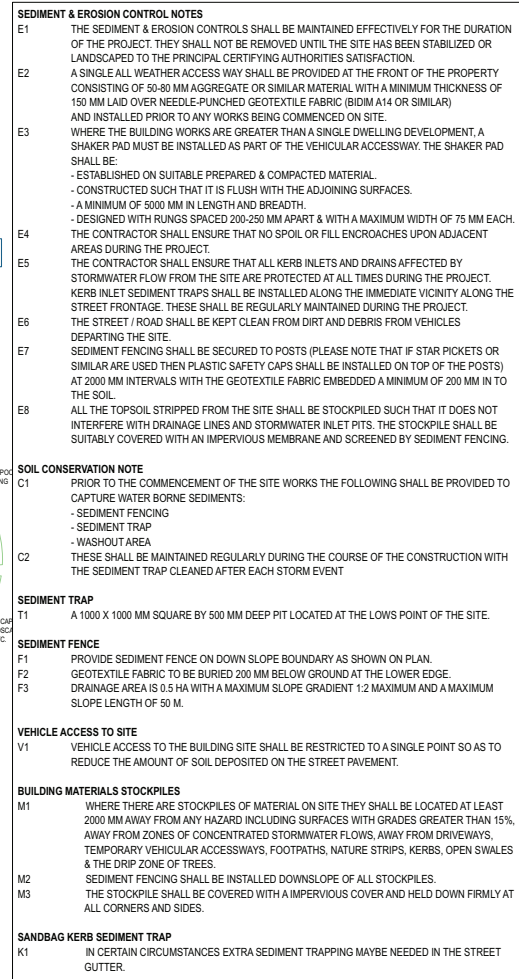
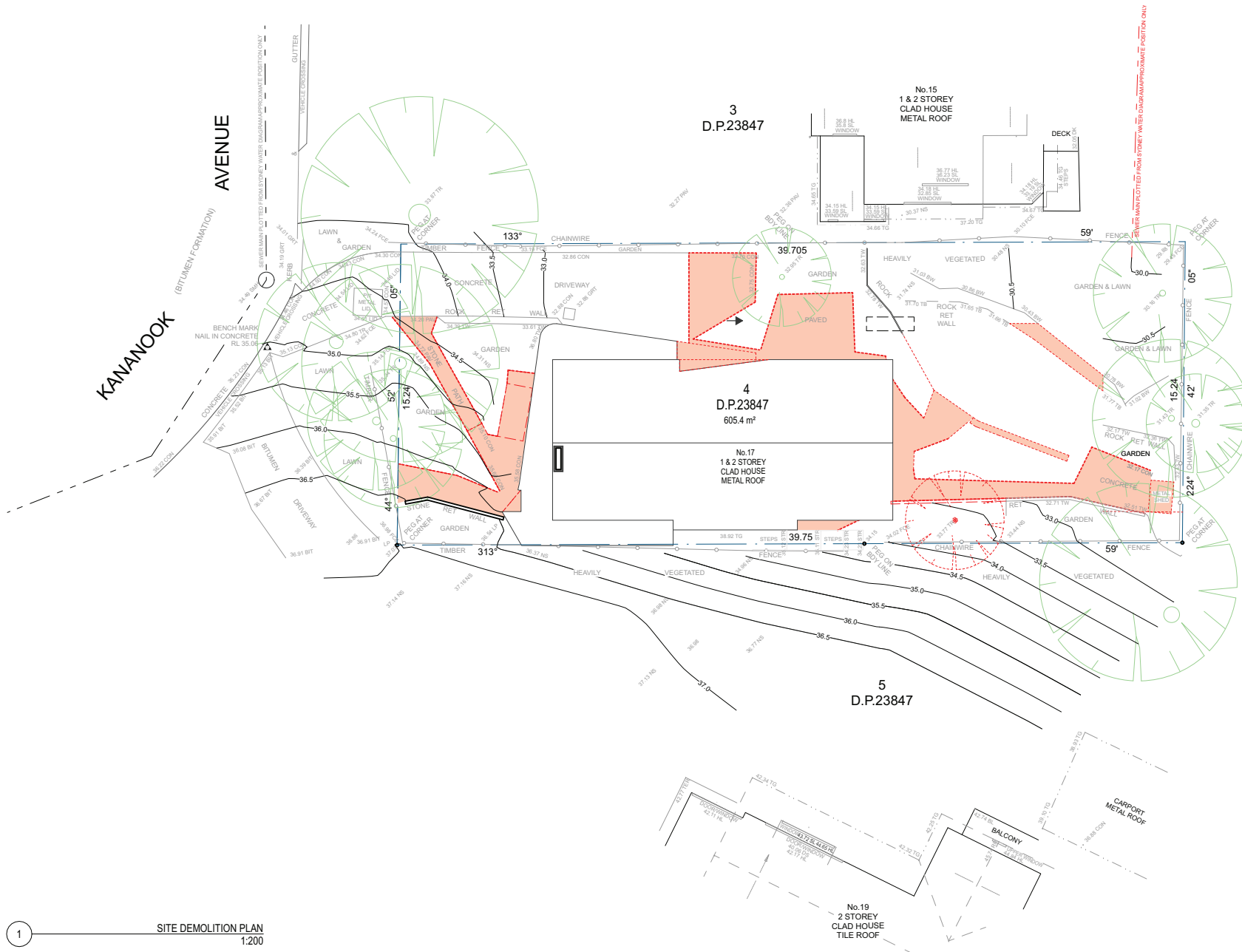
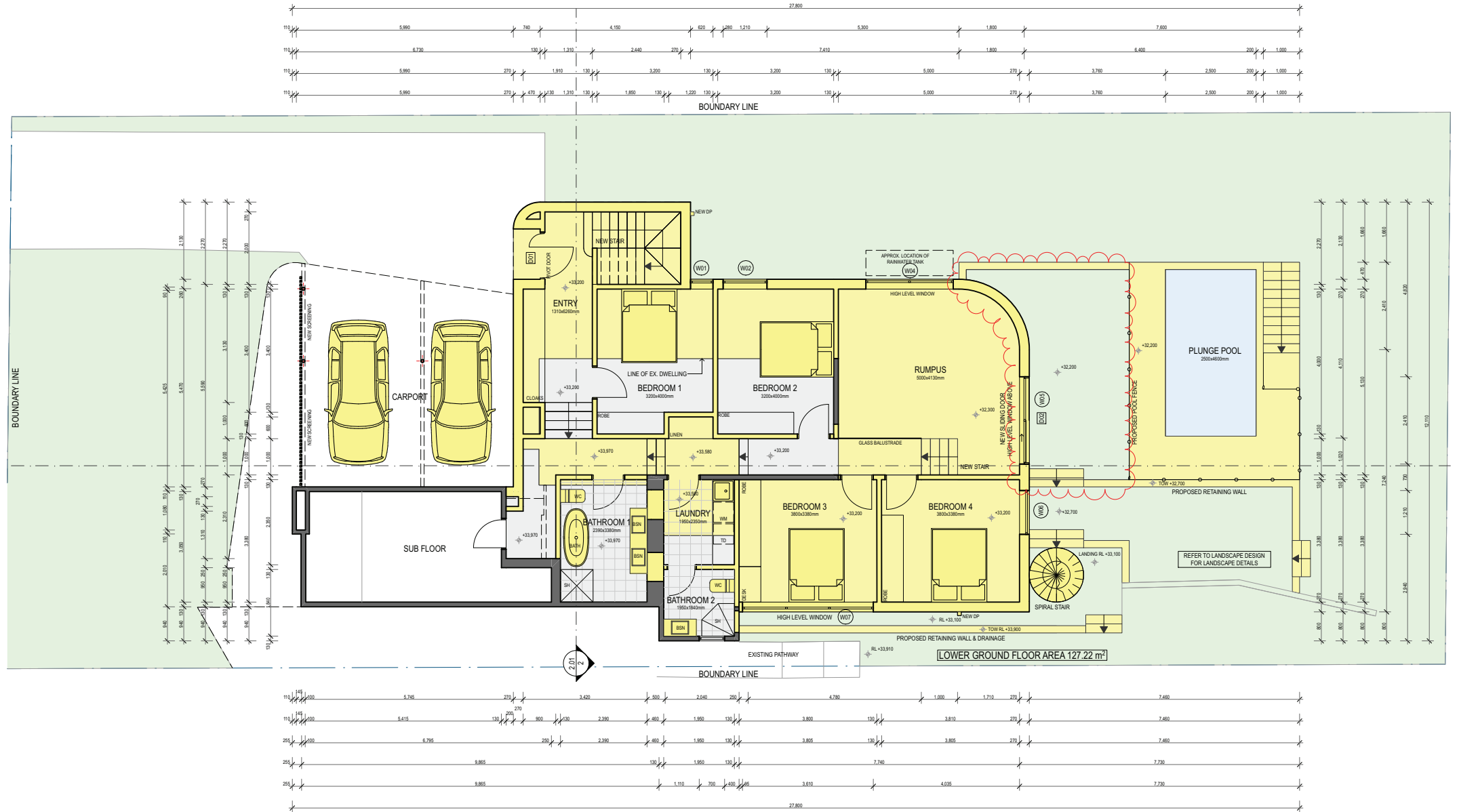


 Unit 9, 2/6 Campbell Street, Adamton, NSW, 2064 P (02) 9437 0085 info@designbuildps.com www.designbuildps.com ABN 72 615 066 736 Nominated Architect: Eliza Patterson NS300ARB 111016	DATE	REV	COMMENTS	DRAW	REVISION STATUS <table><tr><td>NO.</td><td>PEN</td><td>STATUS</td></tr><tr><td>1</td><td>EXISTING</td><td></td></tr><tr><td>2</td><td>NEW</td><td></td></tr><tr><td>3</td><td>TO BE DEMOLISHED</td><td></td></tr><tr><td>4</td><td>LANDSCAPE</td><td></td></tr><tr><td>5</td><td>SETBACKS</td><td></td></tr></table> [1:200] @ A3 0 2 4 6 8 10metres [1:100] @ A3 0 1 2 3 4 5metres	NO.	PEN	STATUS	1	EXISTING		2	NEW		3	TO BE DEMOLISHED		4	LANDSCAPE		5	SETBACKS		Client	Project Name	Drawing Title:	
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	2	NEW																									
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					LOT 4 DP23847		JOB NUMBER	DRAWING NUMBER & REVISION																			
							632	DA 0.02 (A)																			

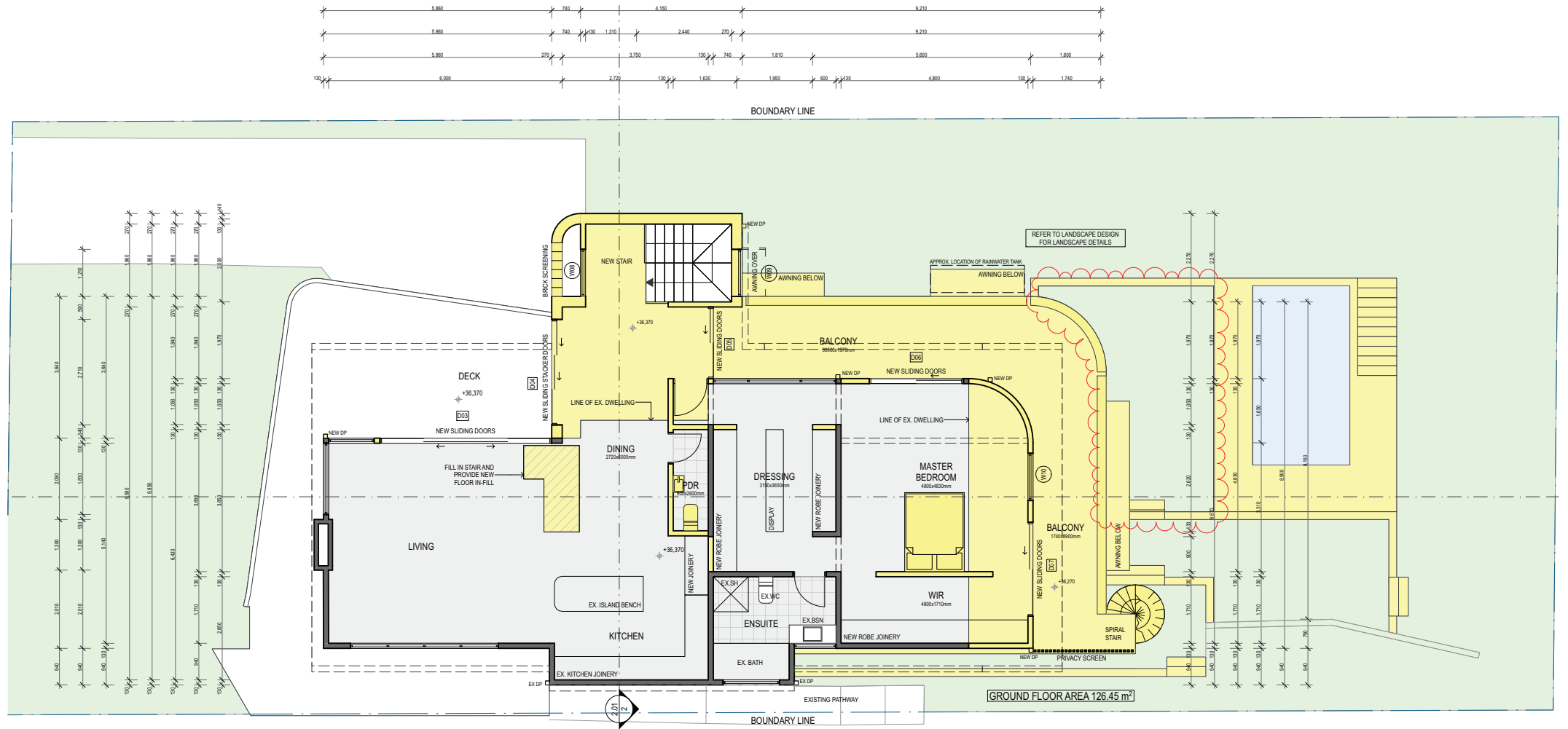


1 SITE DEMOLITION PLAN
1:200



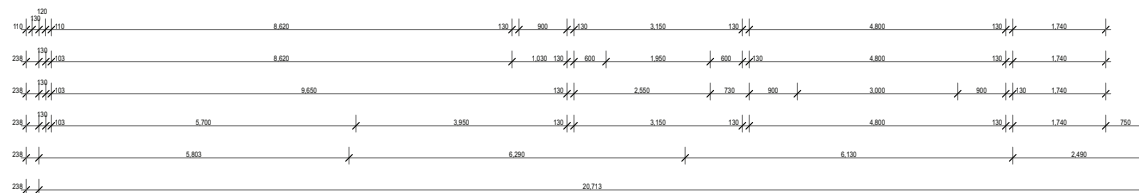
PROPOSED LOWER GROUND FLOOR PLAN
1:100

 Unit 5, 2-6 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 756 Nominated Architect: Eliza Patterson NSNARB #11016	<table><tr><th>DATE</th><th>REV</th><th>COMMENTS</th><th>DRAWN</th></tr><tr><td>02/08/2023</td><td>A</td><td>ISSUED FOR DEVELOPMENT APPLICATION</td><td>EP</td></tr><tr><td>21/08/2023</td><td>B</td><td>RE-ISSUED FOR DEVELOPMENT APPLICATION</td><td>EP</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>				DATE	REV	COMMENTS	DRAWN	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP	21/08/2023	B	RE-ISSUED FOR DEVELOPMENT APPLICATION	EP													NO. 1 2 3 4 5 PEN EXISTING NEW TO BE DEMOLISHED LANDSCAPE SETBACKS STATUS [1:200] @ A3 [1:100] @ A3 0 2 4 6 8 10metres 0 1 2 3 4 5metres 		<table><tr><td colspan="2">Client</td></tr><tr><td colspan="2">LUKE GOODWIN & KARA GARRETT</td></tr><tr><td colspan="2">Site Description</td></tr><tr><td colspan="2">LOT 4 DP23847</td></tr></table>	Client		LUKE GOODWIN & KARA GARRETT		Site Description		LOT 4 DP23847		<table><tr><td colspan="2">Project Name</td></tr><tr><td colspan="2">PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104</td></tr></table>	Project Name		PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104		<table><tr><td colspan="3">Drawing Title:</td></tr><tr><td colspan="3">PROPOSED LOWER GROUND FLOOR PLAN</td></tr><tr><td>SCALE: AS SHOWN</td><td>STAGE: DA</td><td>DATE: 21/9/2023</td></tr><tr><td>JOB NUMBER</td><td colspan="2">DRAWING NUMBER & REVISION</td></tr><tr><td>632</td><td colspan="2">DA 1.01 (B)</td></tr></table>	Drawing Title:			PROPOSED LOWER GROUND FLOOR PLAN			SCALE: AS SHOWN	STAGE: DA	DATE: 21/9/2023	JOB NUMBER	DRAWING NUMBER & REVISION		632	DA 1.01 (B)	
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632	DA 1.01 (B)																																																											



1

PROPOSED GROUND FLOOR PLAN
1:100



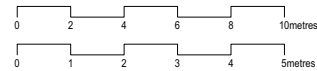
Unit 9, 2-6 Campbell Street, Artarmon, NSW, 2064
P (02) 9437 0055 • info@designbuildps.com
www.designbuildps.com
ABN 72 615 066 756
Nominated Architect: Eliza Patterson NSNAR# 110116

DATE	REV	COMMENTS	DRAWN
02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP
21/08/2023	B	RE-ISSUED FOR DEVELOPMENT APPLICATION	EP

REVOLUTION STATUS		
NO.	PEN	STATUS
1		EXISTING
2		NEW
3		TO BE DEMOLISHED
4		LANDSCAPE
5		SETBACKS

[1:200]
@ A3

[1:100]
@ A3

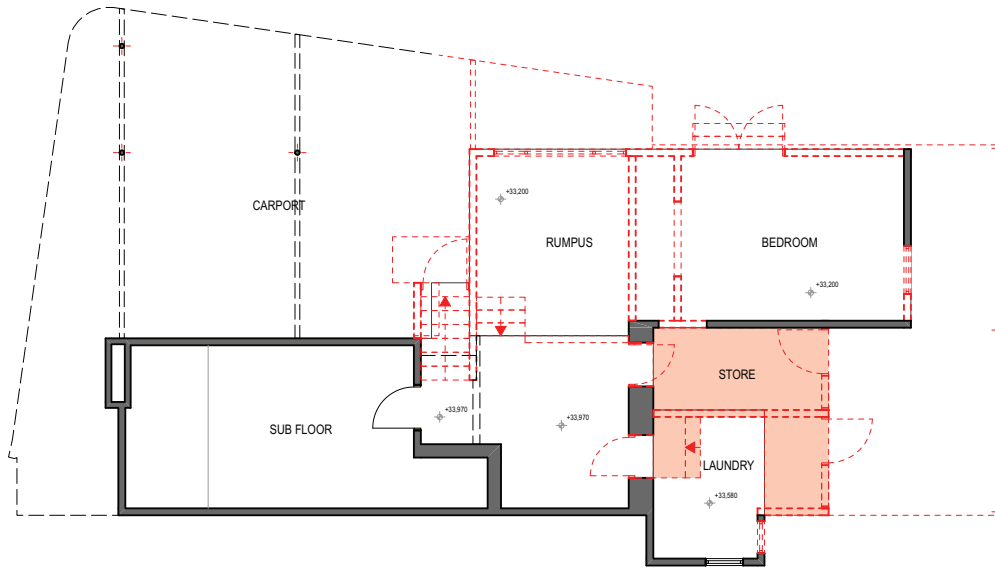


Client
LUKE GOODWIN & KARA GARRETT

Site Description
LOT 4
DP23847

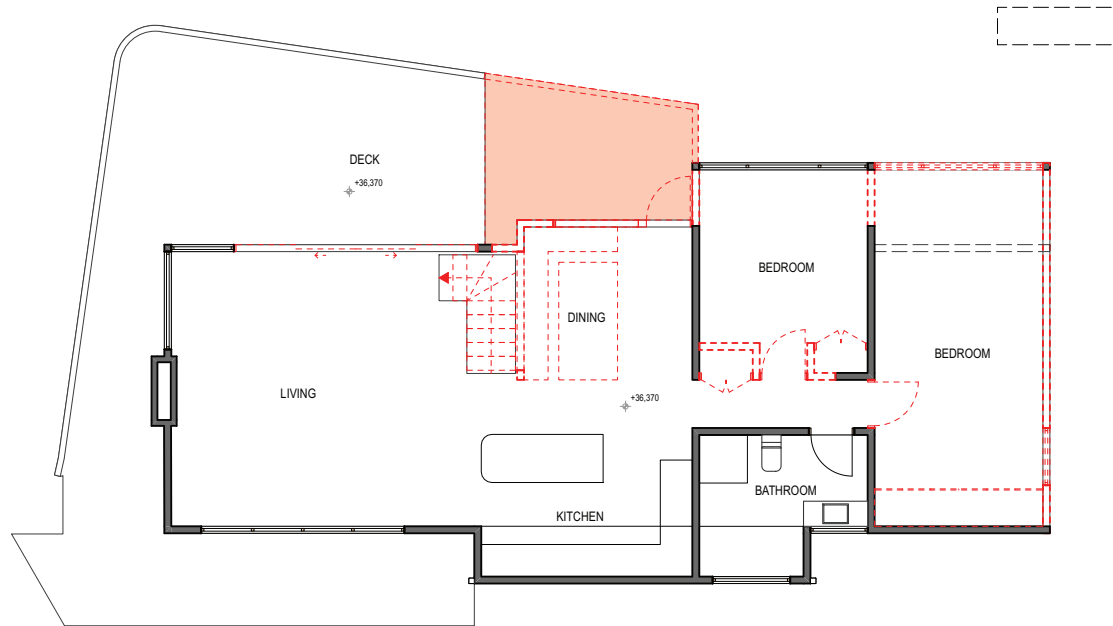
Project Name
PROPOSED ALTERATIONS AND
ADDITIONS TO
17 KANANOOK AVENUE
BAYVIEW
NSW 2104

Drawing Title:		
PROPOSED GROUND FLOOR PLAN		
SCALE: AS SHOWN	STAGE: DA	DATE: 21/08/2023
JOB NUMBER	DRAWING NUMBER & REVISION	
632	DA 1.02 (B)	



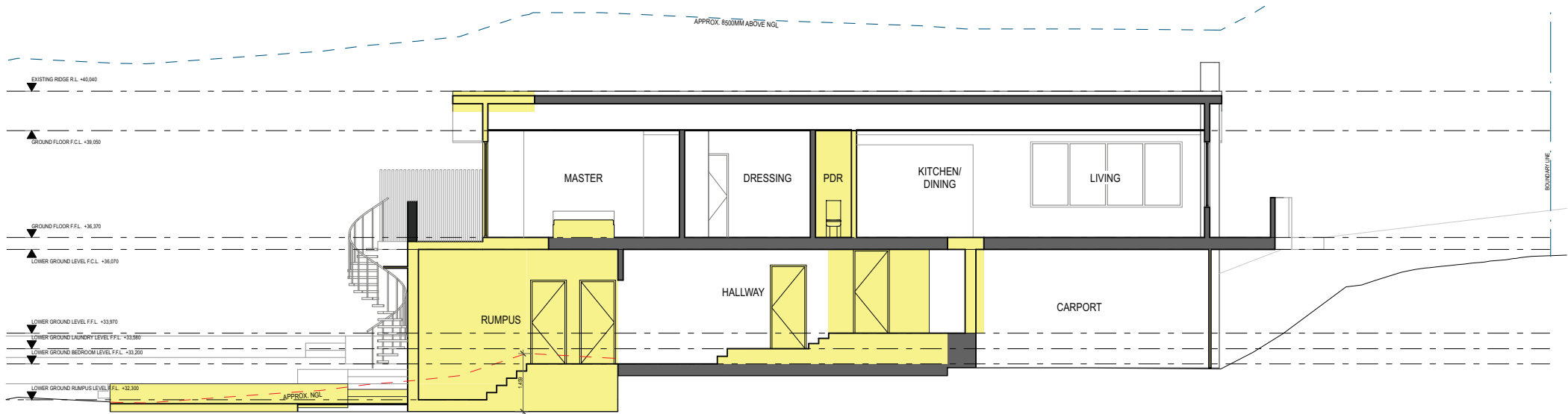
1 LOWER GROUND FLOOR DEMOLITION PLAN
1:100

 Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 736 Nominated Architect: Eliza Patterson NSNARB #110116	<table><tr><th>DATE</th><th>REV</th><th>COMMENTS</th><th>DRAWN</th></tr><tr><td>02/08/2023</td><td>A</td><td>ISSUED FOR DEVELOPMENT APPLICATION</td><td>EP</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>				DATE	REV	COMMENTS	DRAWN	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP																					NO. PEN STATUS 1  EXISTING 2  NEW 3  TO BE DEMOLISHED 4  LANDSCAPE 5  SETBACKS		[1:200] @ A3	0 2 4 6 8 10metres		Client LUKE GOODWIN & KARA GARRETT Site Description LOT 4 DP23847	Project Name PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104	Drawing Title: LOWER GROUND FLOOR DEMOLITION PLAN SCALE: AS SHOWN STAGE: DA DATE: 2/8/2023 JOB NUMBER DRAWING NUMBER & REVISION 632 DA 1.03 (A)
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	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP																																				

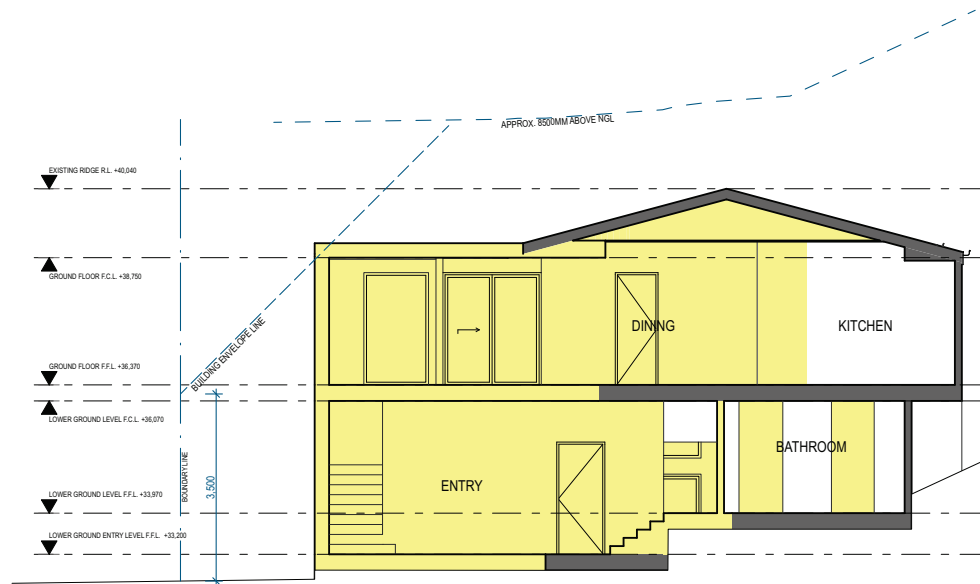


1 GROUND FLOOR DEMOLITION PLAN
1:100

 Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 756 Nominated Architect: Eliza Patterson NSNARB #110116	DATE	REV	COMMENTS	DRAWN	NO. PEN STATUS 1 EXISTING 2 NEW 3 TO BE DEMOLISHED 4 LANDSCAPE 5 SETBACKS [1:200] @ A3 0246810metres [1:100] @ A3 012345metres 	Client	Project Name	Drawing Title:	
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	Site Description								
	LOT 4 DP23847								
		SCALE: AS SHOWN	STAGE: DA	DATE: 2/8/2023					
		JOB NUMBER	DRAWING NUMBER & REVISION						
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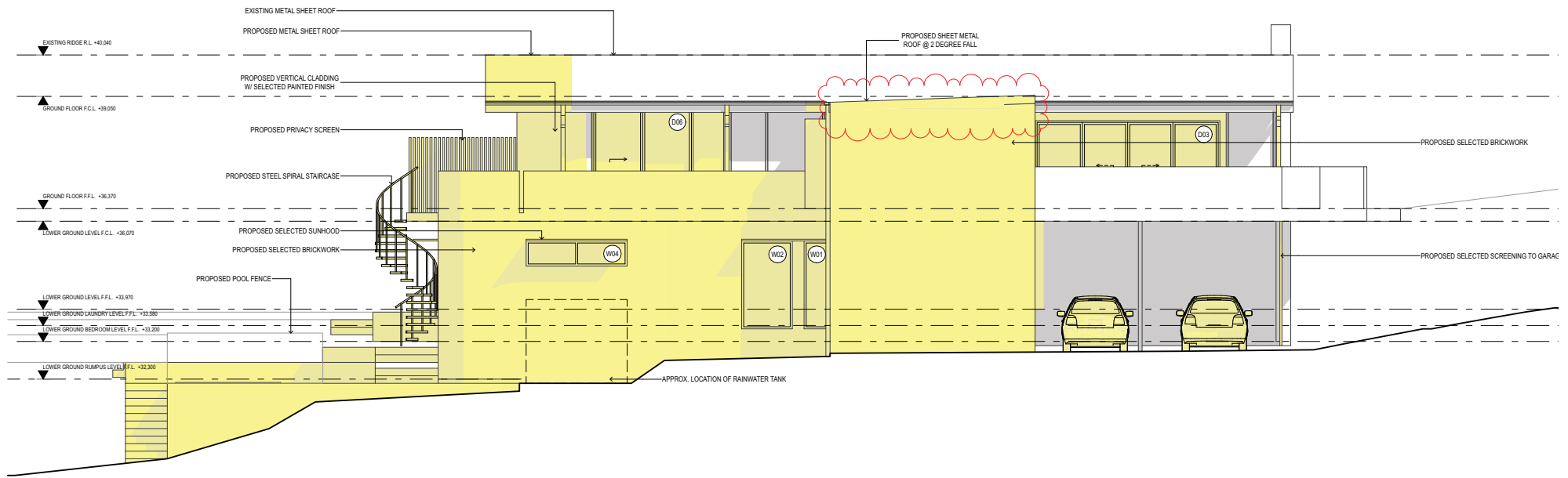


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PROPOSED SECTION 1
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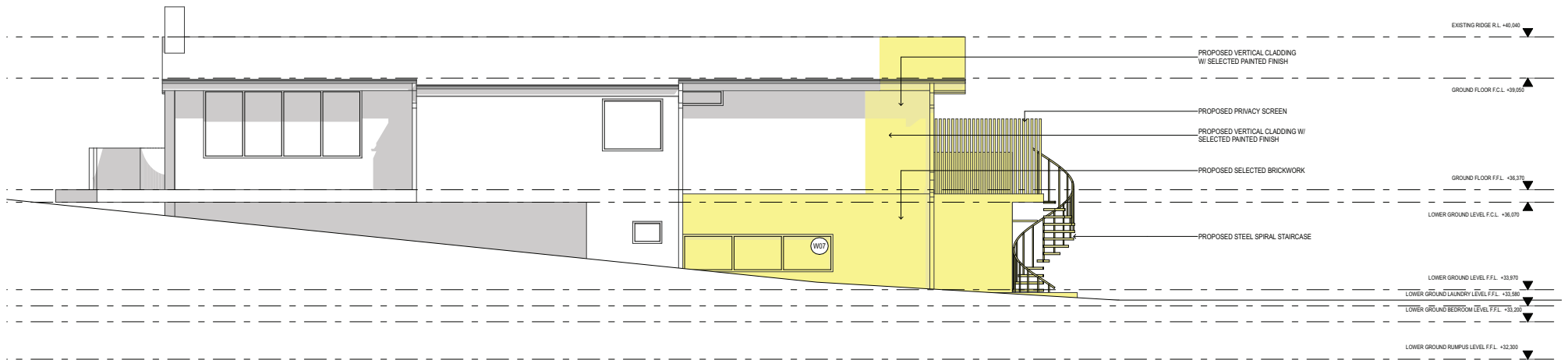


2
PROPOSED SECTION 2
1:100

designbuild PROJECT SERVICES Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 706 Nominated Architect: Eliza Patterson NSNARB #11016	DATE	REV	COMMENTS	DRAWN	REVOLUTION STATUS <table><thead><tr><th>NO.</th><th>OPEN</th><th>STATUS</th></tr></thead><tbody><tr><td>1</td><td></td><td>EXISTING</td></tr><tr><td>2</td><td></td><td>NEW</td></tr><tr><td>3</td><td></td><td>TO BE DEMOLISHED</td></tr><tr><td>4</td><td></td><td>LANDSCAPE</td></tr><tr><td>5</td><td></td><td>SETBACKS</td></tr></tbody></table> [1:200] @ A3 02metres [1:100] @ A3 03metres	NO.	OPEN	STATUS	1		EXISTING	2		NEW	3		TO BE DEMOLISHED	4		LANDSCAPE	5		SETBACKS	Client	Project Name	Drawing Title:	
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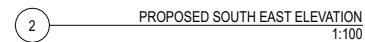


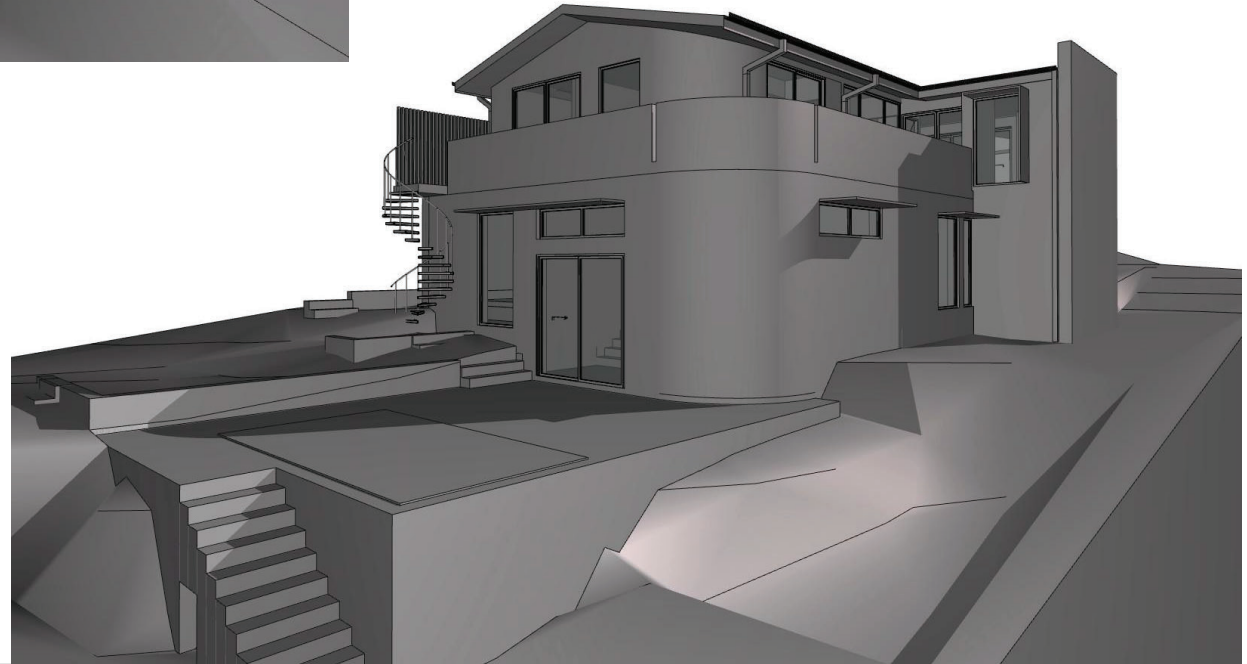
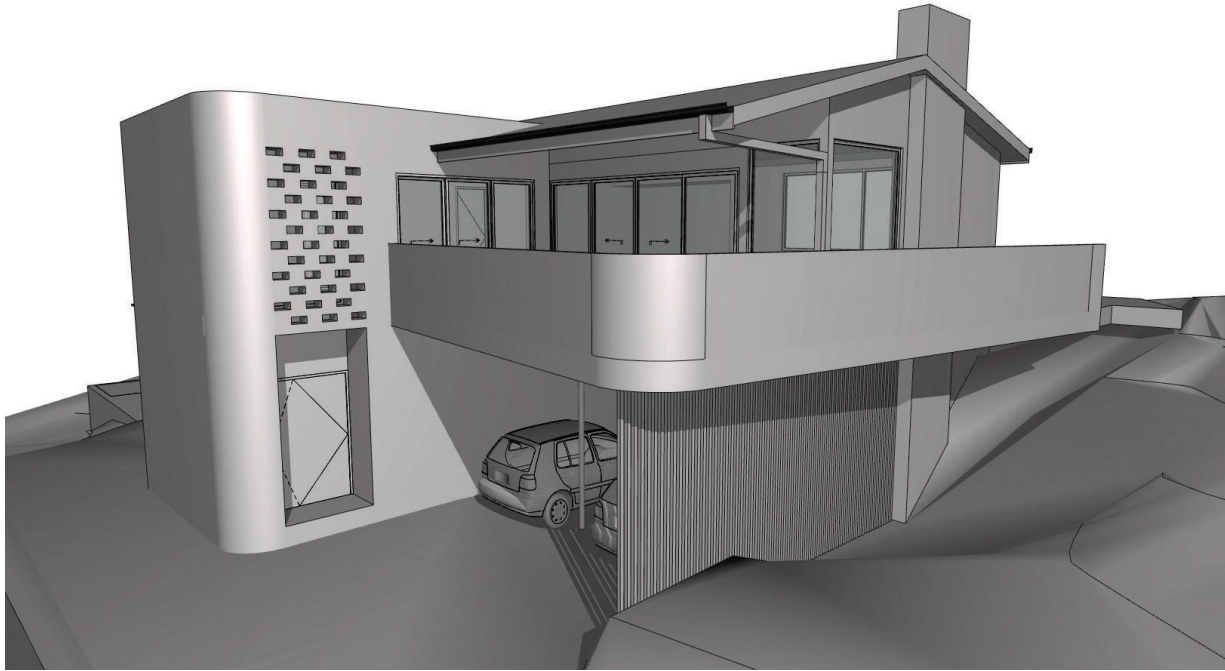
1 PROPOSED NORTH EAST ELEVATION
1:100



2 PROPOSED SOUTH WEST ELEVATION
1:100

designbuild PROJECT SERVICES Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 756 Nominated Architect: Eliza Patterson NSWARB #11016	DATE	REV	COMMENTS	DRAWN	REVOLUTION STATUS <table><tr><td>NO.</td><td>PEN</td><td>STATUS</td></tr><tr><td>1</td><td></td><td>EXISTING</td></tr><tr><td>2</td><td></td><td>NEW</td></tr><tr><td>3</td><td></td><td>TO BE DEMOLISHED</td></tr><tr><td>4</td><td></td><td>LANDSCAPE</td></tr><tr><td>5</td><td></td><td>SETBACKS</td></tr></table> [1:200] @ A3 0246810metres [1:100] @ A3 012345metres	NO.	PEN	STATUS	1		EXISTING	2		NEW	3		TO BE DEMOLISHED	4		LANDSCAPE	5		SETBACKS	Client	Project Name	Drawing Title:	
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				DP23847		632	DA 3.01 (B)																				

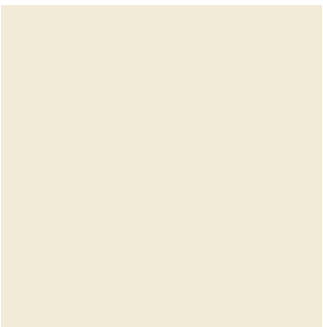
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 Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 756 Nominated Architect: Eliza Patterson NSWRAB #11016	DATE	REV	COMMENTS	DRAWN	NO. PEN STATUS 1 EXISTING 2 NEW 3 TO BE DEMOLISHED 4 LANDSCAPE 5 SETBACKS [1:200] @ A3 0 2 4 6 8 10metres [1:100] @ A3 0 1 2 3 4 5metres	Client		Project Name	Drawing Title:	
	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP		LUKE GOODWIN & KARA GARRETT		PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104	3D PERSPECTIVES	
						Site Description			SCALE: AS SHOWN	STAGE: DA
						LOT 4 DP23847			JOB NUMBER	DRAWING NUMBER & REVISION
									632	DA 10.01 (A)



DARK EXTERNAL DOORS & WINDOW FRAMES



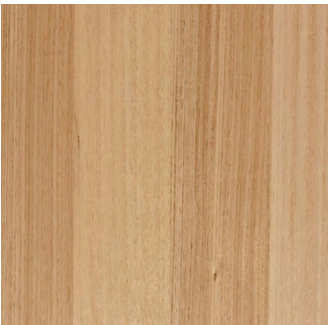
SOFT WHITE LIGHTWEIGHT CLADDING & ROOF



SOFT WHITE BRICKS



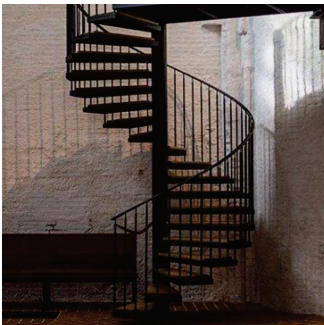
CURVED BRICKWORK WALLS



TIMBER EAVE LININGS



NATURAL LOOK CLADDING



EXTERNAL SPIRAL STAIR

 Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 p (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 736 Nominated Architect: Eliza Patterson NSWRAB #11016	<table><tr><th>DATE</th><th>REV</th><th>COMMENTS</th><th>DRAWN</th></tr><tr><td>02/08/2023</td><td>A</td><td>ISSUED FOR DEVELOPMENT APPLICATION</td><td>EP</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>			DATE	REV	COMMENTS	DRAWN	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP													<table><tr><th colspan="3">RENOVATION STATUS</th></tr><tr><th>NO.</th><th>FIN</th><th>STATUS</th></tr><tr><td>1</td><td></td><td>EXISTING</td></tr><tr><td>2</td><td></td><td>NEW</td></tr><tr><td>3</td><td></td><td>TO BE DEMOLISHED</td></tr><tr><td>4</td><td></td><td>LANDSCAPE</td></tr><tr><td>5</td><td></td><td>SETBACKS</td></tr></table>			RENOVATION STATUS			NO.	FIN	STATUS	1		EXISTING	2		NEW	3		TO BE DEMOLISHED	4		LANDSCAPE	5		SETBACKS	[1:200] @ A3 0246810metres [1:100] @ A3 012345metres			<table><tr><th>Client</th><th>Project Name</th><th>Drawing Title:</th></tr><tr><td rowspan="2">LUKE GOODWIN & KARA GARRETT</td><td rowspan="2">PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104</td><td>PROPOSED MATERIALS BOARD</td></tr><tr><td></td></tr><tr><td>Site Description</td><td></td><td></td></tr><tr><td>LOT 4 DP23847</td><td></td><td></td></tr></table>			Client	Project Name	Drawing Title:	LUKE GOODWIN & KARA GARRETT	PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104	PROPOSED MATERIALS BOARD		Site Description			LOT 4 DP23847			<table><tr><td>SCALE: AS SHOWN</td><td>STAGE: DA</td><td>DATE: 2/8/2023</td></tr><tr><td>JOB NUMBER</td><td colspan="2">DRAWING NUMBER & REVISION</td></tr><tr><td>632</td><td colspan="2">DA 10.01 (A)</td></tr></table>			SCALE: AS SHOWN	STAGE: DA	DATE: 2/8/2023	JOB NUMBER	DRAWING NUMBER & REVISION		632	DA 10.01 (A)	
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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A497684

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 02, August 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	632 - Bayview, 17 Kananook Avenue
Street address	17 Kananook Avenue Bayview 2104
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP23847
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by	please complete before submitting to Council or PCA
Name / Company Name:	DesignBuild Project Services
ABN (if applicable):	72615066736

page 1 / 7 BASIX Certificate number: A497684

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 844 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 20.7 kilolitres.		✓	
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).		✓	✓

page 2 / 7 BASIX Certificate number: A497684

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2006 (No. 2)).	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

page 3 / 7

BASIX Certificate number: A497684

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																								
Insulation requirements																											
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.																											
	✓	✓	✓																								
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>concrete slab on ground floor.</td><td>nil</td><td></td></tr><tr><td>suspended floor with enclosed subfloor: framed (R0.7).</td><td>R0.90 (down) (or R1.30 including construction)</td><td></td></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td></td></tr><tr><td>external wall: brick veneer</td><td>R1.16 (or R1.70 including construction)</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, pitched roof</td><td>ceiling: R2.25 (up), roof: foil/sarking</td><td>light (solar absorbance < 0.475)</td></tr><tr><td>flat ceiling, flat roof: framed</td><td>ceiling: R2.32 (up), roof: foil/sarking</td><td>light (solar absorbance < 0.475)</td></tr></table>	Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil		suspended floor with enclosed subfloor: framed (R0.7).	R0.90 (down) (or R1.30 including construction)		floor above existing dwelling or building.	nil		external wall: brick veneer	R1.16 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R2.25 (up), roof: foil/sarking	light (solar absorbance < 0.475)	flat ceiling, flat roof: framed	ceiling: R2.32 (up), roof: foil/sarking	light (solar absorbance < 0.475)			
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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.		✓	✓			
External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	1.302	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	NE	2.541	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	NE	1.446	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.76)
W5	SE	1.446	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.76)
W6	SE	2.904	0	0	projection/height above sill ratio	standard aluminium, single clear, (or

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshading Height (m)	Distance (m)	Shading device	Frame and glass type		
W7	SW	3.249	0	0	>=0.29 none	U-value: 7.63, SHGC: 0.75) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	NW	2.541	0	0	external louver/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W9	SE	2.541	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W10	SE	2.904	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D02	SE	5.784	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D03	NE	9.24	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D04	NW	5.691	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D05	SE	3.864	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D06	NE	5.784	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
D07	SE	5.784	0	0	projection/height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

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 Unit 5, 2-8 Campbell Street, Artarmon, NSW, 2064 p (02) 9437 0055 e info@designbuildps.com www.designbuildps.com ABN 72 615 066 736 Nominated Architect: Eliza Patterson NSNARB #11016	<table><tr><th>DATE</th><th>REV</th><th>COMMENTS</th><th>DRAWN</th></tr><tr><td>02/08/2023</td><td>A</td><td>ISSUED FOR DEVELOPMENT APPLICATION</td><td>EP</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	DATE	REV	COMMENTS	DRAWN	02/08/2023	A	ISSUED FOR DEVELOPMENT APPLICATION	EP													<table><tr><th>NO.</th><th>PEN</th><th>STATUS</th></tr><tr><td>1</td><td></td><td>EXISTING</td></tr><tr><td>2</td><td></td><td>NEW</td></tr><tr><td>3</td><td></td><td>TO BE DEMOLISHED</td></tr><tr><td>4</td><td></td><td>LANDSCAPE</td></tr><tr><td>5</td><td></td><td>SETBACKS</td></tr></table> [1:200] @ A3 [1:100] @ A3 0 2 4 6 8 10metres 0 1 2 3 4 5metres	NO.	PEN	STATUS	1		EXISTING	2		NEW	3		TO BE DEMOLISHED	4		LANDSCAPE	5		SETBACKS	<table><tr><td>Client</td><td>LUKE GOODWIN & KARA GARRETT</td></tr><tr><td>Site Description</td><td>LOT 4 DP23847</td></tr></table>	Client	LUKE GOODWIN & KARA GARRETT	Site Description	LOT 4 DP23847	<table><tr><td>Project Name</td><td>PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104</td></tr></table>	Project Name	PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104	<table><tr><td>Drawing Title:</td><td>BASIX CERTIFICATE</td></tr><tr><td>SCALE: AS SHOWN</td><td>STAGE: DA</td><td>DATE: 2/8/2023</td></tr><tr><td>JOB NUMBER</td><td colspan="2">DRAWING NUMBER & REVISION</td></tr><tr><td>632</td><td colspan="2">DA 10.02 (A)</td></tr></table>	Drawing Title:	BASIX CERTIFICATE	SCALE: AS SHOWN	STAGE: DA	DATE: 2/8/2023	JOB NUMBER	DRAWING NUMBER & REVISION		632	DA 10.02 (A)	
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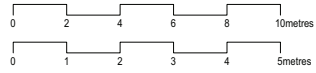


Unit 5, 2-8 Campbell Street, Artarmon, NSW, 2064
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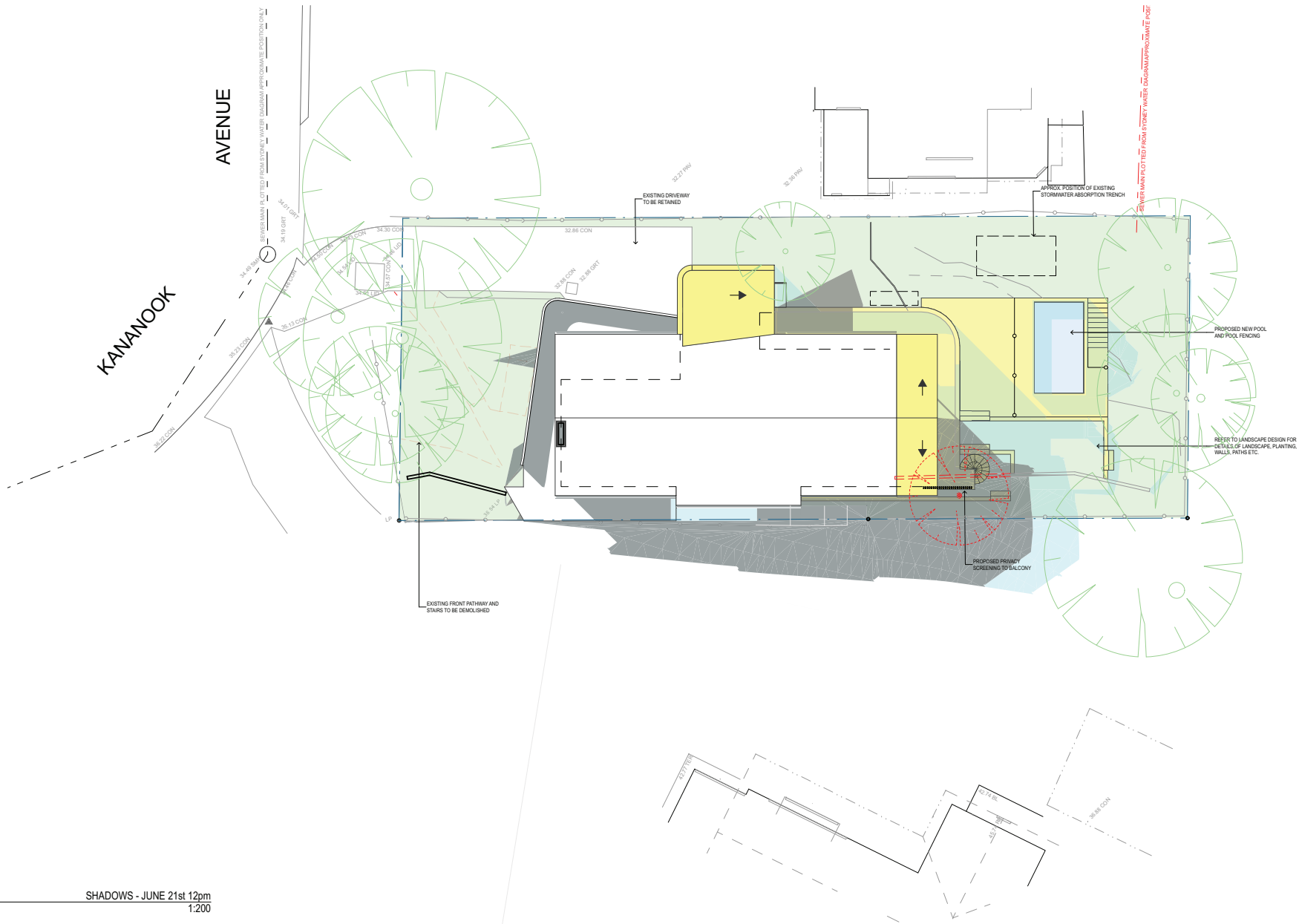
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SHADOW DIAGRAM LEGEND		
1	EXISTING SHADOWS	
2	PROPOSED SHADOWS	
REVOLUTION STATUS		
NO.	PEN	STATUS
1		EXISTING
2		NEW
3		TO BE DEMOLISHED
4		LANDSCAPE
5		SETBACKS

[1:200]
@ A3



Client	Project Name	Drawing Title:
LUKE GOODWIN & KARA GARRETT	PROPOSED ALTERATIONS AND ADDITIONS TO 17 KANANOOK AVENUE BAYVIEW NSW 2104	SHADOW DIAGRAMS - JUNE 21 9AM
Site Description		SCALE: AS SHOWN STAGE: DA DATE: 2/8/2023
LOT 4 DP23847		JOB NUMBER DRAWING NUMBER & REVISION
		632 DA 11.01 (A)



SHADOWS - JUNE 21st 12pm
1:200

1

 Unit 9, 2-8 Campbell Street, Artarmon, NSW, 2064 P (02) 9437 0055 • info@designbuildps.com www.designbuildps.com ABN 72 615 066 756 Nominated Architect: Eliza Patterson NSNARB #11016	DATE	REV	COMMENTS	DRAWN	1 2 SHADOW DIAGRAM LEGEND 1 2 EXISTING SHADOWS PROPOSED SHADOWS NO. PEN STATUS 1 2 3 4 5 EXISTING NEW TO BE DEMOLISHED LANDSCAPE SETBACKS
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[1:200]

@ A3

0

2

4

6

8

10metres

[1:100]

@ A3

0

1

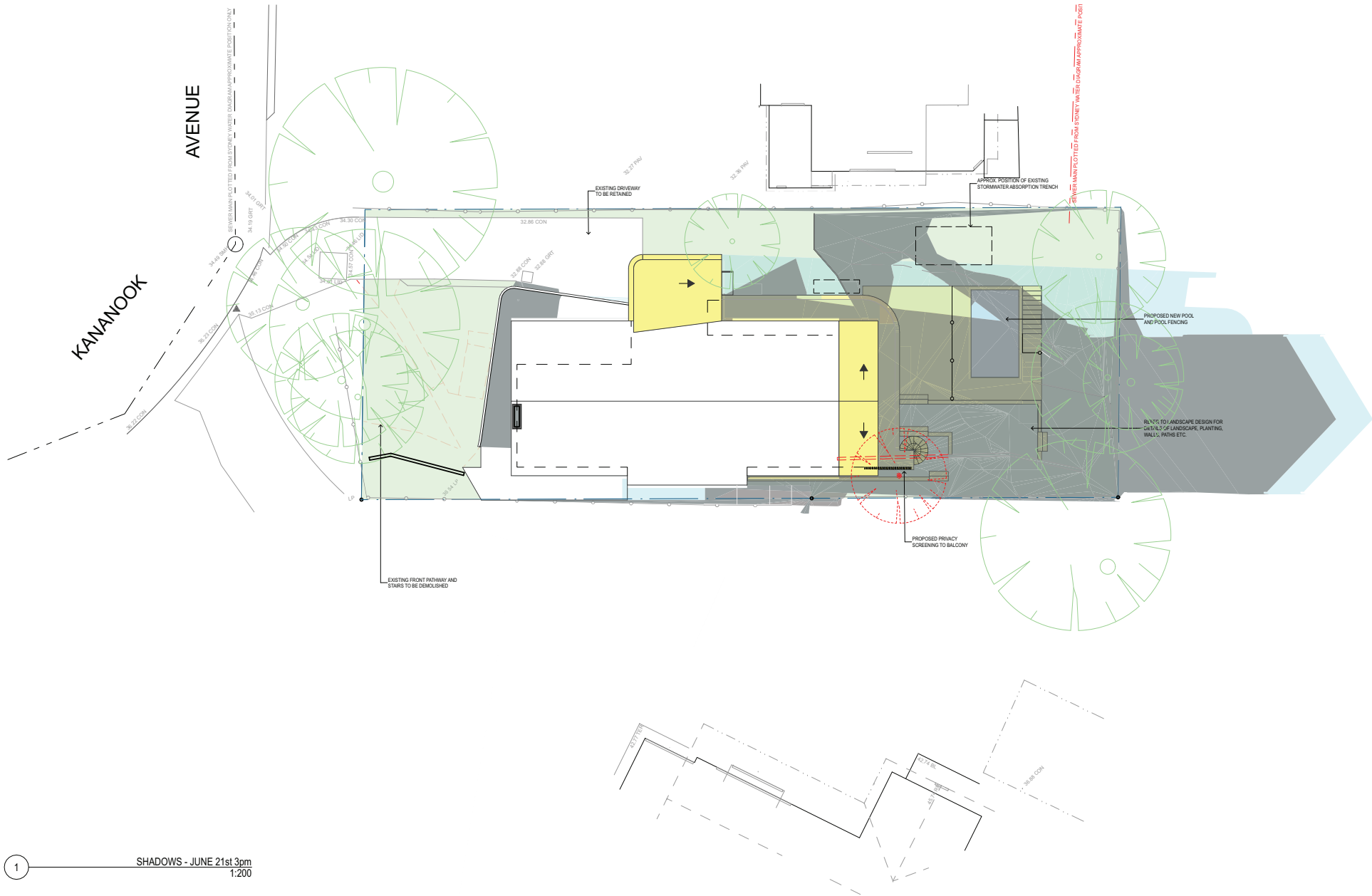
2

3

4

5metres





1

SHADOWS - JUNE 21st 3pm
1:200

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