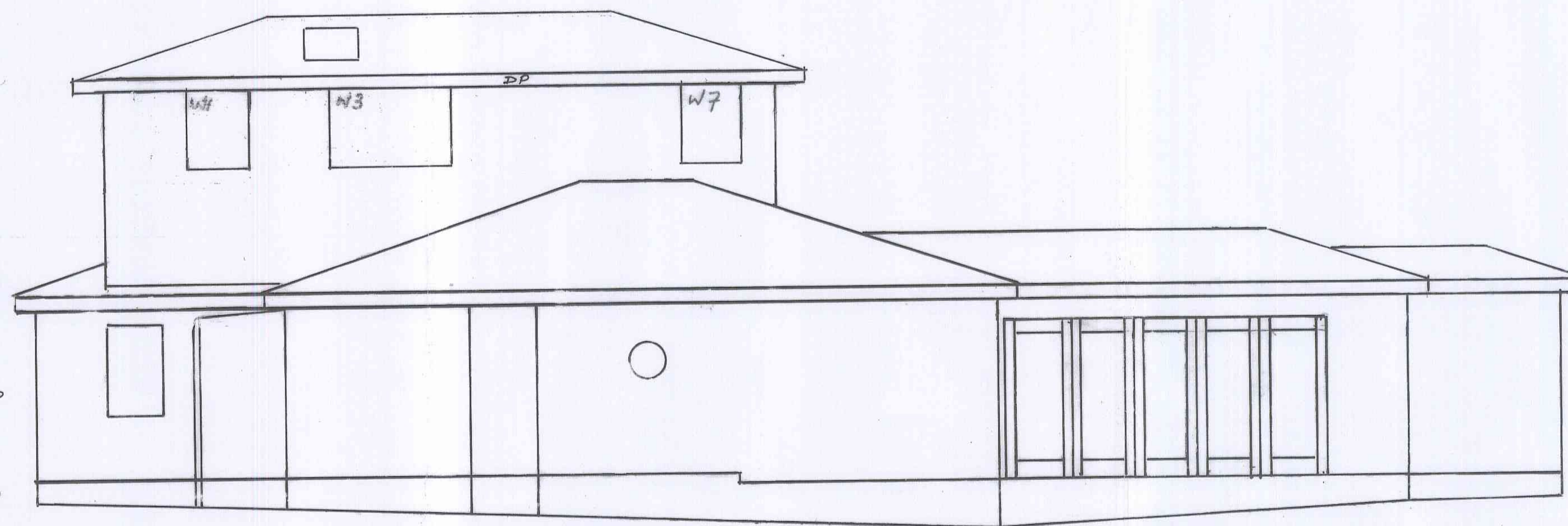
Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists				
Construction	Additional insulation required (R-value)	Other specifications		
floor above existing dwelling or building	nil			
external wall framed (weatherboard, fibro, metal clad)	R1 30 (or R1 70 including construction)			
raked ceiling, pitched/skillion roof framed	ceiling R1 24 (up), roof foil backed blanket (75 mm)	dark (solar absorptance > 0.70)		
		✓	✓	✓

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below Relevant overshadowing specifications must be satisfied for each window and glazed door						
The following requirements must also be satisfied in relation to each window and glazed door						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions						✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions The description is provided for information only Alternative systems with complying U-value and SHGC may be substituted						✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill						✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35						✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window The spacing between battens must not be more than 50 mm						✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below						✓
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	S	3.3	2.8	15	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value 5.71, SHGC 0.66)
W2	E	2.3	2.8	6	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value 5.71, SHGC 0.66)

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W3	W	1 35	3	4	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W4	W	2 1	3	4	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W5	N	3 6	2 8	50	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value 3 99, SHGC 0 4)			
W6	N	3 6	2 8	50	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value 3 99, SHGC 0 4)			
W7	E	3	2 8	6	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below									
The following requirements must also be satisfied in relation to each skylight									
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below									
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)	Shading device		Frame and glass type					
S1	1 5	no shading		timber, double clear/air fill, (or U-value 4 3, SHGC 0 5)					
							✓	✓	✓
							✓	✓	✓
							✓	✓	✓

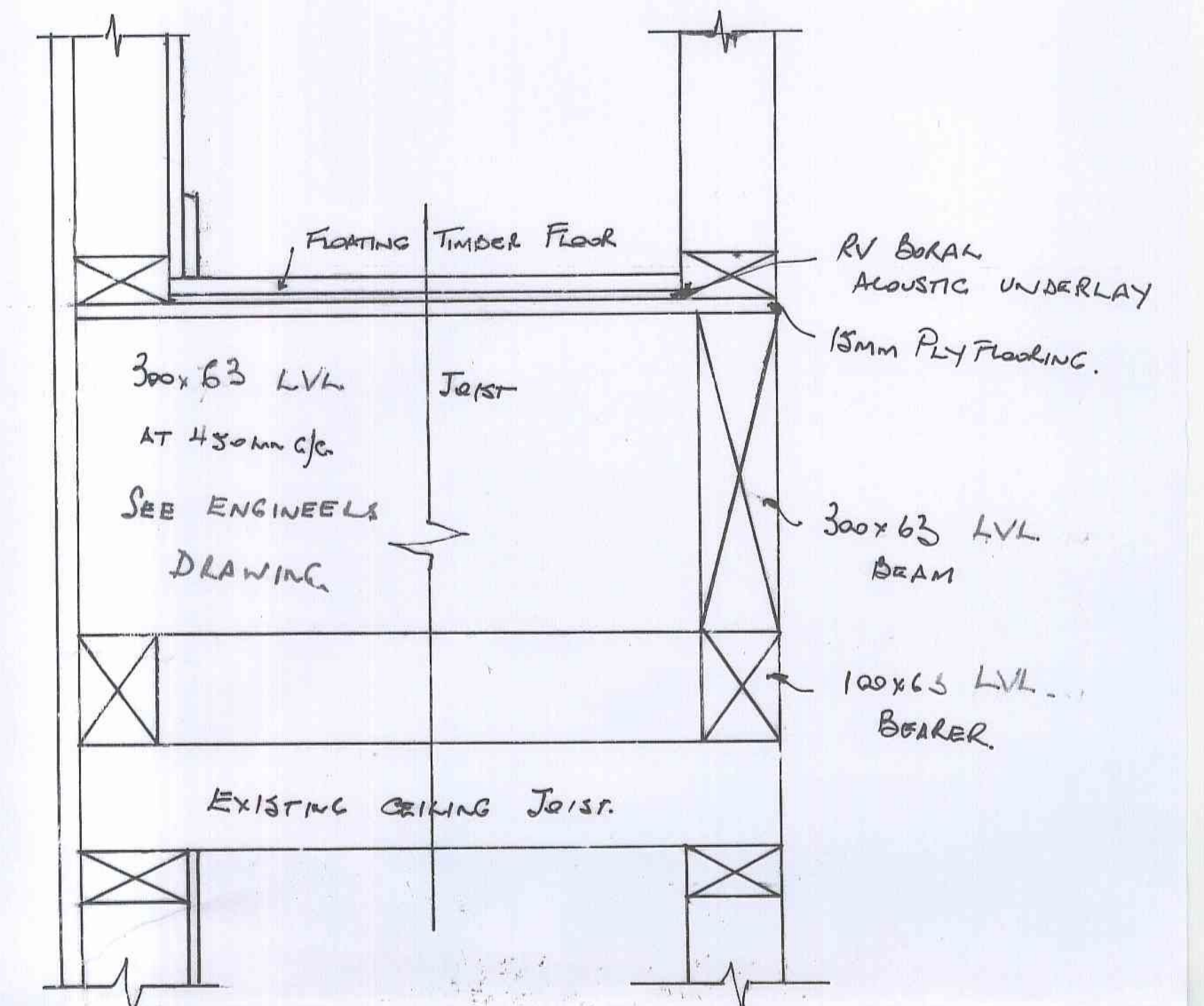
Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued

RIDGE 15.06
 1200
 2500
 400
 2800
 330
 GND FLOOR 8.16
 GND RL 7.83



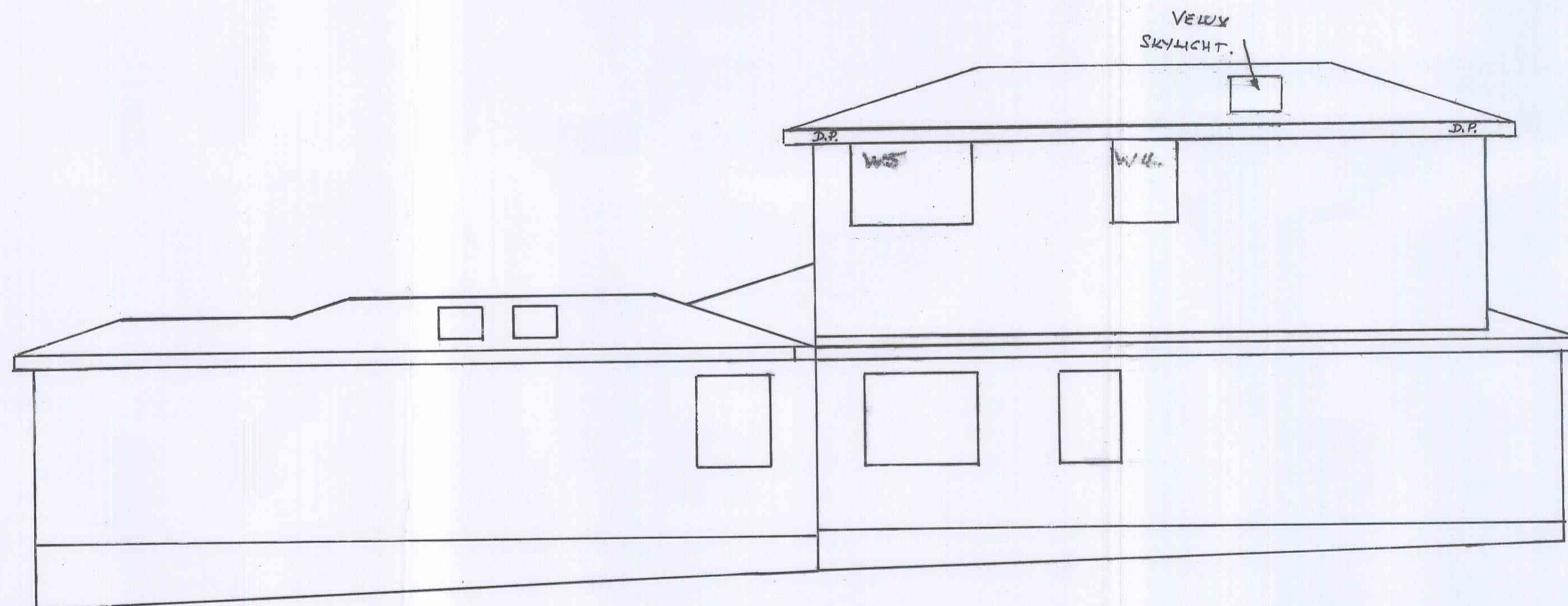
EASTERN ELEVATION

SCALE 1:50



SECTION FIRST FLOOR JOIST CONNECTION
SCALE 1:5

VIEW
SKYLIGHT.

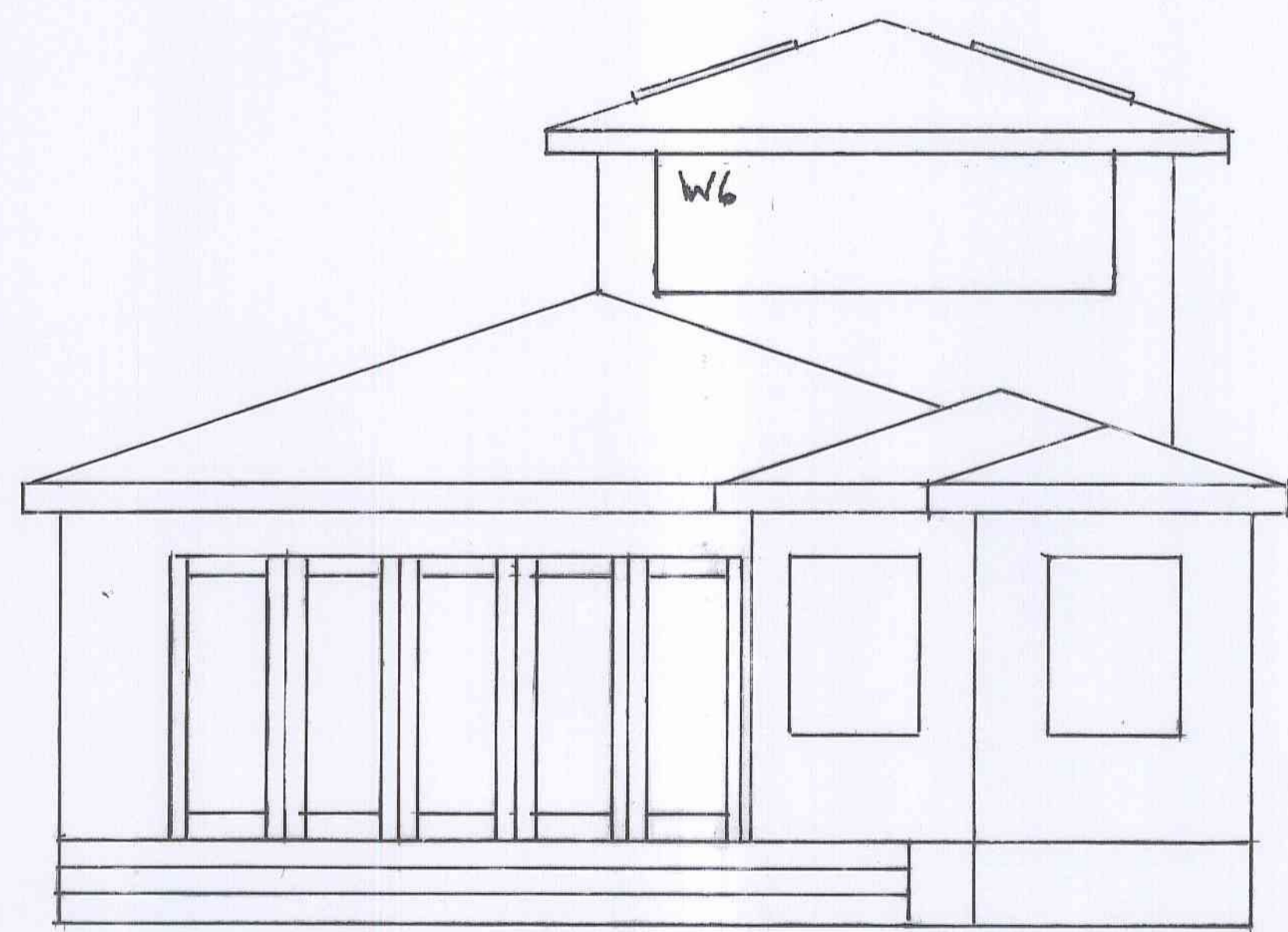


WESTERN ELEVATION

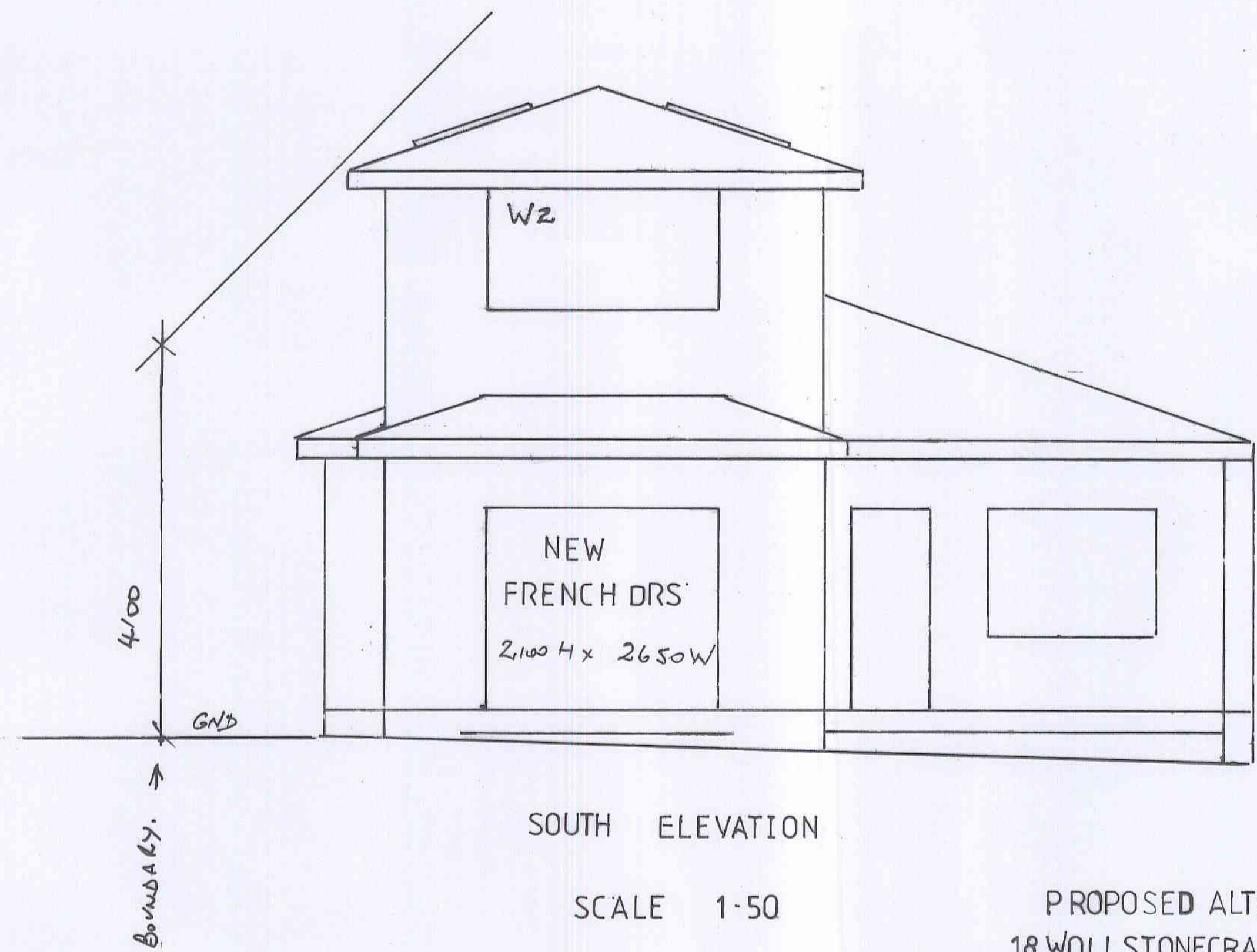
RIDGE 15.06
 WINDOW SILL
 1200
 FIRST FLOOR 10.96
 GND FLOOR 8.16
 GND RL 7.83

ADDITION/ ALTERATIONS
 18 WOLLSTONECRAFT AVE AVALON

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 Endorsed by: [Signature]
 Date: 23 DEC 2011

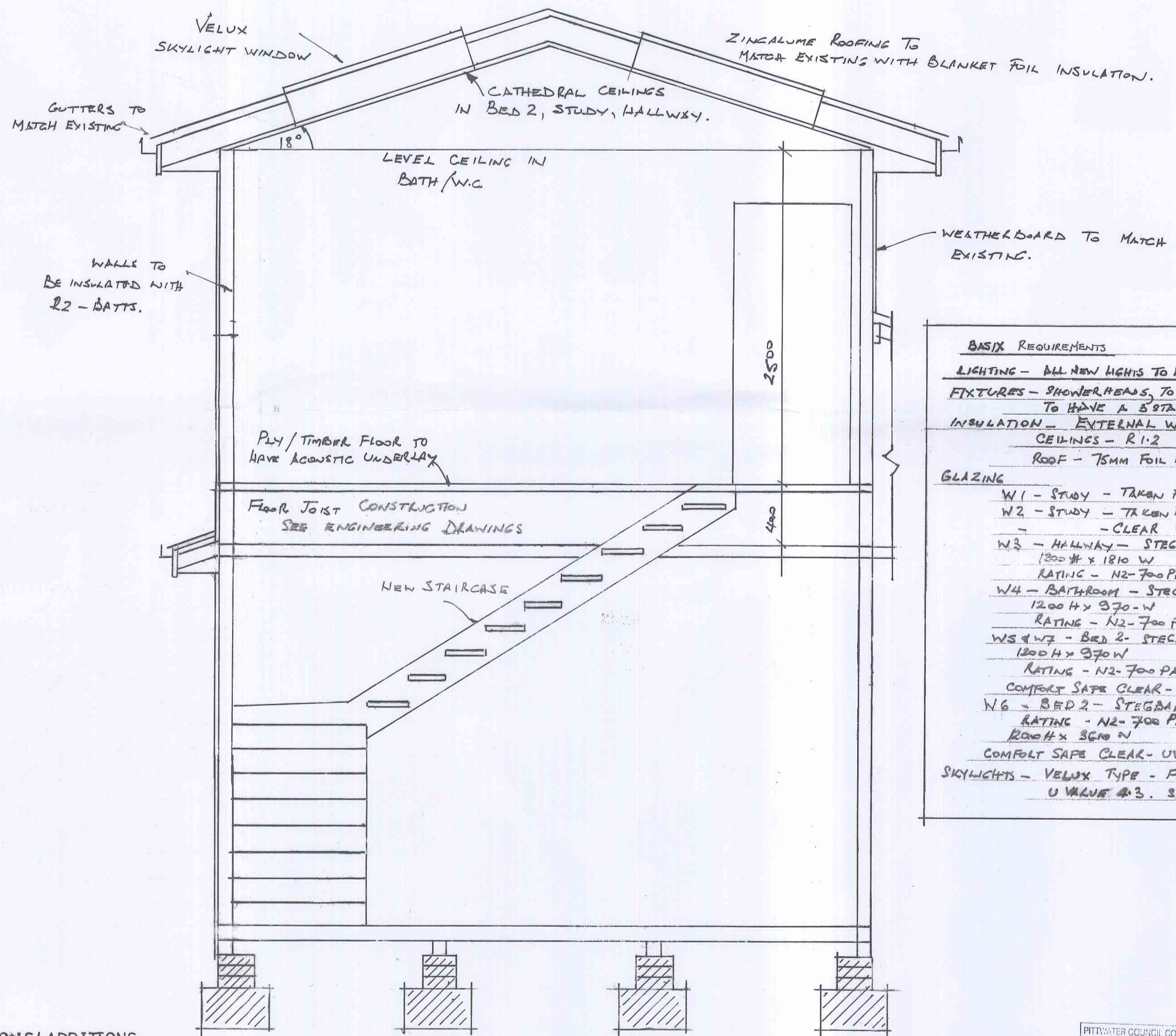


NORTH ELEVATION
SCALE 1:50



SOUTH ELEVATION
SCALE 1:50

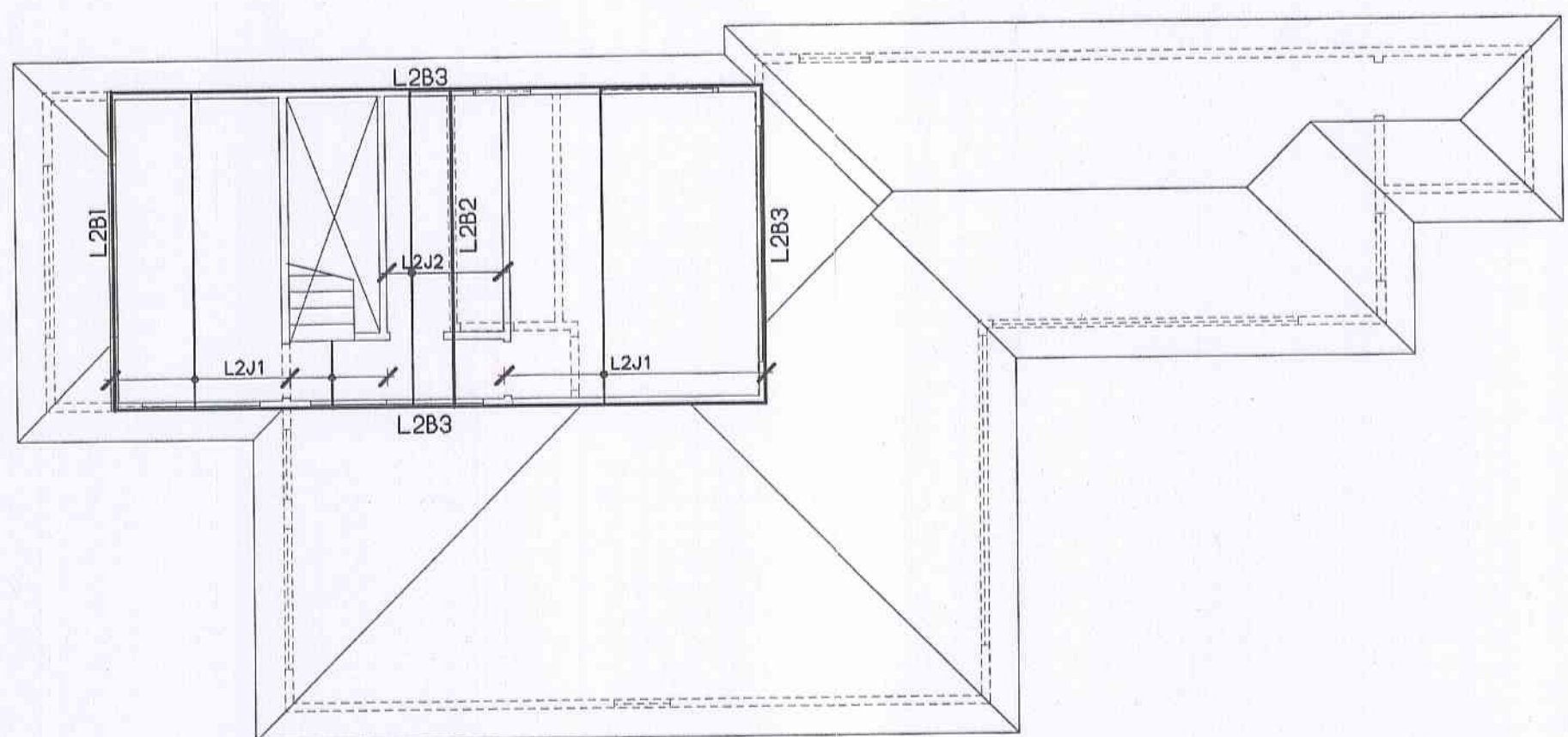
PROPOSED ALTERATIONS/ ADDITIONS
18 WOLLSTONECRAFT AVE AVALON



SECTION A-A SCALE 1:20

BASIC REQUIREMENTS	
LIGHTING	- ALL NEW LIGHTS TO BE LED LAMPS
FIXTURES	- SHOWER HEADS, TOILETS, TAPS TO HAVE A 5 STAR RATING
INSULATION	- EXTERNAL WALLS - R1.7
	CEILING - R1.2
ROOF	- 75MM FOIL BACKED BLANKET
GLAZING	
W1 - STUDY	- TAKEN FROM GND BED1
W2 - STUDY	- TAKEN FROM GND BED2
	- CLEAR UVALUE 5.7 SHGC 0.66
W3 - HALLWAY	- STECBAK - CLEAR
	1300 H x 1810 W
	RATING - N2-700 PA
W4 - BATHROOM	- STECBAK - OBTURCE
	1200 H x 970 W
	RATING - N2-700 PA
W5 W7 - BED 2	- STECBAK - CLEAR
	1200 H x 970 W
	RATING - N2-700 PA
	COMFORT SAFE CLEAR - UVALUE 3.99 SHGC 0.4
W6 - BED 2	- STECBAK - CLEAR
	1200 H x 970 W
	RATING - N2-700 PA
	COMFORT SAFE CLEAR - UVALUE 3.99 SHGC 0.4
SKYLIGHTS	- VELUX TYPE - FINED, DOUBLE GLAZED
	UVALUE 0.3 SHGC 0.5

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Endorsed by: *[Signature]*
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FIRST FLOOR (LEVEL 2) MARKING PLAN

Scale 1:100

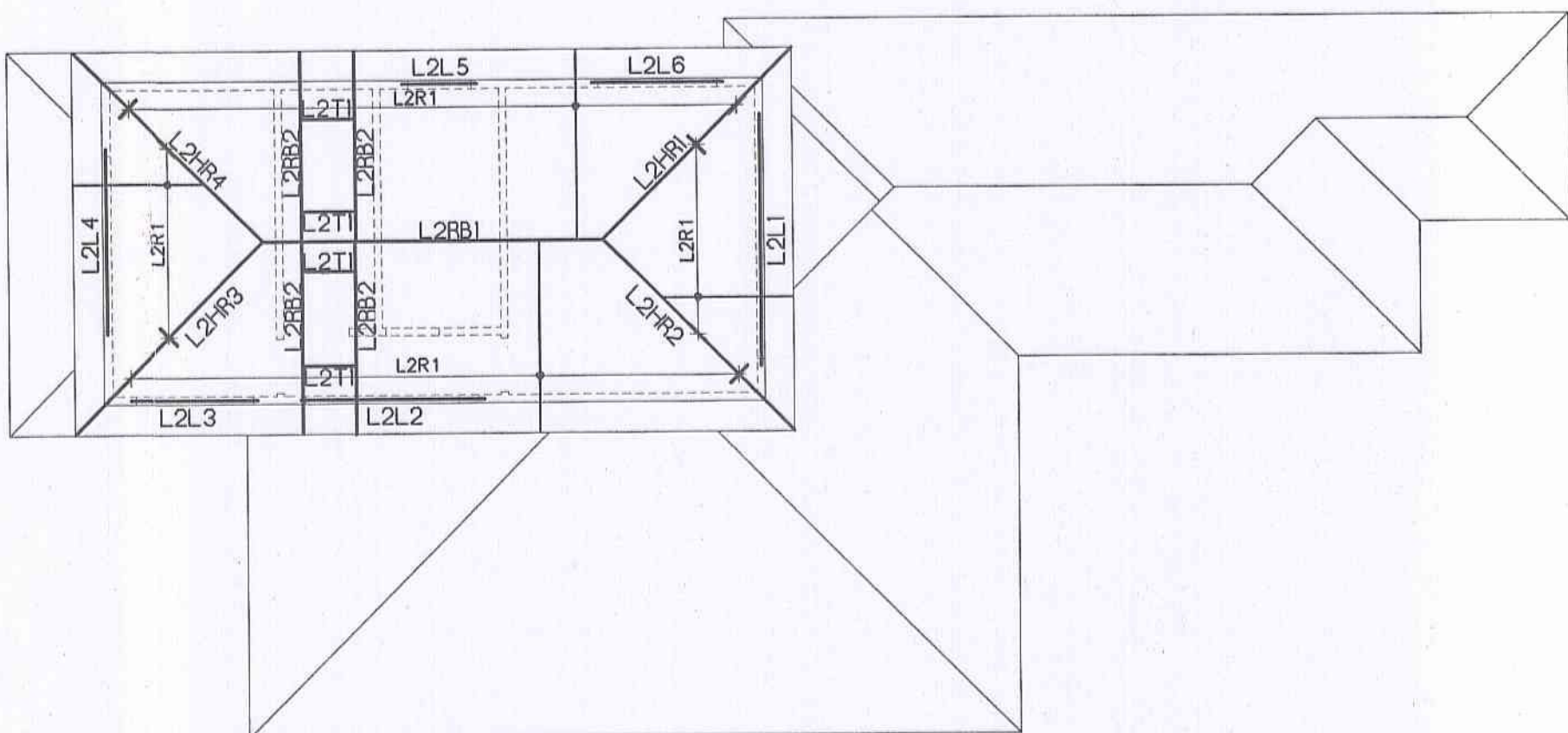
Note:
Metal tension strap bracing is to be applied to first floor external walls.
Refer to Detail.

FIRST FLOOR (LEVEL 2) - MEMBER SIZES

Location Code	Member	Length (m)	Units	Weight Kg.
L2J1	300 x 63 LVL Joists at 450 cts			
L2J2*	300 x 63 LVL Joists at 450 cts			
L2B1	300 x 63 LVL			
L2B2	300 x 63 LVL			
L2B3	300 x 63 LVL			

* SETDOWN 40mm AT BATHROOM

TOTAL WEIGHT



ROOF (LEVEL 2 ROOF) MARKING PLAN

Scale 1:100

Note: Collar ties required at max 1200mm centres. Collar ties are to 90 x 45mm F7 and are to be attached no higher than at the mid point of the rafter.

ROOF (LEVEL 2 ROOF) - MEMBER SIZES

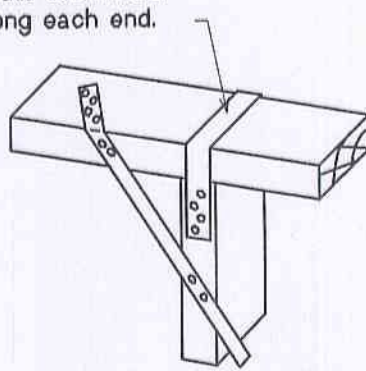
Location Code	Member	Length (m)	Units	Weight Kg.
L2L1	200 x 45 LVL			
L2L2	240 x 45 F7			
L2L3	140 x 45 F7			
L2L4	200 x 45 LVL			
L2L5	90 x 45 F7			
L2L6	140 x 45 F7			
L2R1	200 x 45 LVL			
L2R2	200 x 45 LVL			
L2R3	200 x 45 LVL			
L2R4	200 x 45 LVL			
L2RB1	200 x 45 LVL			
L2RB2	2-150 x 45 LVL			
L2T1	150 x 45 LVL			
L2R1	150 x 45 LVL Rafter at 600 cts			

TOTAL WEIGHT

TIMBER NOTES :

- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 3600.1, AS 1684.2, AS 1720.1 and the specification.
- Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
- All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
- Refer to specification for preservatives and finishes to timbers.
- All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
- All F5 timber shown are nominal sizes only.

Galvanised metal strap
30mm x 60mm looped
over plate and fixed to
stud with four galvanised
flathead nails 2.8mm dia.
x 30mm long each end.



DETAIL A

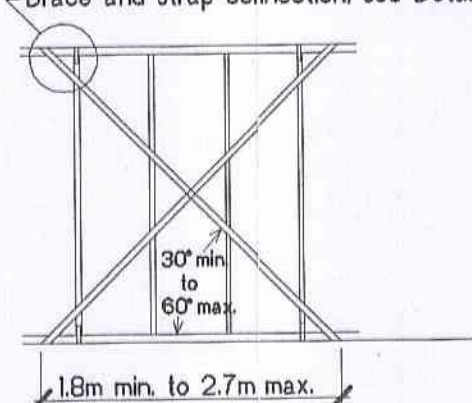
BRACING UNIT PAIR OF DIAGONAL METAL TENSION STRAPS

In accordance with Timber Framing Code AS 1684
Not to scale

Metal tension strap bracing

Corrosion protected flat metal tension strapping
fixed with two galvanised flathead nails 3.15mm
dia. x 30mm long to each stud, and the face of
the top and bottom plate, and four galvanised
flathead nails 3.15mm dia. x 30mm long to the
strip return over the top plate and under the
bottom plate.

Brace and strap connection, see Detail A



NOTE: Noggings have been omitted for clarity.

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

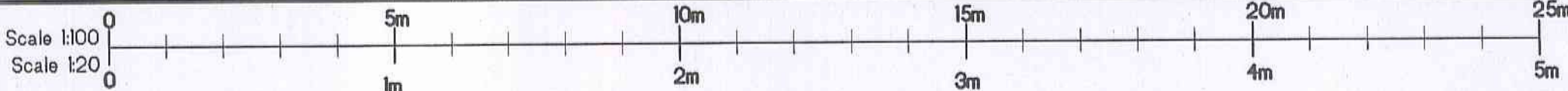
Number: CC 0369 11

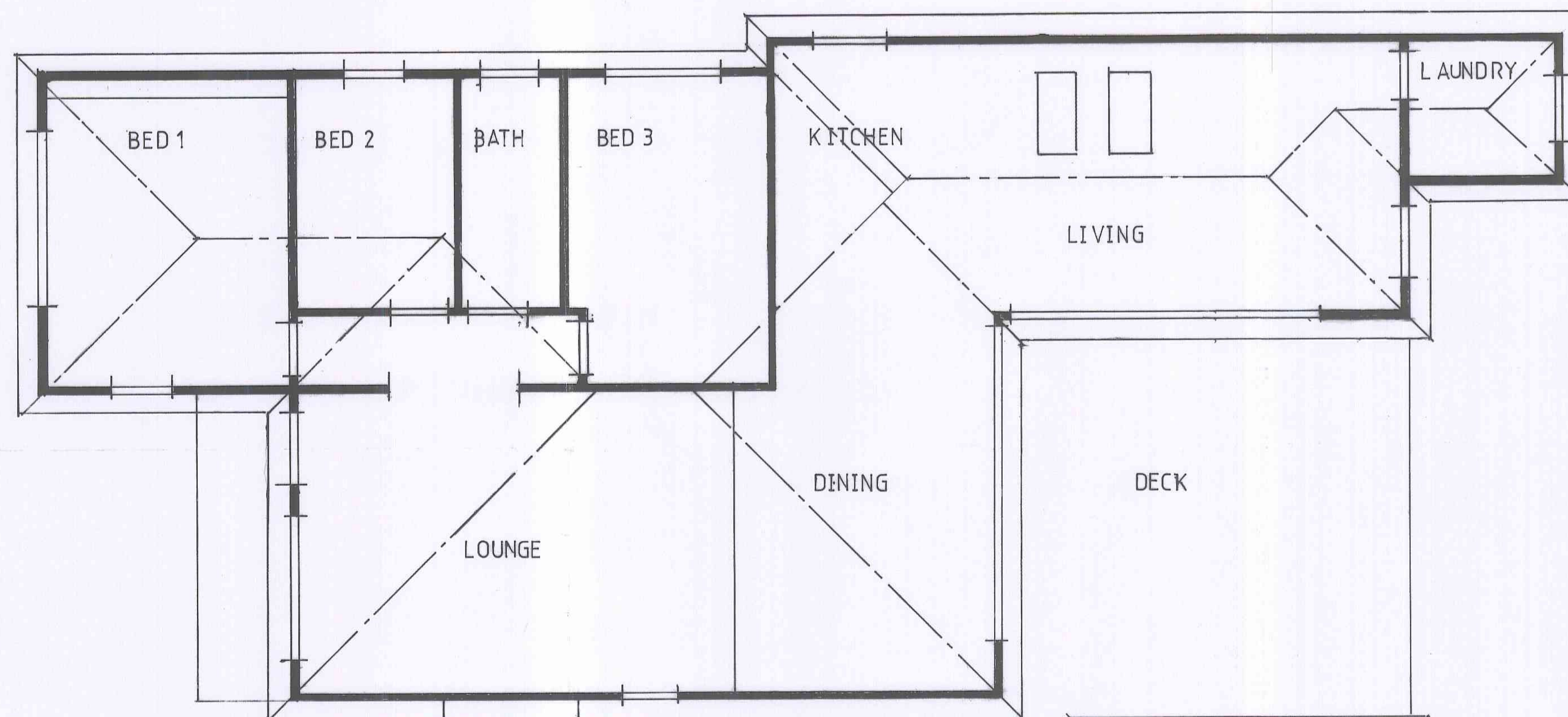
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Construction Certificate.

Endorsed by: *[Signature]*

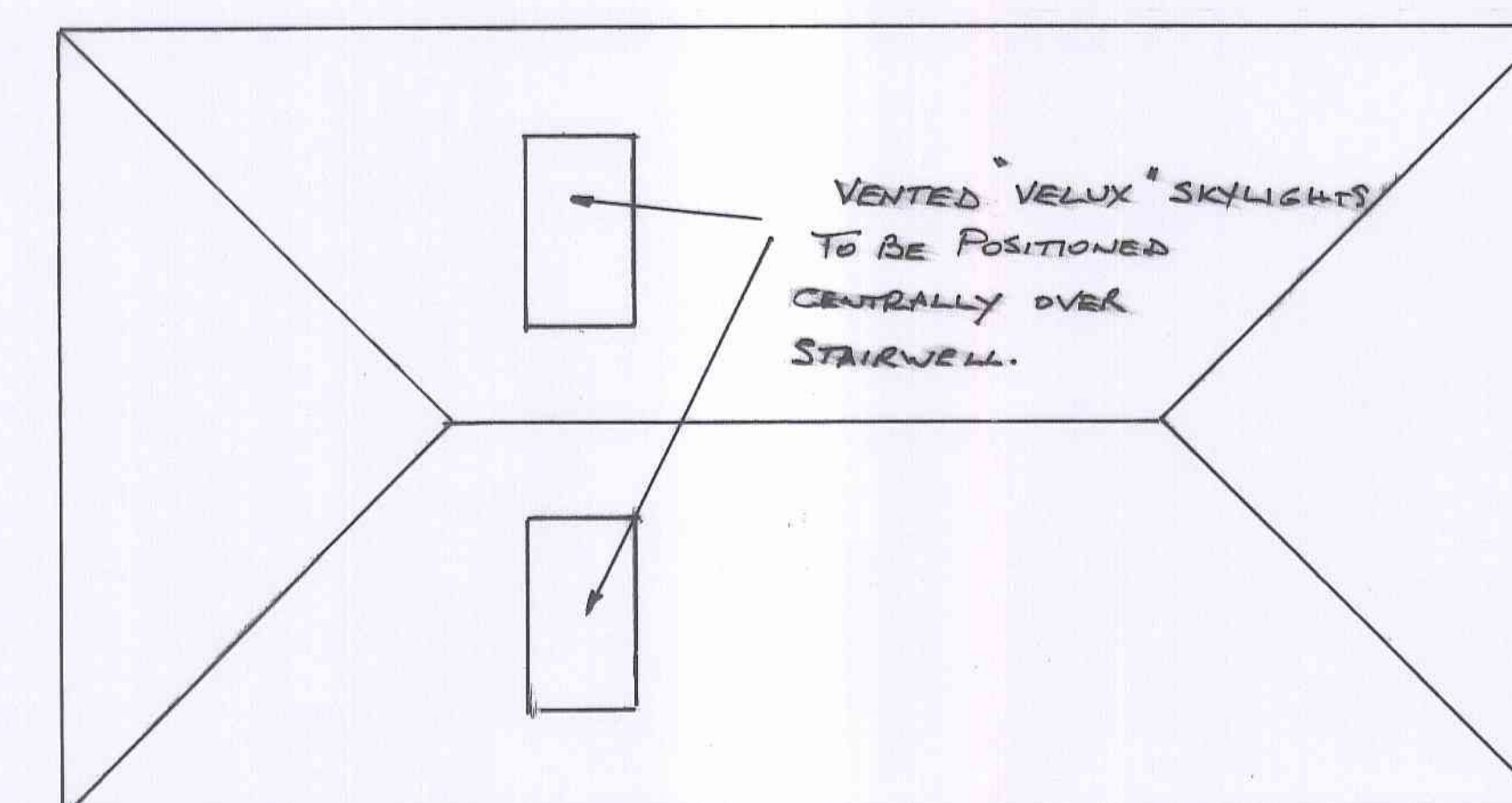
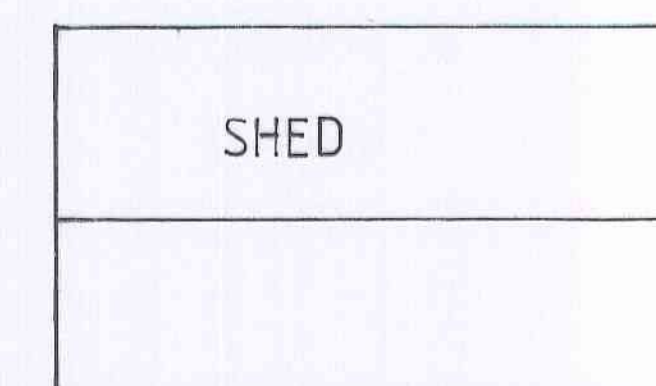
Date: 23 DEC 2011

No.	Amendment	Drawn	Date
PLAN OR DOCUMENT CERTIFICATION I am a qualified.....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER..... I hold the following qualifications or licence No.....M.Eng.Sc.....F.I.E.Aust.....Nper3.....StructCivilNo.149788..... Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3500, A.S.3600, A.S. 3700, A.S.4100 & A.S.1663 Jack D. Hodgson 25-11-11 <i>[Signature]</i> Name Date Signature			
FIRST FLOOR MARKING AND ROOF MARKING PLANS AND DETAILS PROPOSED ALTERATIONS AND ADDITIONS 18 WOLLSTONCRAFT AVENUE AVALON EDWARD BALL CONSTRUCTIONS Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder. SKETCHES RECEIVED 13/10/2011 Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations. The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with the Drawing			
JACK HODGSON CONSULTANTS PTY. LIMITED, Consulting Civil, Geotechnical, and Structural Engineers 67 Darley Street, MONA VALE 2103 P.O. Box 388 Post Code 1660. Telephone (02) 9979 6733 Facsimile (02) 9979 6926 Email info@jackhodgson.com.au web www.jackhodgson.com.au ACN 053 405 011			
Designed	LB	Drawn	LS
Design Check	JDH	Drawing Check	JDH
Date	25 OCTOBER 2011		
			27842-S1

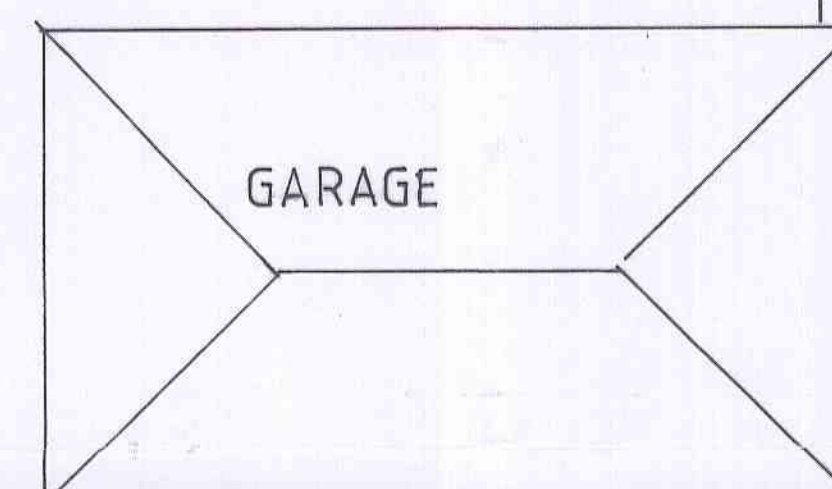




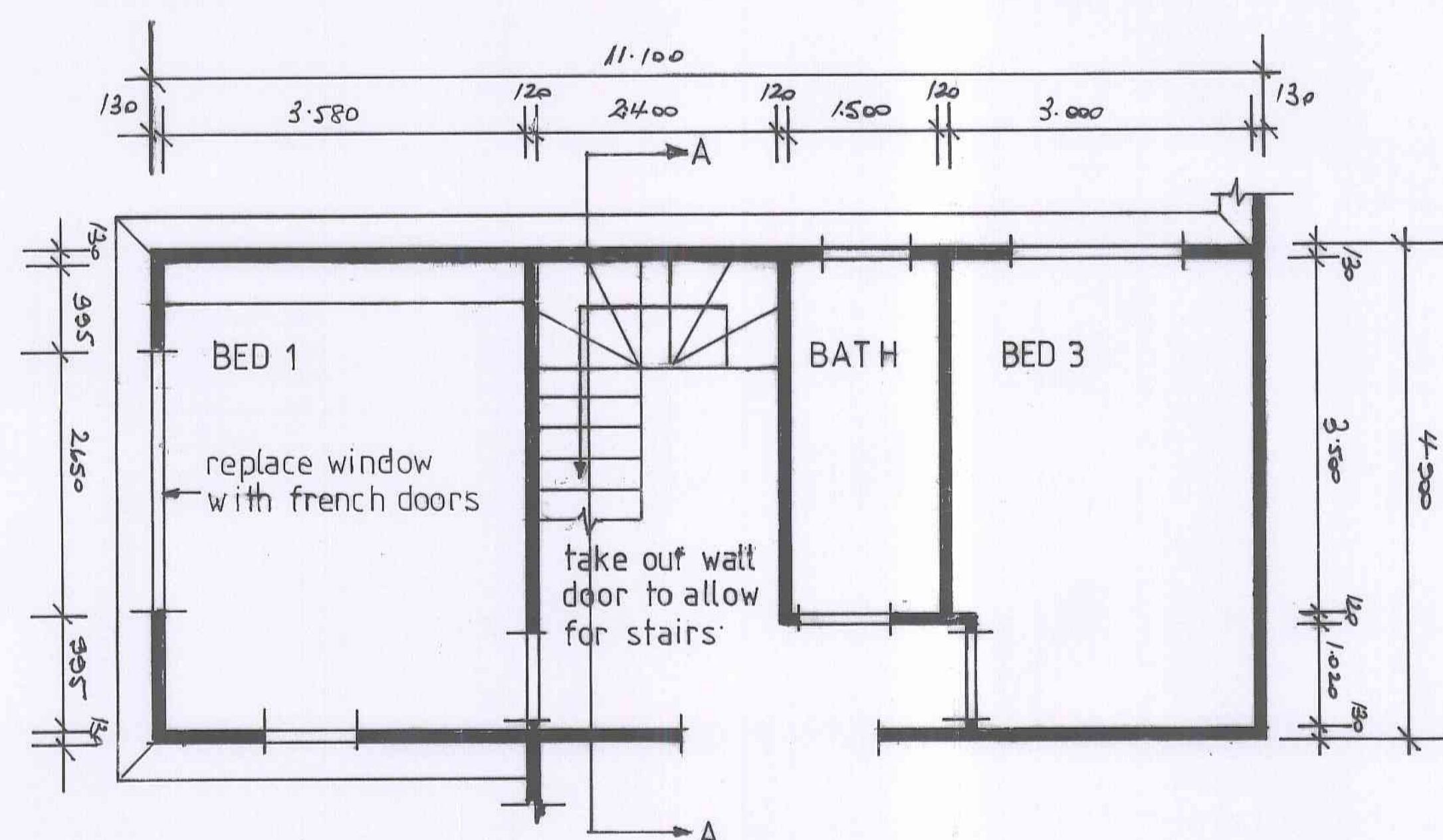
EXISTING GROUND FLOOR PLAN



PROPOSED FIRST FLOOR ROOF PLAN

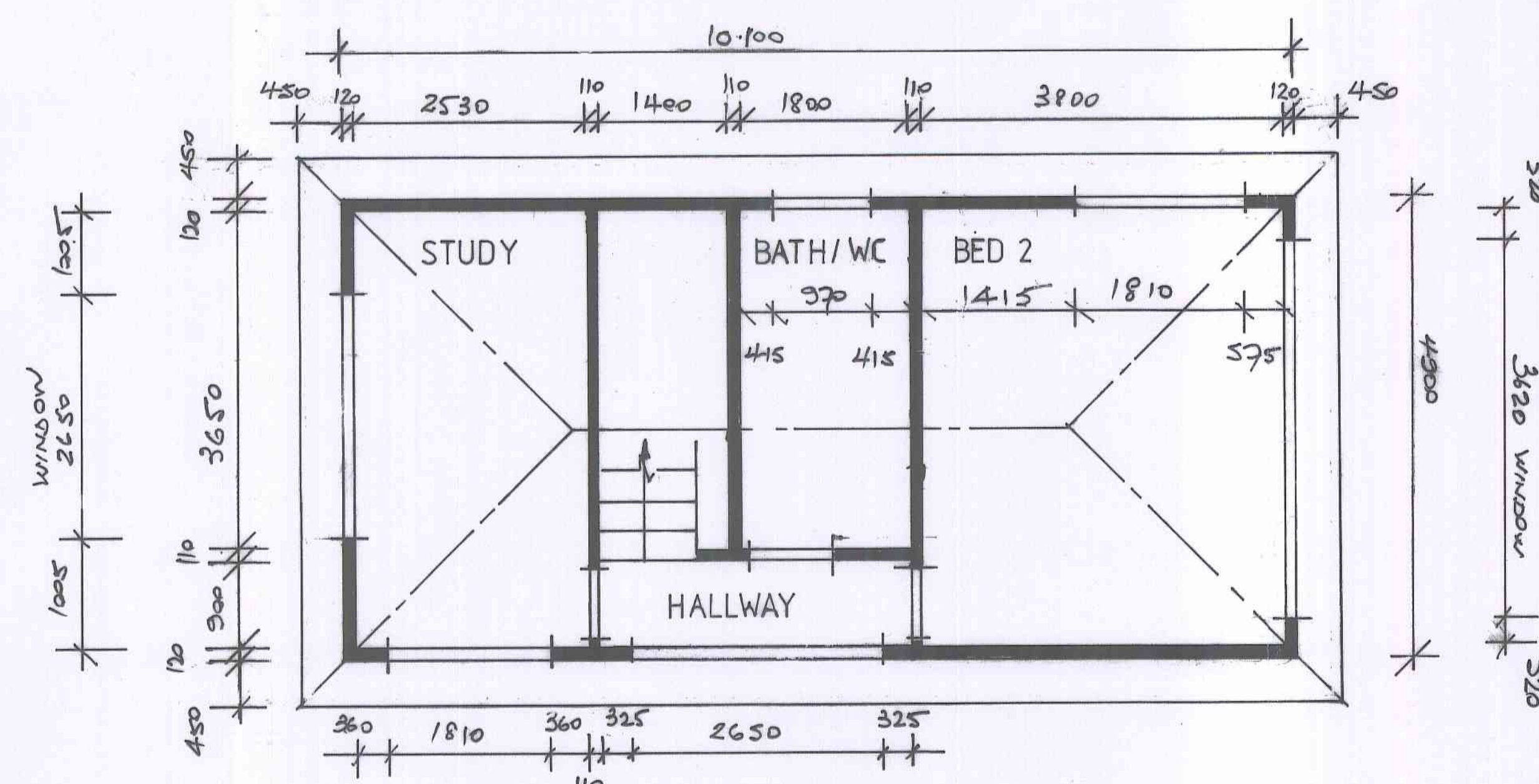


GARAGE



PLAN GROUND FLOOR ALTERATIONS

SCALE 1:50



PROPOSED FIRST FLOOR ADDITION

ADDITION / ALTERATIONS
18 WOLLSTONECRAFT AVE AVALON

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0369/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<i>FF</i>
Date:	23 DEC 2011



PITTWATER COUNCIL

Notification of Commencement & Principal Certifying Authority Service Agreement

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent
Note *The builder or other contractor cannot complete this form unless they are also the owner of the property*

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form), must be paid prior to release of the certificate to the applicant

Pittwater Council

Tel: (612) 9970 1111

Fax: (612) 9970 1200

Mona Vale Customer Service

Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service

59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address

PO Box 882
MONA VALE NSW 1660

COPY

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No N0283/11	Determination Date 7 September 2011
-------------------------------------	-------------------------------------

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No CC0369/11	Date of Issue 23 December 2011
---------------------------------------	--------------------------------

1c) DEVELOPMENT DETAILS

Type of Work ☐ New Building ☒ Additions / Alterations ☐ Subdivision	Brief description of development Alterations and Additions to the existing dwelling
--	--

1d) SITE DETAILS

Unit/Suite	Street No 18	Street Wollstonecraft Avenue
Suburb AVALON	Lot No 83	Deposit /Strata Plan 12074

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works
Date of commencement

2. APPLICANT DETAILS

Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Name (owner)	
Postal Address	Phone (H/B) Mobile Email Fax

3. PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL	
PO Box 882 Mona Vale NSW 1660	Ph 9970 1111 Fax 9970 1200

4. COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?	
☐ YES	☐ NO (see Note below)
Note: If NO work must not commence. Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended) Penalties may include an on-the-spot fine and/or legal action If you are uncertain as to these requirements please contact Council's Development Compliance Group	

5. WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder Owner Builders Permit No	
Copy of Owner Builders permit attached	☐ YES
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>	

OR

☐ Licensed Builder Builder's License Number	
Name of Builder	Phone
Contact person	Mobile
Address	Fax
Insurance Company	Insurance Certificate attached ☐ Yes ☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.</i>	

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct

6b) Site Signage

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA

6c) Inspections

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections

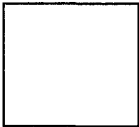
6d) Critical Stage and other inspections

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box)

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☐ Footing Inspection (prior to placement of concrete)
- ☐ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☒ Wet Area Waterproofing Inspection (prior to covering)
- ☒ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Office Use Only

Note Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable

Eg If two slabs are prepared at separate times, two separate inspection bookings and fees are required

6e) Critical Stage and other inspection fees

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required

Each inspection fee must be paid at the time of requesting the inspection

Fee Scale current to 30 June 2011

Critical Stage or other Inspection and re-inspections, including Final	\$265	(Code HINR)
Issue of Interim Occupation Certificate	\$365	(Code FOCC)
Issue of Final Occupation Certificate	\$365	(Code FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate

6f) Inspection Results

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement

7b) Booking of Inspections

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement

7c) Site Signage

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display (a) the name, address and telephone number of the person, (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited"

7d) Compliance with the Development Consent and Construction Certificate

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation

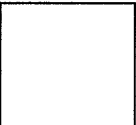
Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings

7e) Structural Engineering and Other Specialist Details

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions



Office Use Only

Office Use Only

7f) Certification of Works

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out

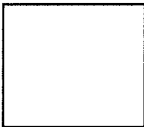
Each certification must

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer
- ☐ Underpinning works by a structural engineer
- ☒ Structural engineering works by a structural engineer
- ☐ Retaining walls by a structural engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☐ Mechanical ventilation by a mechanical engineer
- ☐ Termite control and protection by a licensed pest controller
- ☒ Waterproofing of wet areas by a licensed waterproofer or licensed builder
- ☒ Installation of glazing by a licensed builder
- ☒ Installation of smoke alarm systems by a licensed electrician
- ☐ Completion of construction requirements in a bush fire prone area by a competent person
- ☒ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer



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7g) Occupation Certificate

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature

Date

9. **COUNCIL’S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed, Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer’s name

on behalf of Pittwater Council

Officer’s signature

Date

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to act as the Principal Certifying Authority for the development
Intended recipients	Pittwater Council staff
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	Pittwater Council will store details of this form in a register that can be viewed by the public
Retention period	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	