

SEPP 65 REPORT

SUMMARY

The proposed site is located on Victoria Parade, Manly, and is currently occupied by a three-storey multi-residential building.

The proposal seeks to demolish the existing structure and construct a new six-storey residential flat building with one level of basement parking, in accordance with the objectives of the R3 Medium Density Residential zone.

The development will deliver 11 thoughtfully designed apartments, with careful consideration given to bulk and scale, apartment layout, solar aspect, site history and surrounding context. The proposal meets BASIX targets and offers a variety of high-quality dwellings presented in a contemporary yet respectful architectural form.



Rev	Date	By	Chk	Description
A	31/07/2025			Issue for DA

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info@dko.com.au
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Project Name 18-20 Victoria Pde, Manly
Project Number 13904
Project Address 18-20 Victoria Pde
Manly NSW 2095

Country Australia

Drawing Name
SEPP 65 Report

Drawing Scale

Drawing No.
DA1001

@ A3
Revision
A

1. CONTEXT & NEIGHBOURHOOD CHARACTER

"Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions. Responding to context involved identifying the desirable elements of an area's existing or future character. Well-designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscapes and neighbourhood. Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change".

Response:

The proposal mostly complies with the R3 Medium Density Residential zoning controls under the Northern beaches council and Manly DCP 2013, as well as the Low and Mid-Rise Housing Policy, and will therefore complement the desired future character of the area.

The proposed buildings are highly articulated and have been visually broken into distinct volumes, resulting in a varied and engaging streetscape. The massing sensitively responds to the existing site conditions and aligns with Council’s future vision for the precinct.

The design incorporates lush landscaping surrounding the built form at ground level, enhancing the public and private realm. Generous private open spaces are also provided to the ground floor units, supporting residential amenity. Overall, the proposed development is well integrated and compatible with the surrounding built form context.

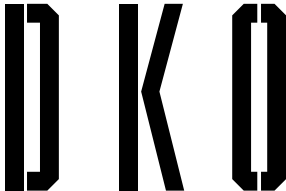


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Drawing Name
Context & Neighbourhood
Character

Drawing Scale
Drawing No.
DA1002

@ A3
Revision
A

2. BUILT FORM & SCALE

"Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook."

Response:

The development has been thoughtfully designed to respond intelligently and sensitively to its location and the evolving urban context. DKO's architectural approach plays a mediating role between the existing site conditions and the anticipated future built environment.

The bulk and height of the proposal have been carefully considered to address site-specific constraints, including traffic noise from Victoria Parade and the need to maintain visual privacy for adjacent neighbours.

The proposed scheme features a four-storey podium articulated with thin brickwork, referencing the materiality and scale of surrounding heritage buildings. Above this, the top two levels adopt a fluid, sculptural form with fine edges, creating a lightweight and floating appearance that contrasts with the solidity of the base.

The side elevations are modulated with vertical indentations, subtly breaking up the mass and responding to the architectural rhythm and character of both existing and proposed buildings in the area. Further softening the visual bulk, the design incorporates a considered palette of materials, strategic massing breaks, and landscaping at the base of the building, contributing to a refined and contextually responsive urban presence.



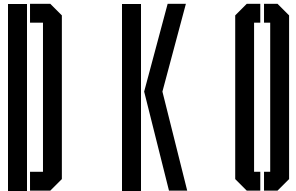
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Drawing Name
Built Form & scale

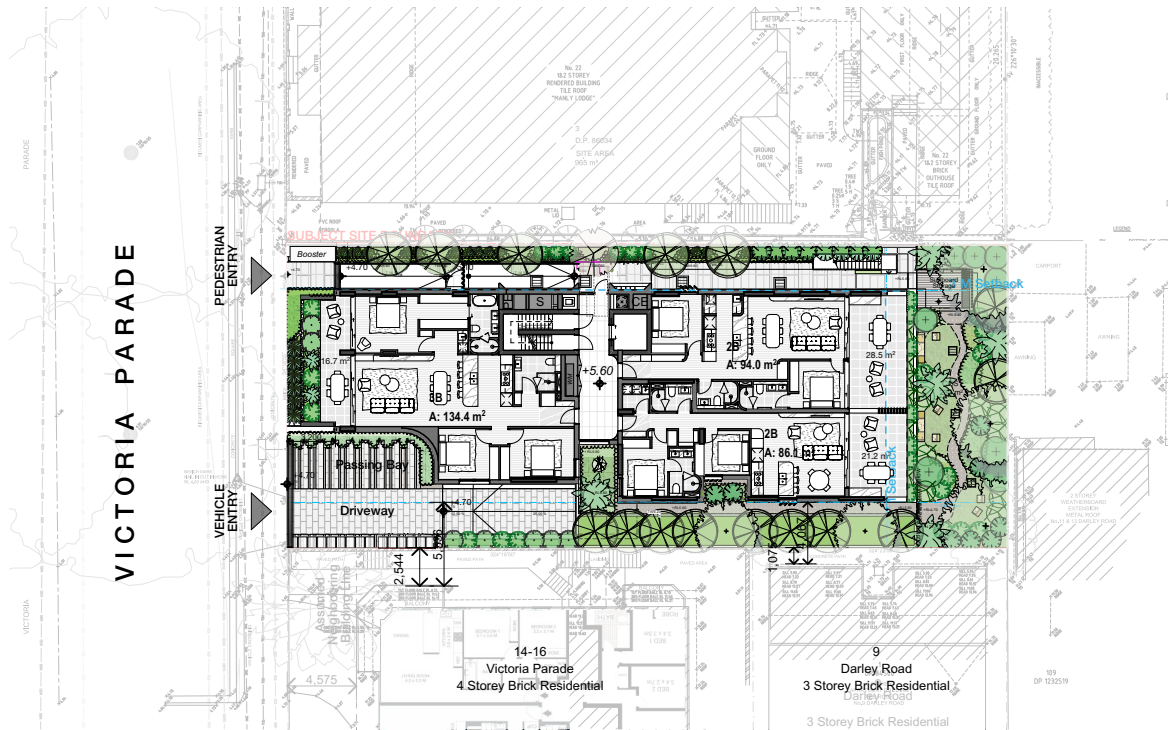
Drawing Scale
Drawing No.
DA1003

@ A3
Revision
A

3. DENSITY

"Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context."

Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment."



Ground Floor Plan

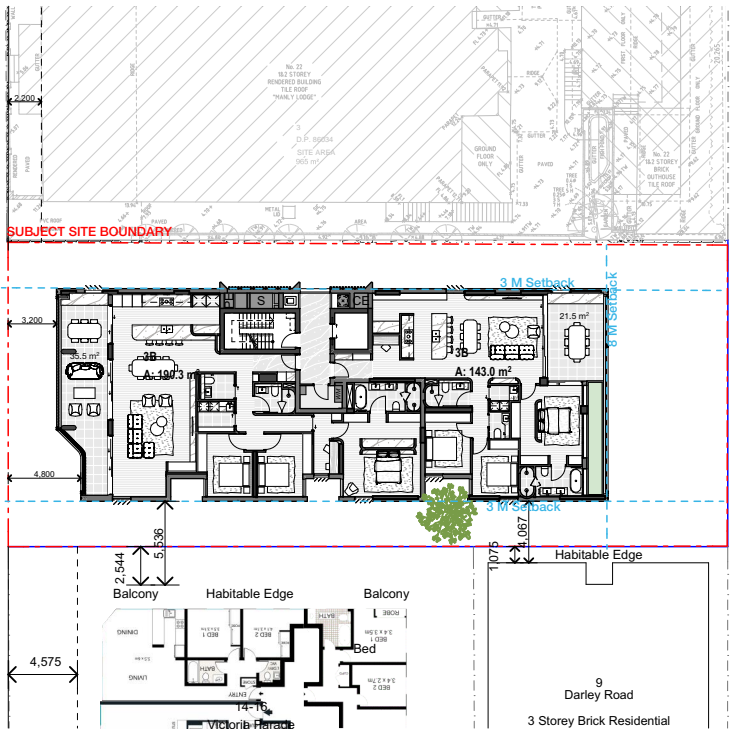
Response:

The proposal delivers a total of 11 dwellings. These apartments range in sizes to promote a diverse mix of unit types that respond to the market needs and DCP control.

The proposal takes in consideration factors of overshadowing, amenity and privacy impacts between existing and future buildings, open space patterns, existing vegetation, demand for new public domain elements, variety of lot sizes and shapes and changing streetscape and scale.

The residential density of the proposal is sustainable, suitable, and supports this developing nature. The proposal fits in the developing context and possesses the ability to be supported by existing and future infrastructure.

VICTORIA PARADE



Typical Floor Plan

4. SUSTAINABILITY

"Good design achieves a high level of Good design combines positive environmental, social and economic outcomes. Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs.

Other elements include recycling and reuse of materials and waste, use of sustainable materials, and deep soil zones for groundwater recharge and vegetation.

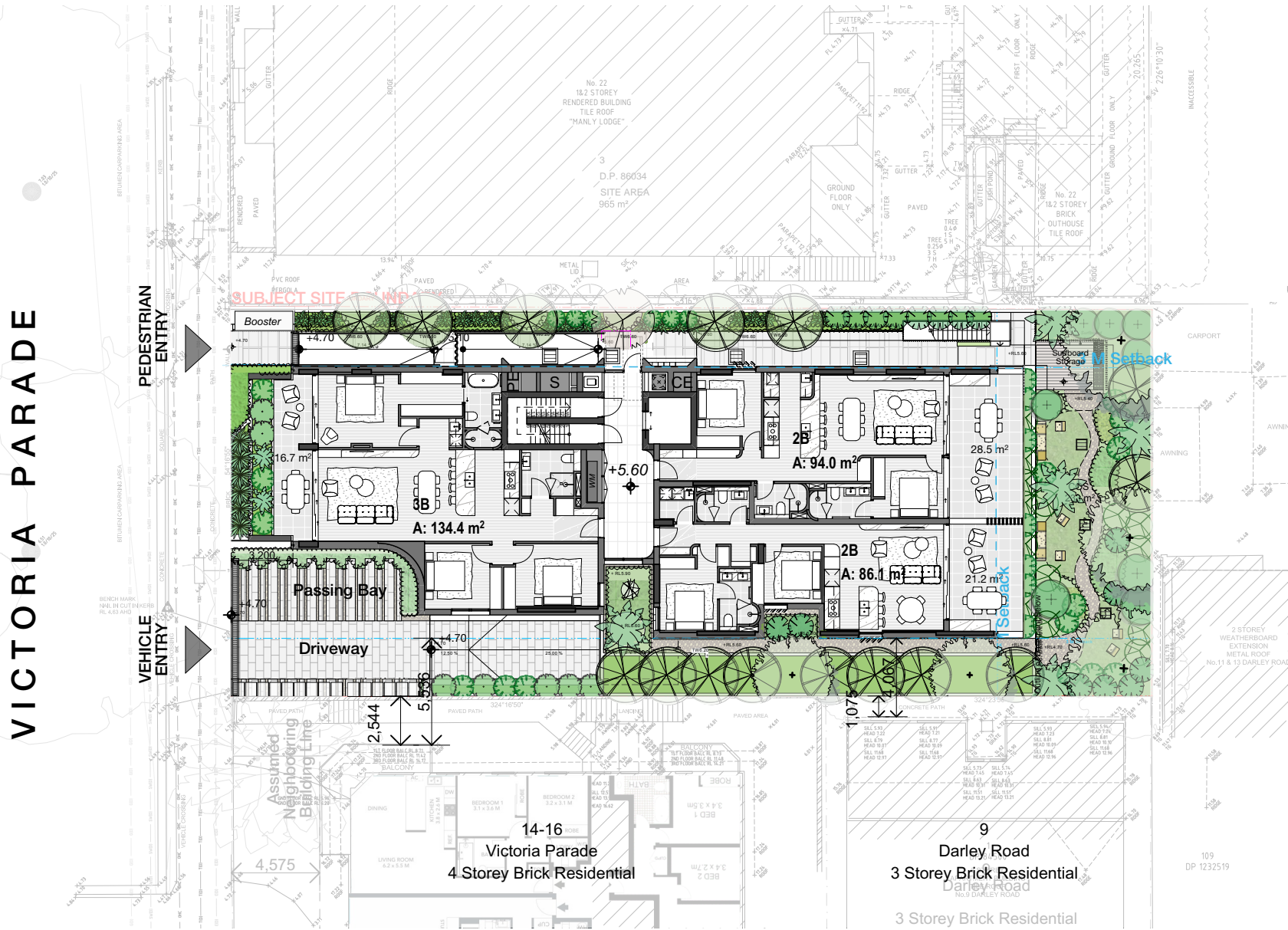
Response:

The proposed development adopts multiple environmental initiatives, and is designed to encourage sustainable practices.

The building has been positioned on the site to fully utilise the northern/eastern aspect along the facades. With the aim of maximising northern/ eastern exposure.

In addition, the generous building setbacks seek to minimise overshadowing.

The provision of more deep soil within the proposal site forsters the opportunity for substatial planting.



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dko.com.au
info@dko.com.au
T +61 2 8346 4500

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Project Name
Project Number
Project Address
Country

18-20 Victoria Pde, Manly
13904
18-20 Victoria Pde
Manly NSW 2095
Australia

Drawing Name
Drawing Scale
Drawing No.

Sustainability
1:300 @ A3
DA1005

Revision
A

5. LANDSCAPE

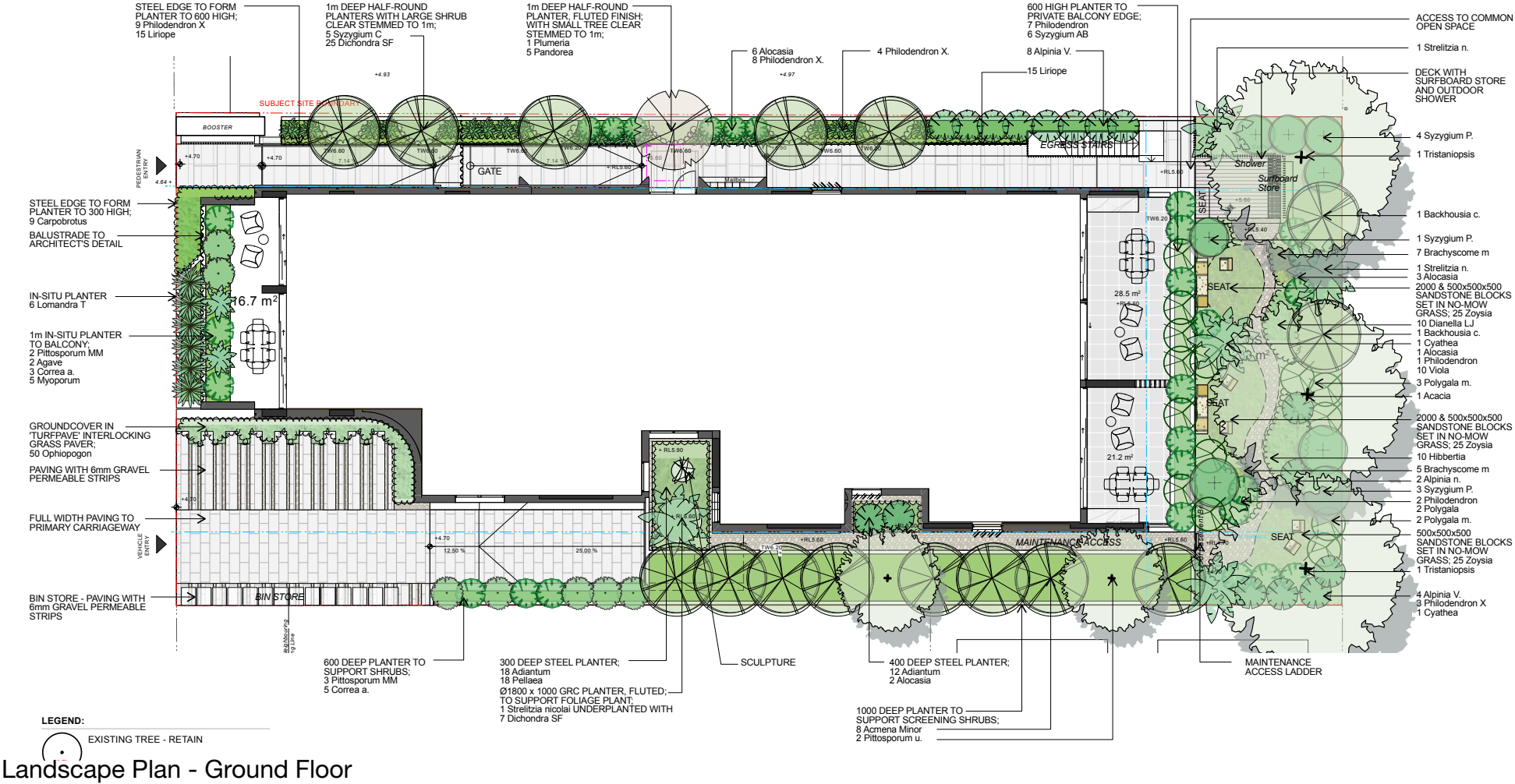
"Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in greater aesthetic quality and amenity for both occupants and the adjoining public domain. Landscape design builds on the existing site's natural and cultural features in responsible and creative ways. It enhances the development's natural environmental performance by coordinating water and soil management, solar access, microclimate, tree canopy and habitat values. It contributes to the positive image and contextual fit of development through respect for streetscape and neighbourhood character, or desired future character. Landscape design should optimise usability, privacy and social opportunity, equitable access and respect for neighbours' amenity, and provide for practical establishment and long term management."

Response:

The landscape design contributes to the local streetscape by incorporating native planting and creating a lush, green environment that enhances the residential experience.

Deep soil zones along the rear perimeter support large canopy trees, contributing to a strong green edge and reinforcing the local landscape character.

Strategic planting throughout the site introduces a diverse mix of native and adaptive species, selected for their seasonal interest, low water requirements, and resilience. Deciduous trees are used to provide shade in summer and allow solar access in winter, ensuring year-round comfort and visual appeal. The planting palette has also been tailored for suitability on structure where needed, ensuring long-term viability and ease of maintenance.



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Project Name 18-20 Victoria Pde, Manly
Project Number 13904
Project Address 18-20 Victoria Pde
Manly NSW 2095
Country Australia

Drawing Name
Landscape

Drawing Scale
Drawing No.
DA1006

1:1.60 @ A3
Revision
A

6. AMENITY

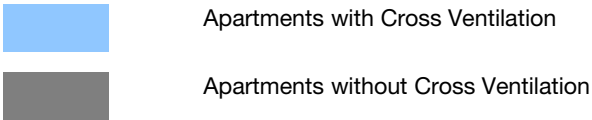
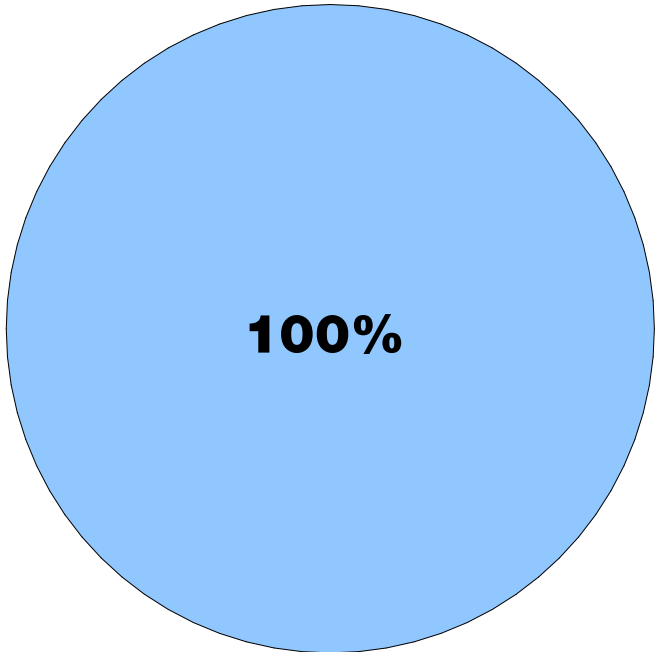
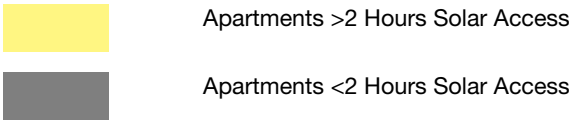
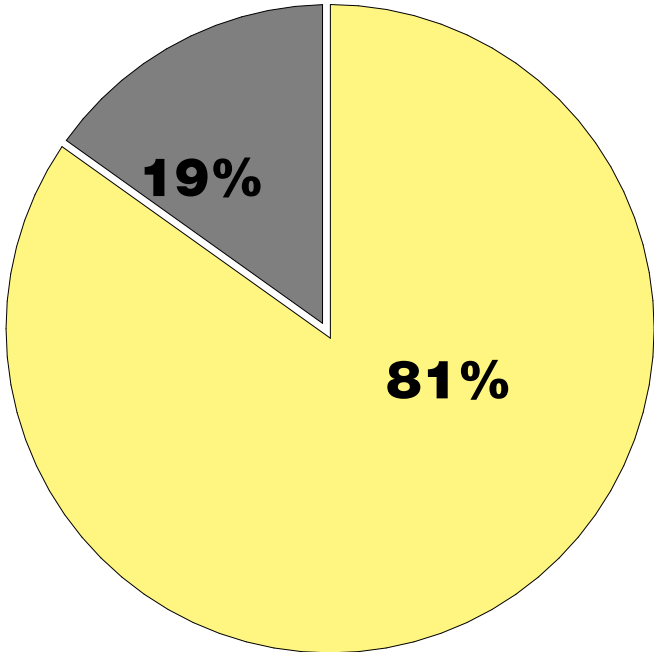
"Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being.
Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, and ease of access for all age groups and degrees of mobility."

Response:

The apartment layouts are well planned, allowing for maximised solar access and outlook to habitable rooms. Windows are provided to all rooms allowing natural daylight to penetrate through the entire plan.

Room sizes are appropriate and consistent with the requirements of the ADG.

All apartments are provided with a large balcony with optimised solar access and an outlook across extensive planting.



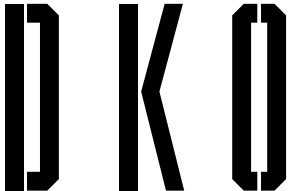
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Project Name	18-20 Victoria Pde, Manly
Project Number	13904
Project Address	18-20 Victoria Pde Manly NSW 2095
Country	Australia

Drawing Name	Amenity
Drawing Scale	
Drawing No.	DA1007

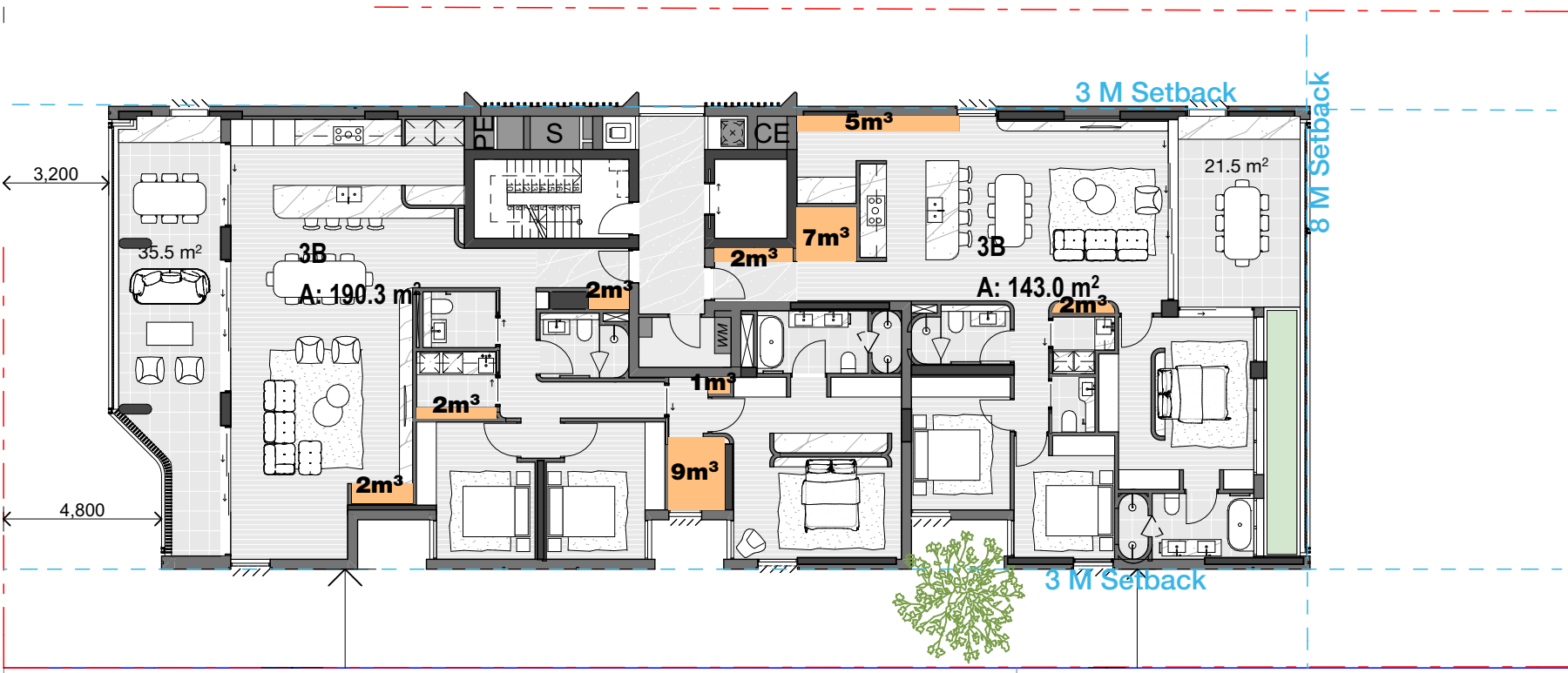
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Response:

Storage has been thoughtfully integrated within each apartment, with all dwellings meeting 100% of the required storage provision internally, in accordance with the Apartment Design Guide (ADG). This ensures convenience and accessibility for residents without compromising living space.

In addition to internal storage, supplementary storage areas are provided in the basement, offering residents additional space for infrequently used or bulky items, enhancing the overall functionality and livability of the apartments.



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Country Australia

Drawing Name
Amenity

Drawing Scale
Drawing No.
DA1008

1:200 @ A3
Revision
A

7. SAFETY

"Good design optimises safety and security, within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.

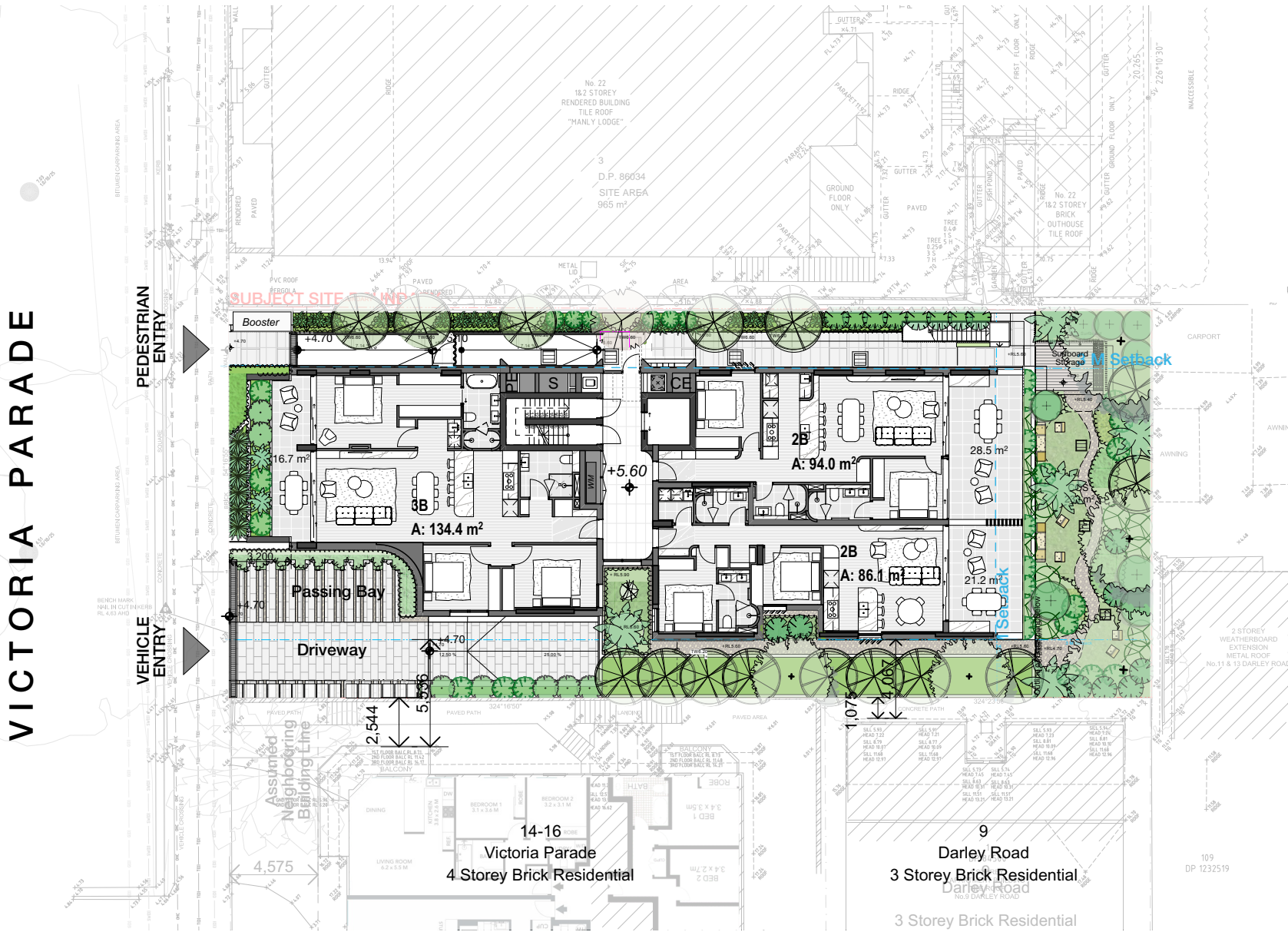
A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose."

Response:

The design proposal provides well defined, with a security gate lobby entry off Victoria prade. The Gate entry will have clear and unobstructed views from the street and will be secure, lockable and well-lit for the safety of the residents.

Along with the increased density in the area, a variety of landscaped areas are provided to increase the passive surveillance and safety to the development.

Furthermore, all external spaces will have multiple clear sight lines without obstacles, low shrub planting will reduce the number of places to hide and all paths will be well-lit at night time and designed to meet relevant Australian Lighting Standards.



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Country Australia

Drawing Name Safety
Drawing Scale
Drawing No. DA1009

1:300 @ A3
Revision A

8. HOUSING DIVERSITY & SOCIAL INTERACTION

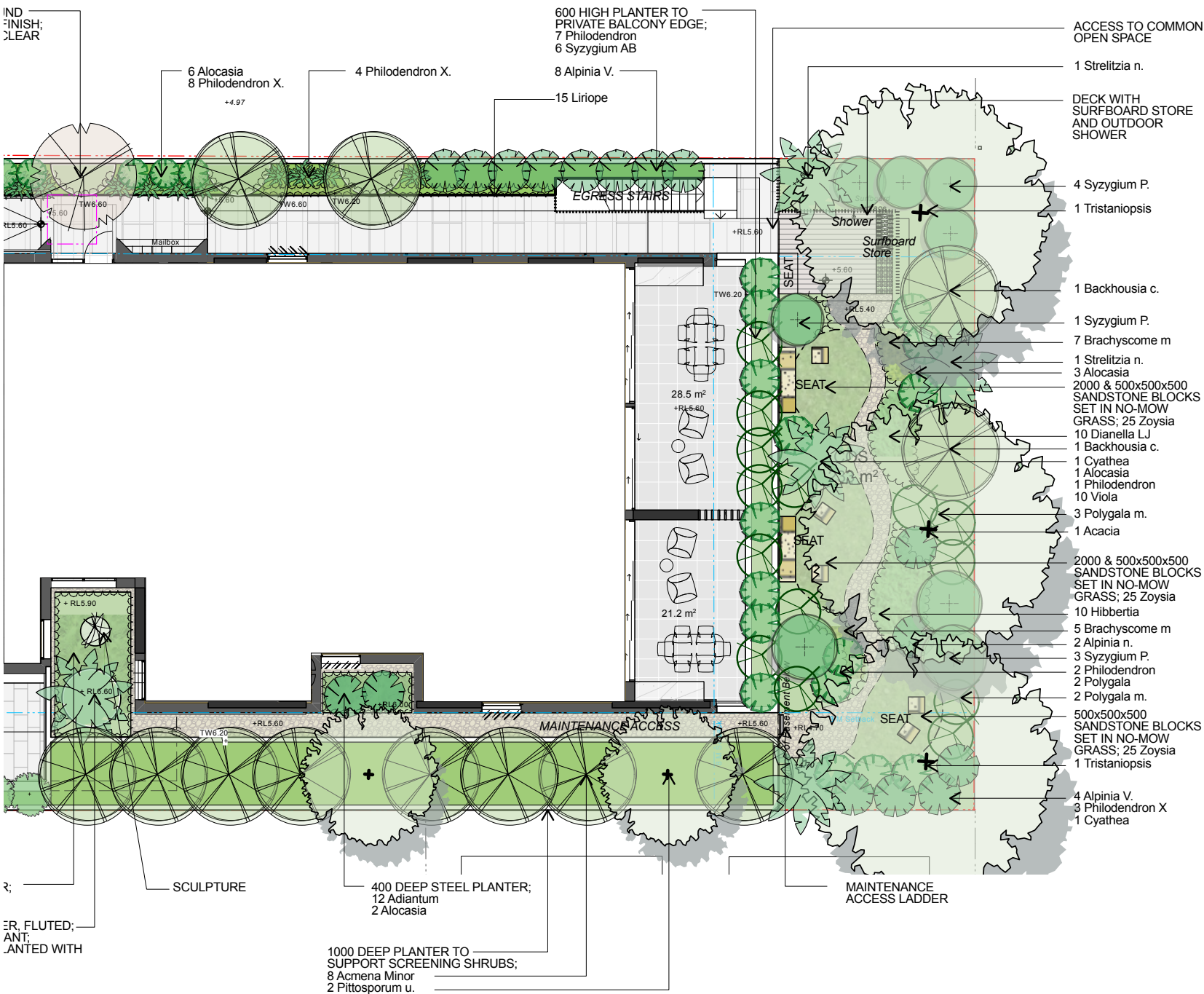
"Good design responds to the social context and needs of the local community in terms of lifestyles, affordability, and access to social facilities. New developments should optimise the provision of housing to suit the social mix and needs in the neighbourhood or, in the case of precincts undergoing transition, provide for the desired future community. New developments should address housing affordability by optimising the provision of economic housing choices and providing a mix of housing types to cater for different budgets and housing needs."

Response:

The proposed development includes communal open spaces located at the rear and side of the property, designed to enhance the residential experience. These landscaped areas provide opportunities for passive recreation and social interaction, featuring seating and gathering spaces that foster a sense of community.

Additional amenities such as surfboard storage and outdoor showers are also provided for residents' convenience, supporting an active coastal lifestyle. The site's close proximity to two nearby beaches—both within walking distance—further reinforces the development's strong connection to its coastal setting.

The proposal includes a variety of different housing typologies that will be offered in different sizes and layouts. The mix in housing typologies will cater for a range of households and help diversify the residents of the development.



Communal Recreational Area



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Project Address 18-20 Victoria Pde
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Country Australia

Drawing Name
Housing Diversity & Social
Interaction

Drawing Scale
Drawing No.
DA1010

1:1.12 @ A3
Revision
A

9. AESTHETICS

"Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures. The visual appearance of well designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape."

Response:

The development responds intelligently and sensitively to its location and future urban context.

The sculptural form of the building has been carefully designed to respond to both the outlook towards Manly Beach and the need for visual privacy. The result is a dynamic interplay between the building and the passing pedestrian, offering a variety of engaging views from multiple vantage points.

The proposed façade features slender cream-toned brickwork with chrome-lined troughs, creating a refined and contemporary expression. The use of brick pays homage to the surrounding heritage context, ensuring the development sits respectfully within its urban fabric while maintaining a distinct architectural identity.

Large balconies with scalloped edges together with fine metal palisade balustrade have hence embraced the timeless elegance.



Perspective



Perspective

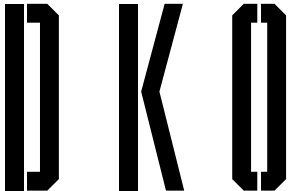
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Project Address 18-20 Victoria Pde
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Country Australia

Drawing Name Aesthetics

Drawing Scale @ A3

Drawing No. DA1011

Revision A

Summary of compliance with the key Apartment Design Guide ‘Design Criteria’ – 6/20 Hinkler Avenue, Caringbah NSW 2229			
Control	ADG Design Criteria	Compliance	Complies?
3D Communal Open space	Minimum of 25% of the site area should be devoted to communal open space.	Site area: 952.1 m² Required Communal open space: 238 m² (25 %) Proposed Communal open space : 246m² (25.8%) Communal open space is provided at both the Ground.	Compliance Achieved
	Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid-winter).	50% of the principal communal open space is proposed to receive 2 hours of direct sunlight between 9am and 3pm mid winter.	Compliance Achieved
3E Deep Soil Zones	Minimum of 7% of a site should be a deep soil zone with the following minimum dimensions: <ul style="list-style-type: none">greater than 1,500m² – 6m	Site area: 952.1 m² Required Deep soil: 66.6 m² (7%) Proposed Deep soil : 118.9 m² (12.5 %)	Compliance Achieved
3F Visual Privacy	Up to four storeys/12 meters <ul style="list-style-type: none">6 meters to the boundary between habitable rooms/balconies3 meters to the boundary between non-habitable rooms Five to eight storeys /up to 25 meters <div>ADG Compliance 3</div> <ul style="list-style-type: none">9 meters to the boundary between habitable rooms/balconies4.5 meters to the boundary between non-habitable rooms Nine storeys and above/ over 25 meters <ul style="list-style-type: none">12 meters between habitable rooms/balconies6 meters between non-habitable rooms	Overall, visual privacy is carefully maintained throughout the development. Privacy screens have been thoughtfully incorporated in areas where visual privacy could not be achieved through setbacks alone, helping to minimize overlooking and protect residential amenity.	Compliance Achieved
3J Bicycle and Car Parking	The minimum car parking rates from Housing SEPP are as follows: <ul style="list-style-type: none">Minimum –0.4 space per 1 bed,0.5 spaces per 2 bed,1 spaces per 3 bed,	Parking numbers in line with Housing Sepp	Compliance Achieved
4A Solar + Daylight Access	Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas. In all other areas, living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 3 hours direct sunlight between 9 am and 3 pm at mid-winter.	Minimum number of apartments with 2hrs solar access required: 8 Proposed: 9 (81%)	Compliance Achieved
	A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid-winter.	A maximum of 2 apartments is permitted to not receive solar access Proposed: 0 (0%)	Compliance Achieved

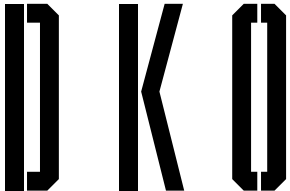
Rev	Date	By	Chk	Description
A	31/07/2025			Issue for DA

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- All works to be in accordance with authority & statutory approvals.
- Refer to site survey for all information relating to existing site conditions.
- All Boundary information to be confirmed by registered surveyor before commencing works on site.
- Refer to Arborist Report and Landscape Documentation for all information relating to trees and their retention/removal, and all landscape works.
- Drawings to be read in conjunction with all Specifications and Schedules; all specialist consultant documentation; BASIX, NatHERS, Section J Certificates.
- Minor changes to building form & configuration may be required after Development Consent.
- Do not scale from drawing; figured dimensions only to be used.
- Building Contractor to verify all dimensions before commencing work.

Auckland
Brisbane
Ho Chi Minh
Melbourne
Perth
Sydney

dko.com.au
info@dko.com.au
T +61 2 8346 4500



Project Name
Project Number
Project Address

Country

18-20 Victoria Pde, Manly
13904
18-20 Victoria Pde
Manly NSW 2095

Australia

Drawing Name
ADG Compliance 1

Drawing Scale
Drawing No.
DA1012

1:0.94 @ A3
Revision
A

Summary of compliance with the key Apartment Design Guide ‘Design Criteria’ – 6/20 Hinkler Avenue, Caringbah NSW 2229			
Control	ADG Design Criteria	Compliance	Complies?
4B Natural Ventilation	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.	Number of Apartments in the first 9 storeys - 7 Cross Ventilated Apartments: 11 apartments (100%)	Compliance Achieved
	Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	Compliance Achieved	Compliance Achieved
4C Ceiling heights	Minimum ceiling heights are as follows: <ul style="list-style-type: none">2.7m for habitable rooms2.4m for non-habitable roomsdouble storey apartments – 2.7m for main living area, 2.4m for second floor where its area does not exceed 50% of the apartment areaattic spaces – 1.8m at edge of room with a minimum 30degree slope in mixed use areas – 3.3m for ground and first floor	Proposed 2.7m habitable Proposed 2.4 m non habitable	Compliance Achieved
4D-1 Apartment Size + layout	Minimum Apartment sizes: <ul style="list-style-type: none">70m² for two bedrooms; and90m² for three bedrooms. Add an 5m² for additional bathrooms Add an 12m² for additional bedrooms	All apartments comply with minimum ADG apartment sizes.	Compliance Achieved
	Every habitable room must have a window in an external wall with a total minimum glass area of no less than 10% of the floor area of the room. Day light and air may not be borrow from another room	Compliance Achieved	Compliance Achieved
4D-2 Apartment Size + layout	Habitable room depths are limited to a maximum of 2.5 x the ceiling height. Open plan layouts (where living, dining and Kitchen are combined habitable room depth form the window is 8m	Compliance Achieved	Compliance Achieved
4D-3 Apartment Size + layout	Master bedrooms have a minimum area of 10m2 and other bedrooms 9m2 (excluding wardrobe space).	Compliance Achieved	Compliance Achieved
	Bedrooms have a minimum dimension of 3m (excluding wardrobe space).	Minimum dimensions provided	Compliance Achieved
	Living rooms or combined living/dining rooms have a minimum width of:	All units feature living rooms with a depth greater than 4 m	Compliance Achieved

Summary of compliance with the key Apartment Design Guide ‘Design Criteria’ – 6/20 Hinkler Avenue, Caringbah NSW 2229			
Control	ADG Design Criteria	Compliance	Complies?
	<ul style="list-style-type: none">3.6m for studio and 1 bedroom apartments4m for 2 and 3 bedroom apartments		
	The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.	The widths of all cross-over apartments have been designed to exceed a minimum internal requirement of 4 meters.	Compliance Achieved
4E Private open space and balconies	Apartments are to have the following balcony dimensions: <ul style="list-style-type: none">Studio – 4 sqm1br – 8sqm with min.2m depth2br – 10sqm with min. 2m depth3br – 12sqm with min. 2.4m depth	Compliance Achieved	Compliance Achieved
	Ground level apartments should contain a minimum of 15m ² of open space, with a minimum dimension in one direction of 3m.	Compliance Achieved	Compliance Achieved
4F Common circulation and spaces	The maximum number of apartments off a circulation core on a single level is eight.	Maximum number of apartments off a single core on a level is 2 units.	Compliance Achieved
	For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40.	The proposed development is less than 10 storeys.	Compliance Achieved
4G Storage	<ul style="list-style-type: none">Studio apartments require 4m² of storage areaOne bedroom dwellings require 6m³ of storage areaTwo bedroom dwellings require 8m³ of storage area.Three bedroom dwellings require 10m³ of storage area.	At least 50% of the storage can be provided on the apartments. Zones for basement storage have been included on the basement levels	Compliance Achieved