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GENERAL NOTES:

1. STORM WATER DRAINAGE TO REAR STORMWATER EASEMENT & THE BASIX REPORT
2. SEWER DRAINAGE & WASTE WATER TO SYDNEY WATER SEWER MAIN
3. SEDIMENT CONTROL BARRIER TO COUNCIL SPECIFICATIONS DURING CONSTRUCTION
4. SURVEY LEVELS & CONTOURS TO AUSTRALIAN HEIGHT DATUM OR AS INDICATED ON SURVEY PLAN +/- 100mm
5. TERMITE CONTROL CHEMICAL OR PHYSICAL BARRIER TO BE INSTALLED IN ACCORDANCE WITH AS3660
6. VERIFY ALL DIMENSIONS, LEVELS & EXISTING CONDITION ON SITE PRIOR TO COMMENCEMENT OF WORK
7. ALL WORK & MATERIALS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT STANDARDS AUSTRALIA CODES
8. FIGURED DIMENSIONS TAKE PREFERENCE TO SCALE
9. ALL DIMENSIONS IN MILLIMETRES U.N.O.
10. DRIVEWAY GRADIENT TO COMPLY WITH COUNCIL REGULATIONS
11. DROP EDGE BEAMS TO ENGINEERS DETAILS IF REQUIRED
12. ALL STRUCTURAL BEAM SIZES & DETAILS TO ENGINEERS SPECIFICATIONS
13. ANY RETAINING WALL REQUIRED WILL BE CONSTRUCTED FROM COPPER LOGS OR MASONRY NOT EXCEEDING 600mm HIGH
14. AN ALL WEATHER ACCESS CONSISTING OF RECYCLED CONCRETE WILL BE PROVIDED
15. PERMANENT DRIVEWAY TO BE REINFORCED CONCRETE
16. ANY CONCRETE PATHS TO BE REINFORCED CONCRETE
17. SURFACE DRAINS WILL BE INCORPORATED IN THE LANDSCAPING TO REMOVE SURFACE WATER FROM GRASSED & CONCRETE AREAS
18. AGRICULTURAL DRAINS WILL BE APPLIED BEHIND ALL RETAINING WALLS & WILL BE CONNECTED INTO THE STORMWATER LINE
19. SURVEY DATA OBTAINED FROM SYDNEY REGISTERED SURVEYORS

AUSTRALIAN STANDARD CODES

- AS 1288 Glazing
AS 1684.4 Timber Framing
AS 1728.1 Timber Structures Code
AS 1926.1Pool Fencing
AS 2857 Termite Protection
AS 2878.1 Residential Slabs & Footings
AS 2908.2 Cellulose Cement Products
AS 3500 National Plumbing & Drainage
AS 3600 Concrete Structures
AS 3700 Masonry in Buildings
AS 3786 Smoke Alarms
AS 3959 Bushfire Construction
AS 4100 Steel Structures

ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
ALL SUBJECT TO TENDER

NOTE:
REFER TO KITCHEN MANUFACTURERS PLANS FOR ALL CABINETRY LAYOUTS.
NOTE:
LOCATION OF ELECTRICITY BOX TO BE DETERMINED ON SITE.
NOTE:
PROVISIONS FOR PLUMBING STACKS AND AC DROPPERS TO BE HIDDEN IN NON-HABITABLE AREAS.

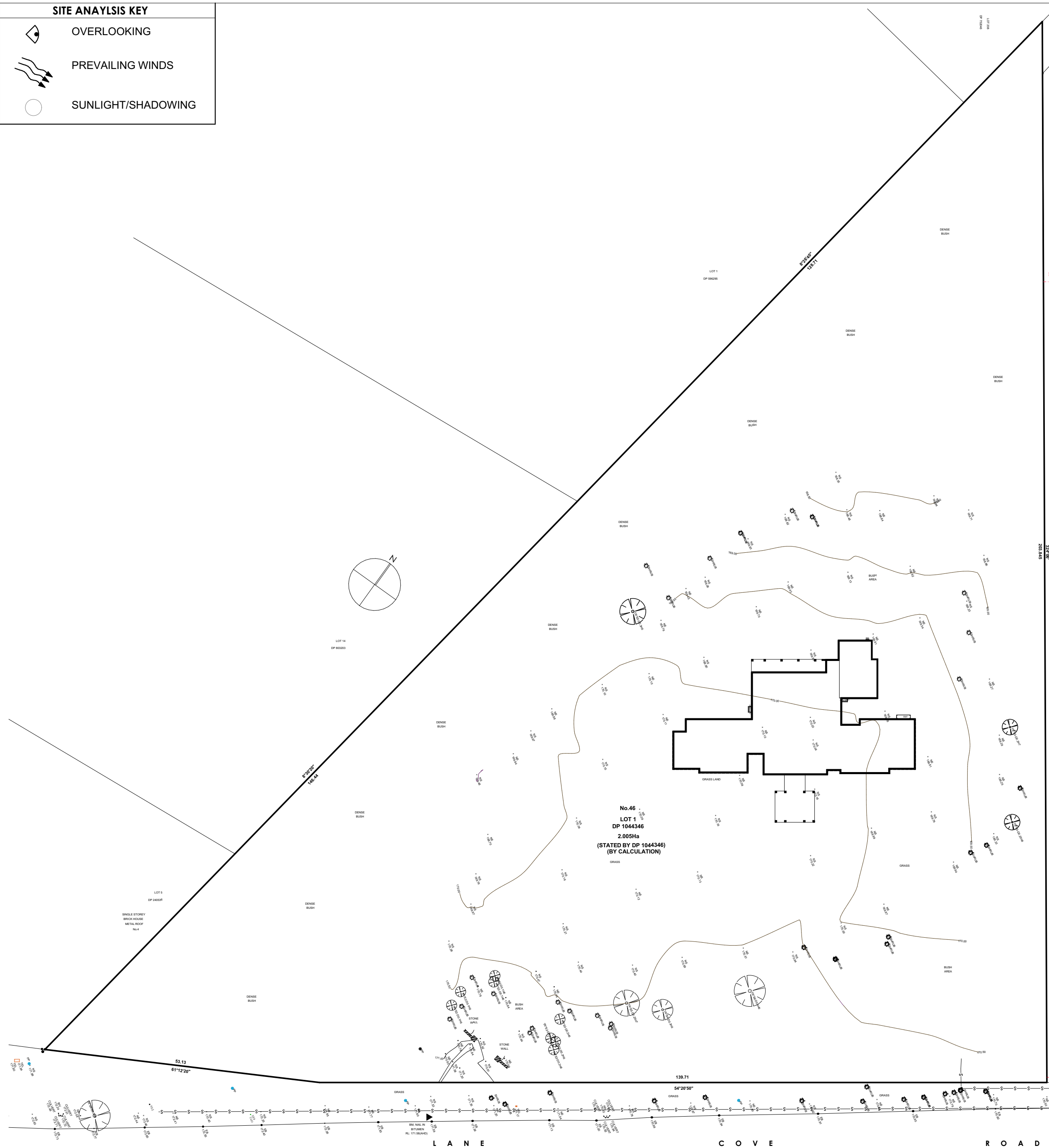


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REVISION SCHEDULE				BUSHFIRE PRONE:	BENCH LEVEL:
ISSUE	DESCRIPTION	DATE	INITIAL	BAL 29	RL :169.8
A	SKETCH	07.09.22	HS		
B	CONCEPT	05.10.22	SS	SCALE	DP No:
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D	CDC	14.10.22	SS		
E	DA	22.11.22	SS		
F	DA	13.12.22	SS		

TITLE PAGE	HOUSING CODE:	STAGE:
CUIENT:	COUNCIL	DA
DR MUNWWARA & MR UPPAL	COUNCIL:	PLOT DATE:
ADDRESS:	NORTHERN BEACHES	13/12/2022
Lot No.1 46 LANE COVE RD,	FLOOR PLAN:	SOIL CLASSIFICATION:
INGLESIDE, NSW	CUSTOM	CLASS P
	FACADE:	PROJECT No:
	CUSTOM	D1433
		SHEET:

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0490 816 584
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DREAM HOMES

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BUSHFIRE PRONE:

BENCH LEVEL:

BAL 29

RL :169.8

SCALE

DP No:

1:600

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SITE ANALYSIS PLAN

CLIENT:

DR MUNWWARA & MR UPPAL

ADDRESS:

Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:

COUNCIL:

NORTHERN BEACHES

FLOOR PLAN:

CUSTOM

FACADE:

CUSTOM

STAGE:

DA

PLOT DATE:

13/12/2022

SOIL CLASSIFICATION:

CLASS P

PROJECT No:

D1433

SHEET:

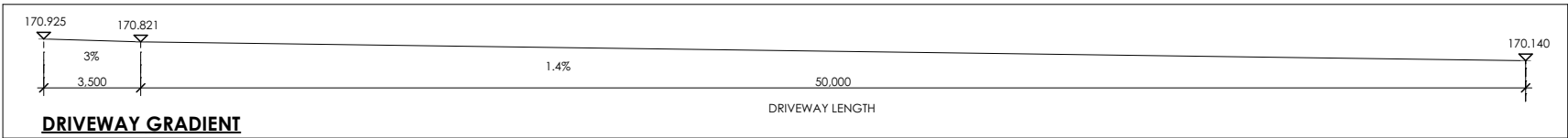
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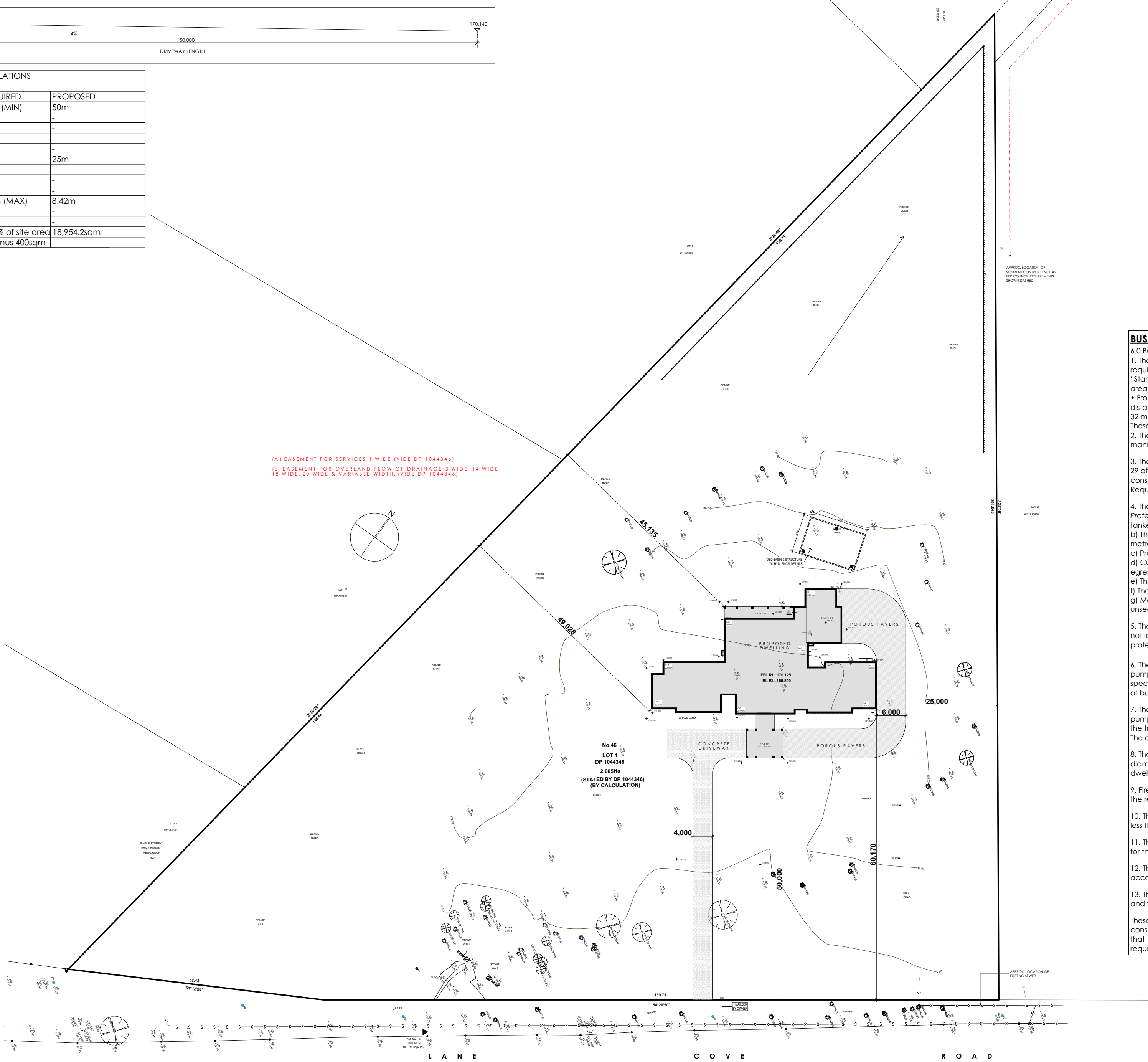
info@dreamhomescustombuild.com.au



SITE CALCULATIONS		
LODGEEMENT: DA (COUNCIL)		
	REQUIRED	PROPOSED
FRONT SETBACK	20m (MIN)	50m
SECONDARY SETBACK	-	-
GARAGE SETBACK	-	-
GF REAR SETBACK	-	-
FF REAR SETBACK	-	-
GF SIDE SETBACK	10m	25m
FF SIDE SETBACK	-	-
GF SIDE SETBACK (SIDE B)	-	-
FF SIDE SETBACK (SIDE B)	-	-
OVERALL BUILDING HEIGHT	8.5m (MAX)	8.42m
SITE COVERAGE	-	-
FSR/GFA AREA	-	-
LANDSCAPE AREA (MIN)	- 96% of site area minus 400sqm	18,954.2sqm

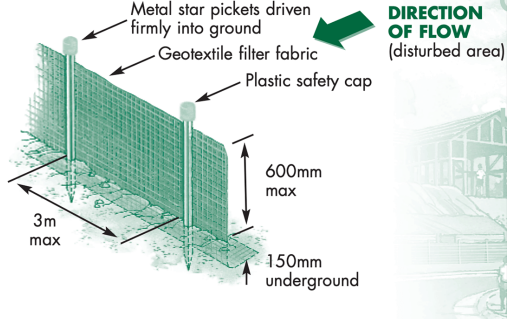
Area	m2
GROUND FLOOR	624.97
GARAGE	80.64
ALFRESCO	34.22
PORCH	58.00
UPPER FLOOR	240.08
BALCONY REAR	18.55
	1,056.46 m ²

Area	m2
LANDSCAPING	18,954.20
POS	329.49



ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
ALL SUBJECT TO TENDER

NOTE:
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BUSHFIRE HAZARD ASSESSMENT RECOMMENDATIONS:

- 6.0 Bushfire Hazard Assessment Recommendations
1. That the site where not built upon shall have the vegetation reduced where necessary to satisfy the requirements of *Planning for Bush Fire Protection* 2019 and the NSW Rural Fire Service document "Standards for Asset Protection Zones" for an inner protection area of an asset protection zone and this area shall be maintained at this vegetation level for the lifetime of the development as described below;
• From the north western, south western and north eastern elevations of the proposed dwelling for a distance of 18 metres; and
• From the south eastern elevation of the proposed dwelling for a distance of 32 metres.
These areas are to form a continuous and linked buffer around the entire dwelling.
2. That no future landscaping features, planting of shrubs, trees or other vegetation shall occur in such a manner as to compromise the integrity of the asset protection zone.
 3. That the proposed dwelling shall be constructed to section 3 Construction General and section 7 BAL 29 of AS3959:2018 *Construction of buildings in bushfire prone areas* with the exception that the construction requirements shall be varied to comply with section 7.5.2 Additional Construction Requirements of *Planning for Bush Fire Protection* 2019.
 4. That the driveway shall be constructed to comply with the requirements of *Planning for Bush Fire Protection* 2019 which include:
a) The surface shall be a material capable of carrying a fully laden fire tanker (23 tonnes) in all weather conditions.
b) The width shall be a minimum of not less than 4.0 metres and a vertical clearance of not less than 4.0 metres
c) Provide for a turning area in accordance with the Appendix 3 of *Planning for Bush Fire Protection* 2019
d) Curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress
e) The minimum distance between inner and outer curves is 6m
f) The crossfall is not more than 10 degrees
g) Maximum grade for sealed roads does not exceed 15 degrees or not more than 10 degrees for unsealed roads
 5. That the dwelling shall maintain a reserve Static Water Supply (SWS) for use during a bushfire event of not less than 20,000 litres stored in a non combustible tank within the area of recommended asset protection zone.
 6. The reserve Static Water Supply shall be permanently plumbed to a petrol or diesel fire fighting water pump with a minimum of 5hp. The pump shall be regularly maintained as per the manufacturer specifications. The pump must be located in such a position to be shielded from the direct mechanisms of bushfire attack.
 7. That a water delivery line of not less than 50 mm diameter be plumbed from the fire fighting water pump plumbed to the reserve Static Water Supply tank, to an outlet point located within 4.0 metres of the truck turning area in the new driveway of the subject allotment to enable fire fighting tankers to refill. The outlet of this line shall be fitted with a ball or gate valve and a 65 to 38mm reducer Storz fitting.
 8. That the development must provide and have readily available kink resistant hose or hoses with a diameter of not less than 19mm and a fire fighting nozzle, capable of reaching all elevations of the dwelling, and fittings suitable for connection to the fire fighting water pump.
 9. Fire hose reels are constructed in accordance with AS/NZS 1221:1997 and installed in accordance with the relevant clauses of AS 2441:2005.
 10. That all plumbing associated with the reserve water supply above the ground or for a depth of not less than 300mm below the ground shall be metal.
 11. That approved NSW Rural Fire Service; Static Water Supply signage is installed at approved locations for the proposed development.
 12. That if the supply of gas to the subject dwelling is undertaken it shall be installed and maintained in accordance with AS 1596:2002 and the requirements of relevant authorities.
 13. The residents should complete a *Bush Fire Survival Plan* as formulated by the NSW Rural Fire Service and the NSW Fire & Rescue.
- These recommendations are the opinions of the author of this report and are compiled to assist the consent authority and the NSW Rural Fire Service in the assessment of this proposed development and that the final conditions as imposed by the consent authority must be adhered to at all stages and where required for the lifetime of the development.



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D	CDC	14.10.22	SS			
E	DA	22.11.22	SS			
F	DA	13.12.22	SS			

SITE PLAN	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	COUNCIL:
	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	02

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Area	m2
GROUND FLOOR	624.97
GARAGE	80.64
ALFRESCO	34.22
PORCH	58.00
UPPER FLOOR	240.08
BALCONY REAR	18.55
	1,056.46 m ²

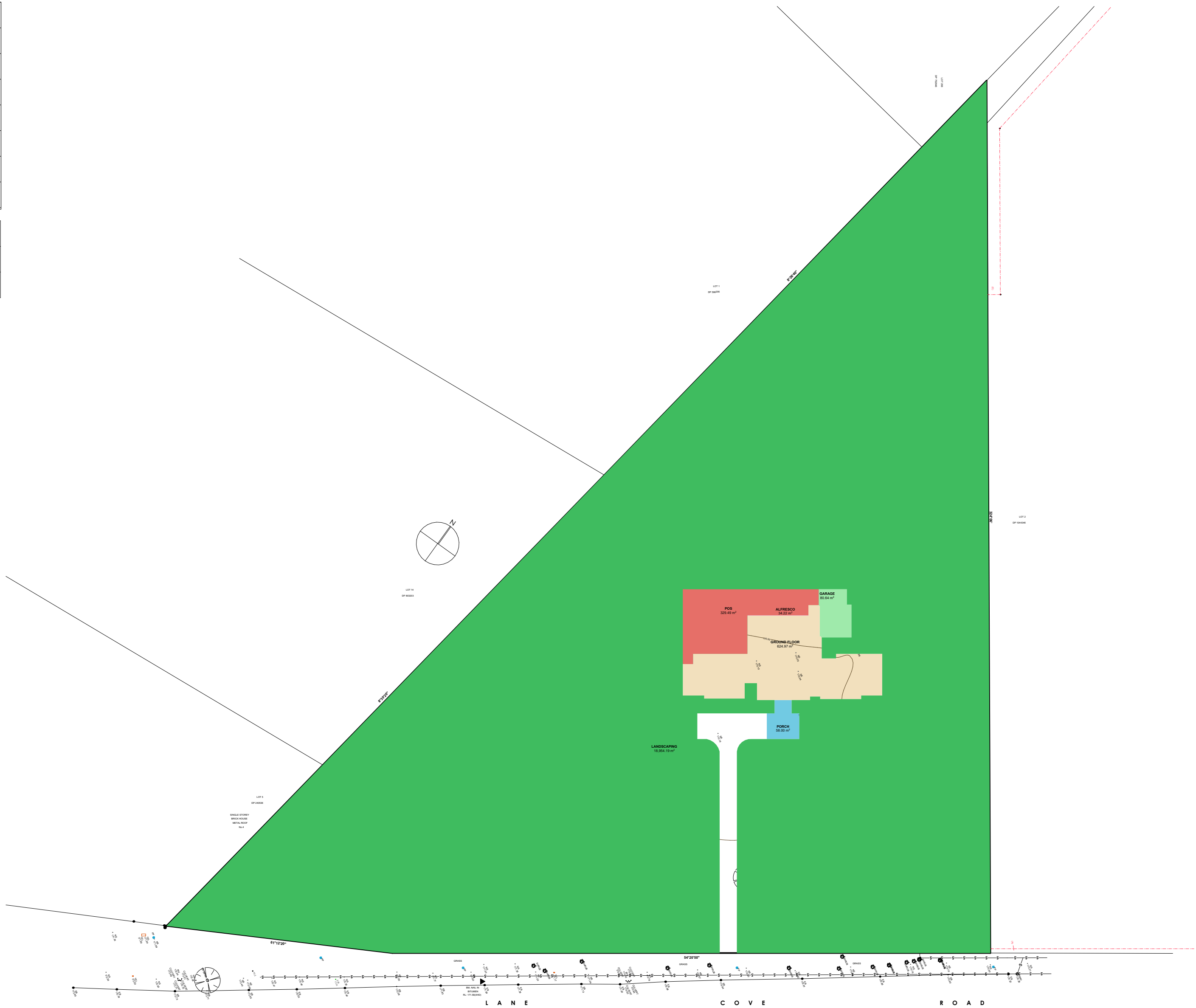
Area	m2
LANDSCAPING	18,954.20
POS	329.49

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ALL SUBJECT TO TENDER

NOTE:
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2. ZONE CALCS LOWER
1:750



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BUSHFIRE PRONE:	BENCH LEVEL:
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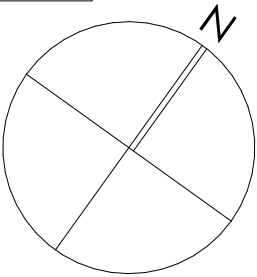
ZONE CALCULATIONS	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	
COUNCIL:	COUNCIL
COUNCIL:	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

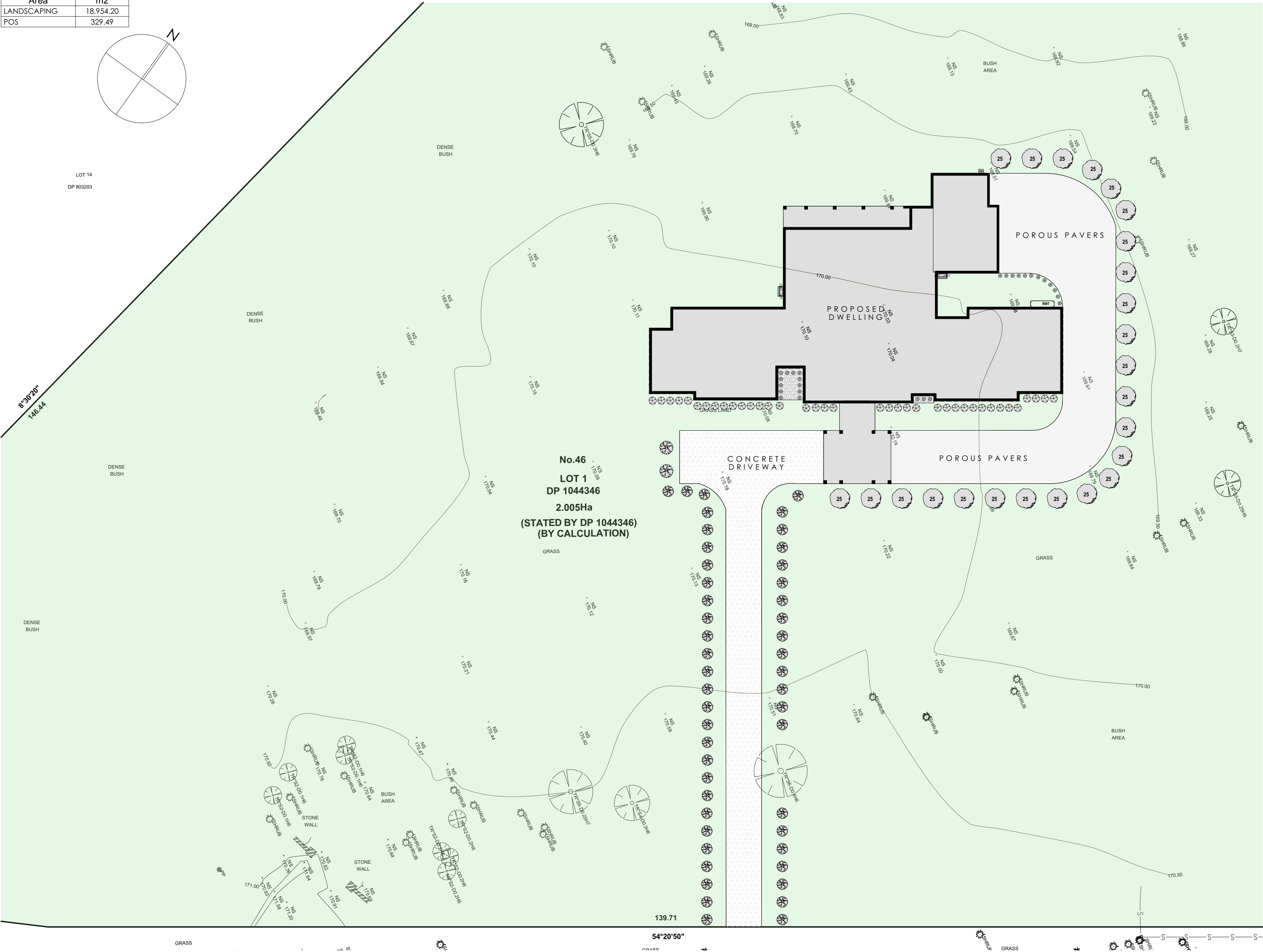
STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	03

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Area	m2
LANDSCAPING	18,954.20
POS	329.49



LOT 14
DP 803203



ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
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PROPOSED PLANT SCHEDULE				
IN ACCORDANCE WITH AS 2302: 2015				
CODE	BOTANICAL NAME	QUA.	POT SIZE	APPROX MATURED HEIGHT
GROUND COVER/BOARDER				
2	Lomandra TANIKA	15	150 mm	0.75
8	Isolepis Nodosa	12	150 mm	0.6
LOW SHRUBS				
19	Acmena "Allyn's Magic"	34	200 mm	1.5
20	Westringia Wynnable Gem	4	200 mm	1.2
TALL SHRUBS				
24	Callistemon SLIM	2	200 mm	3
25	Syzygium Superior	24	200 mm	3
FEATURE SHRUBS				
35	Cordyline "Red Sensation"	48	25L	1.2
TREES				
44	Tristanopsis laurina "Luscious"	-	45L	8

LEGEND / FINISH SCHEDULE	
	EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH AS 4070:2009
	PROPOSED TREES, SHRUBS AND GROUND COVER (REFER TO PLANT SCHEDULE)
	MULCHED GARDEN BED 900 WIDE MIN. AS SHOWN ON PLAN SELECTED METAL GARDEN EDGE
	LAWN AREA, SIR WALTER BUFFALO All turf area shall be finished level with adjoining surfaces and also fall evenly to approved point of drainage discharge.
	PERMEABLE PEBBLE AREA SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER
	DRIVEWAY PATH SELECTED STENCILED OR COLOURED CONCRETE TO SUIT STANDARDS
	PATIO/TERRACE/PATH SELECTED TILES TO SUIT STANDARDS

NOTE:

LANDSCAPING AND MAILBOX WILL BE PROVIDED AS PER THE SIGNED TENDER. BY THE CLIENT AND BUILDERS SPECIFICATIONS. THE PLAN REFERS TO THE LOCATION OF LANDSCAPING ONLY.



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BUSHFIRE PRONE:
BAL 29

BENCH LEVEL:
RL :169.8

SCALE
1:300

DP No:
1044346

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CONCEPT LANDSCAPE PLAN

CLIENT:
DR MUNWWARA & MR UPPAL

ADDRESS:
**Lot No.1 46 LANE COVE RD,
INGLESIDE, NSW**

HOUSING CODE:
COUNCIL:
COUNCIL:
NORTHERN BEACHES

FLOOR PLAN:
CUSTOM

FACADE:
CUSTOM

STAGE:
DA
PLOT DATE:
13/12/2022
SOIL CLASSIFICATION:
CLASS P
PROJECT No:
D1433
SHEET:
04

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info@dreamhomescustombuild.com.au

Area	m2
GROUND FLOOR	624.97
GARAGE	80.64
ALFRESCO	34.22
PORCH	58.00
UPPER FLOOR	240.08
BALCONY REAR	18.55
	1,056.46 m ²



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F	DA	13.12.22	SS	

BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
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GROUND FLOOR PLAN	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	COUNCIL
	COUNCIL:
	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	05

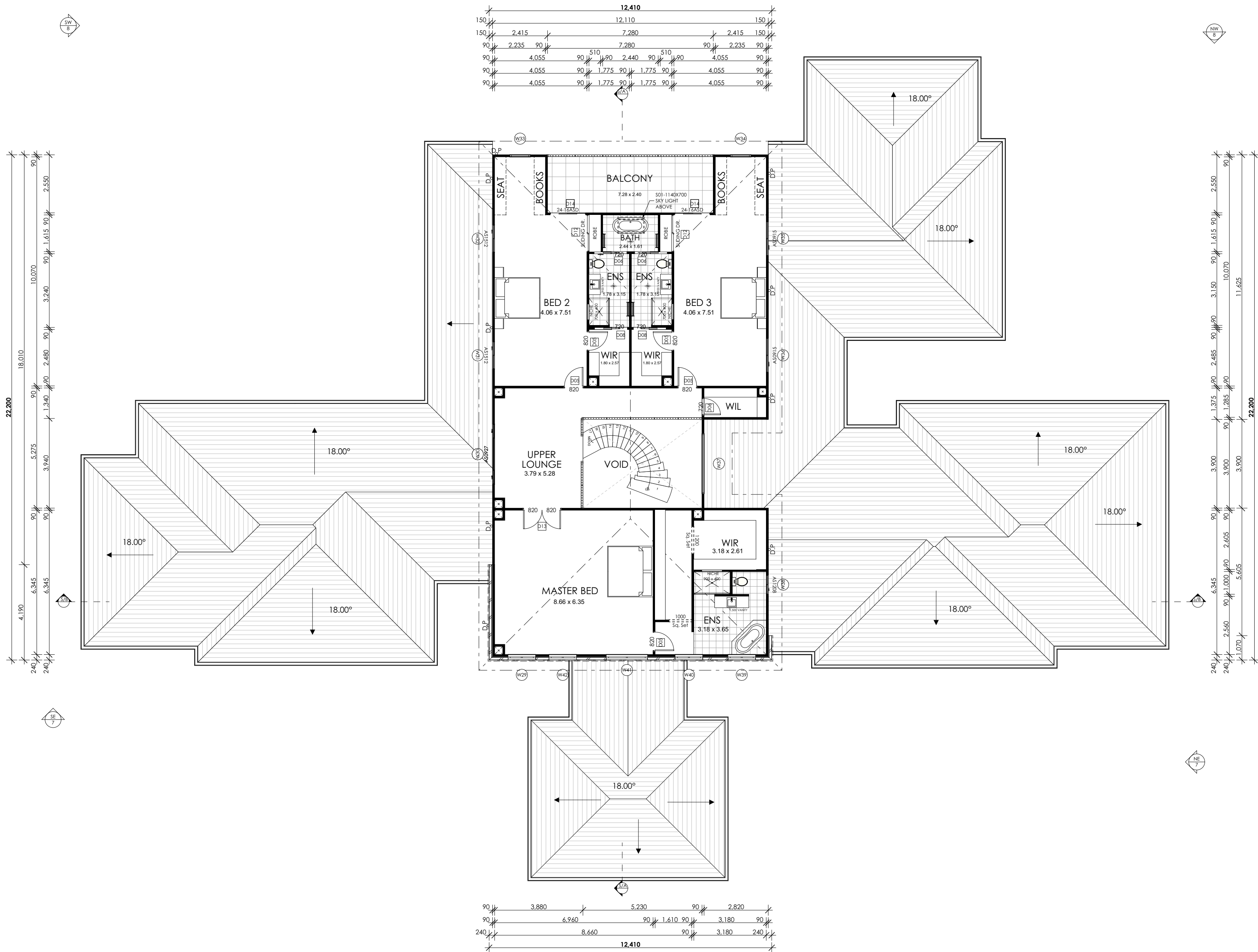
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Area	m2
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FIRST FLOOR PLAN

CLIENT:
DR MUNWWARA & MR UPPAL

ADDRESS:
Lot No.1 46 LANE COVE RD,
INGLESIDE, NSW

HOUSING CODE:
COUNCIL
COUNCIL:
NORTHERN BEACHES
FLOOR PLAN:
CUSTOM
FACADE:
CUSTOM

STAGE:
DA

PLOT DATE:
13/12/2022

SOIL CLASSIFICATION:
CLASS P

PROJECT No:
D1433

SHEET:
06

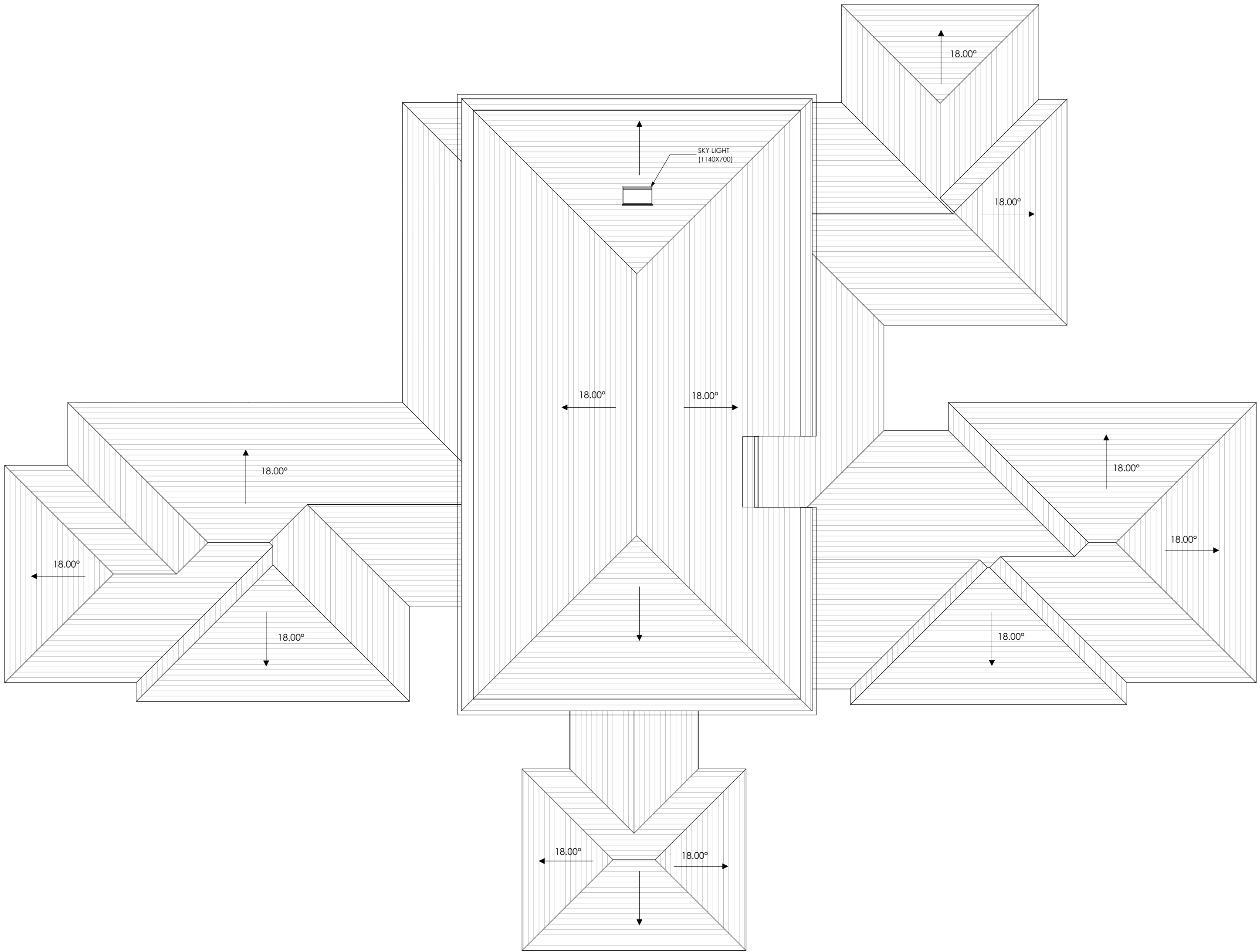
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F	DA	13.12.22	SS	

BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
1:125	1044346
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ROOF PLAN	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	COUNCIL
	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	07

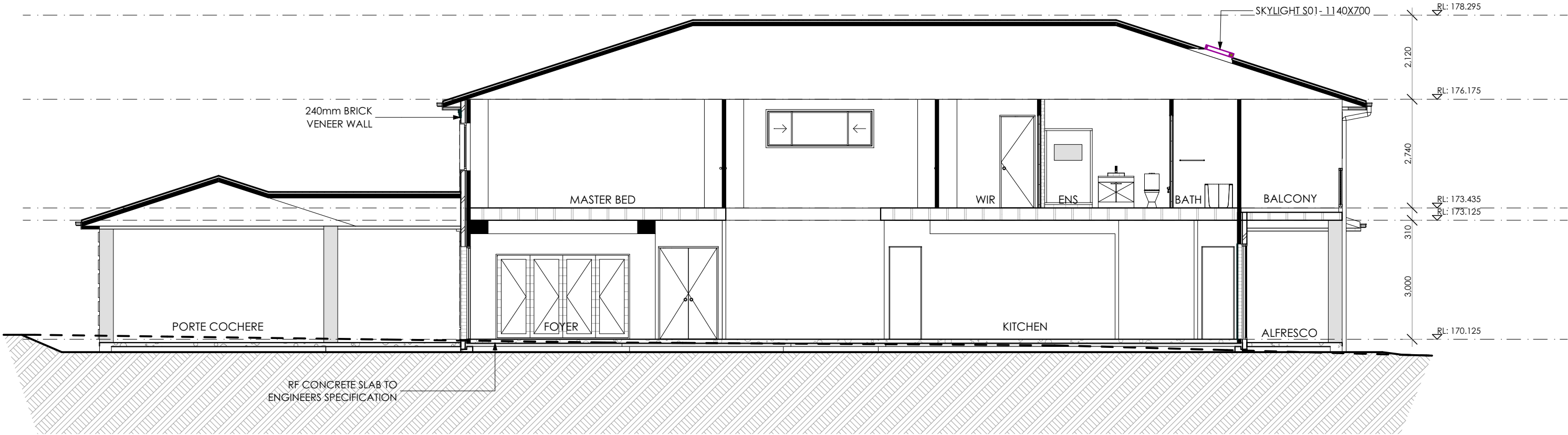
11/593 WITHERS ROAD, ROUSE HILL
0490 816 584
www.dreamhomescustombuild.com.au
info@dreamhomescustombuild.com.au

ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
ALL SUBJECT TO TENDER

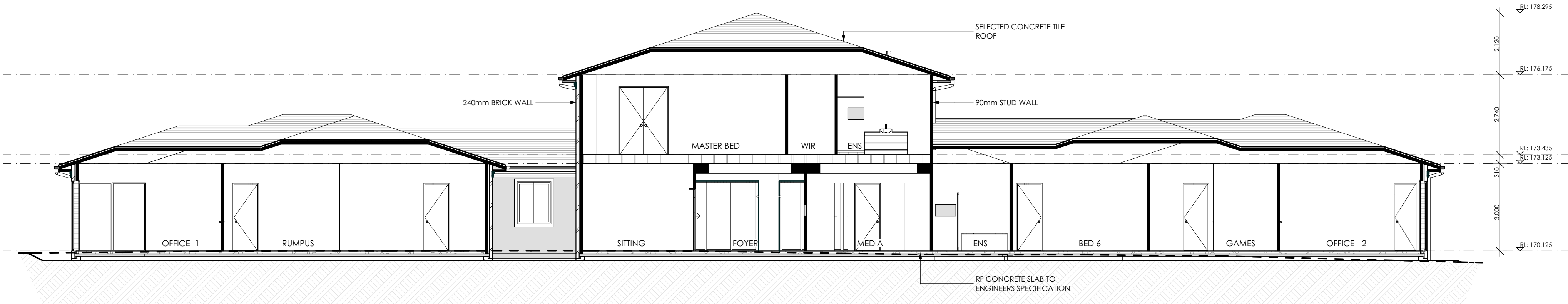
NOTE:
REFER TO KITCHEN MANUFACTURERS PLANS FOR ALL CABINETY LAYOUTS.

NOTE:
LOCATION OF ELECTRICITY BOX TO BE DETERMINED ON SITE.

NOTE:
PROVISIONS FOR PLUMBING STACKS AND AC DROPPERS TO BE HIDDEN IN NON-HABITABLE AREAS.



SECTION A-A
1:100



SECTION B-B
1:100



DREAM HOMES

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REVISION SCHEDULE				
ISSUE	DESCRIPTION	DATE	INITIAL	
A	SKETCH	07.09.22	HS	
B	CONCEPT	05.10.22	SS	
C	DA	07.10.22	SS	
D	CDC	14.10.22	SS	
E	DA	22.11.22	SS	
F	DA	13.12.22	SS	

BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
1:100	1044346
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SECTIONS	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	
COUNCIL:	COUNCIL: NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	09

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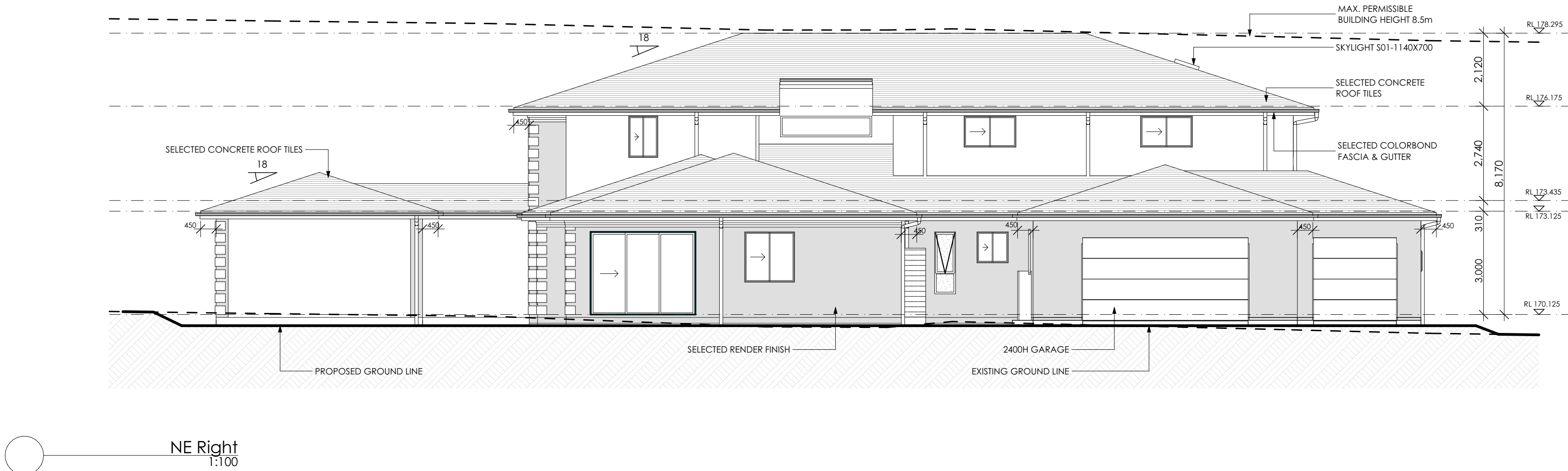
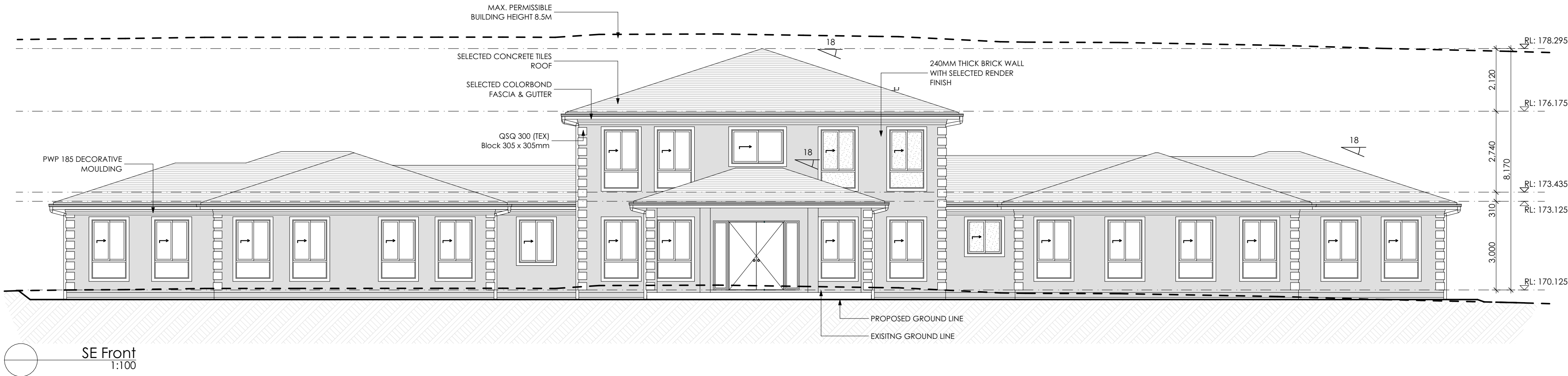
info@dreamhomescustombuild.com.au

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ELEVATIONS	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	COUNCIL:
	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	10

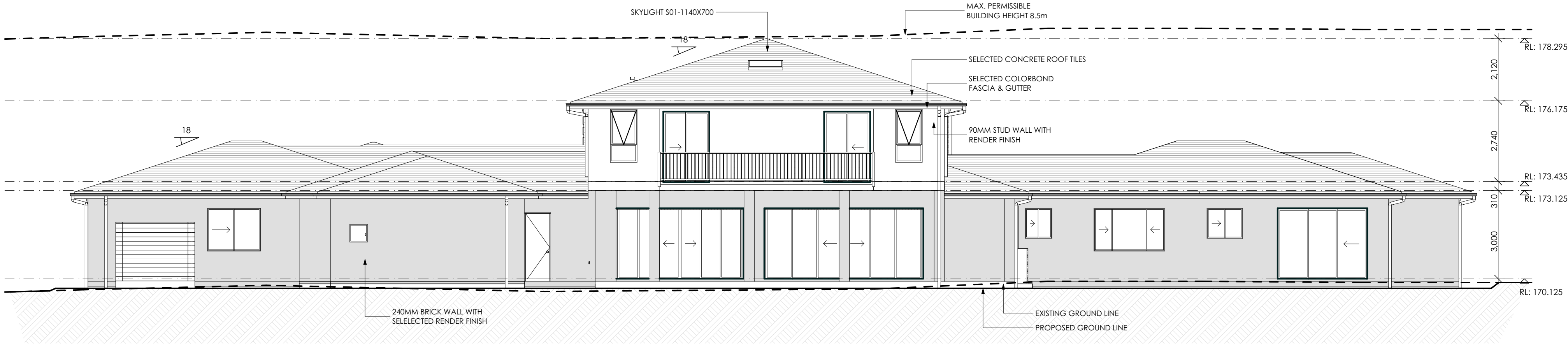
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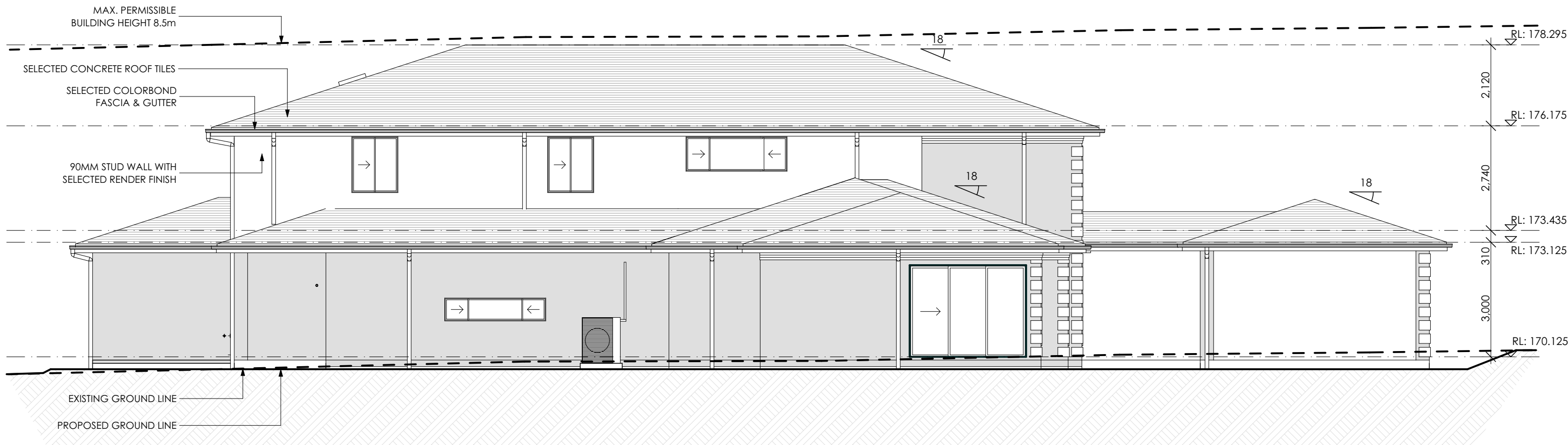
NOTE:
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NW Rear
1:100



SW Left
1:100



DREAM HOMES

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F	DA	13.12.22	SS	

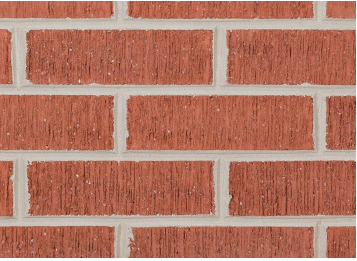
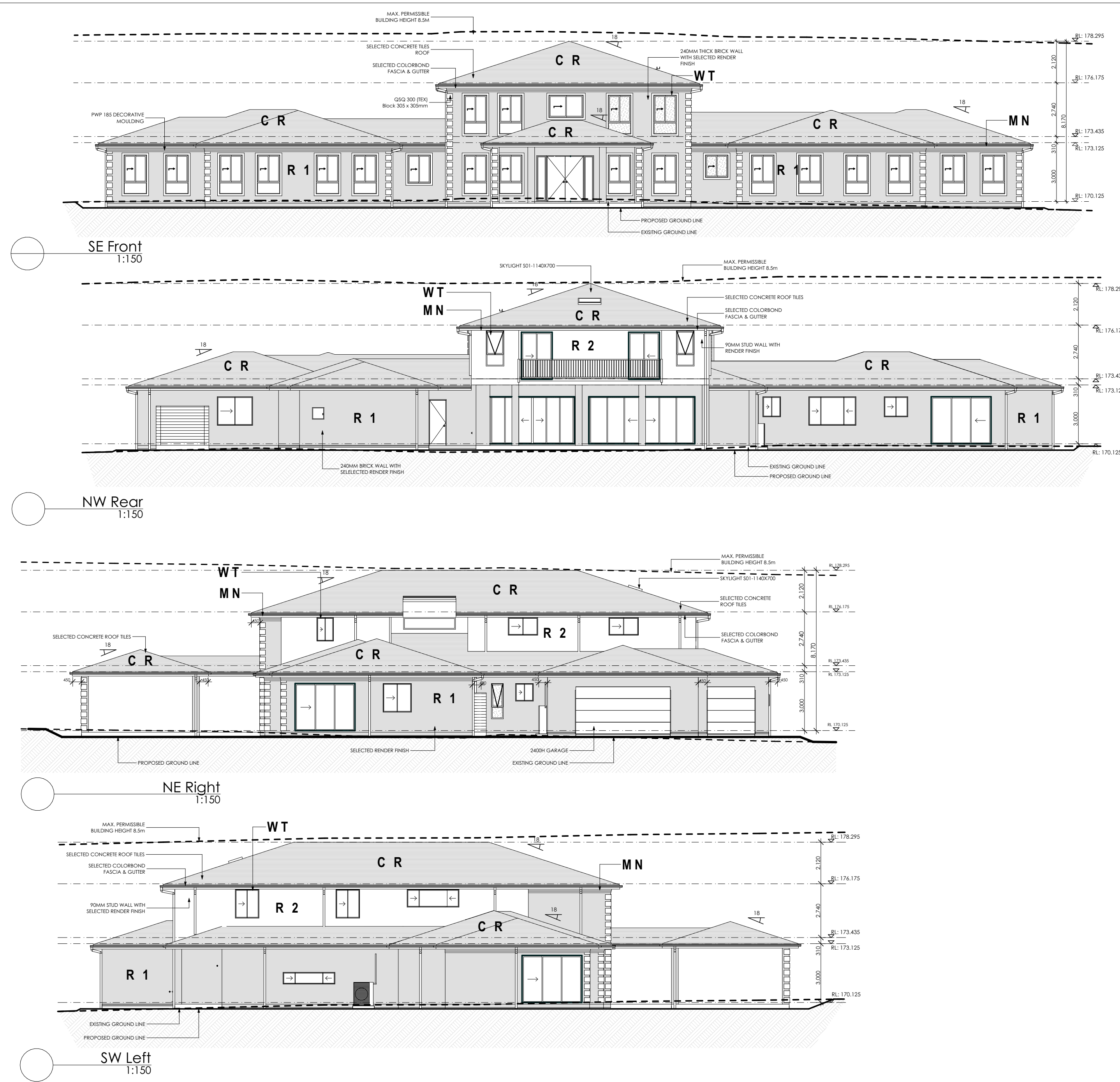
BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
1:100	1044346
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ELEVATIONS	
CLIENT:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	
COUNCIL:	NORTHERN BEACHES
FLOOR PLAN:	CUSTOM
FACADE:	CUSTOM

STAGE:	DA
PLOT DATE:	13/12/2022
SOIL CLASSIFICATION:	CLASS P
PROJECT No:	D1433
SHEET:	11

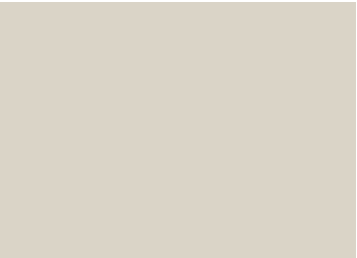
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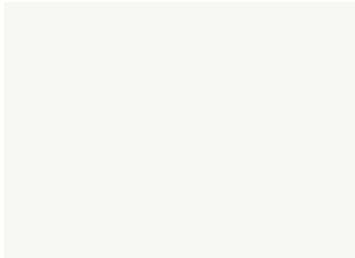
B1
PGH BRICKS
SCRATCH BRICKS TO BE
RENDERED



CR
CONCRETE TILE ROOF
MONIER



R1
RENDER FINISH
DULUX- SELECTED BEIGE



R2
RENDER FINISH
TRIMS AND PROFILES



WT
WINDOWS AND TRIM
DULUX-MONUMENT



MN
FASCIA AND GUTTER
MONUMENT

ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
ALL SUBJECT TO TENDER
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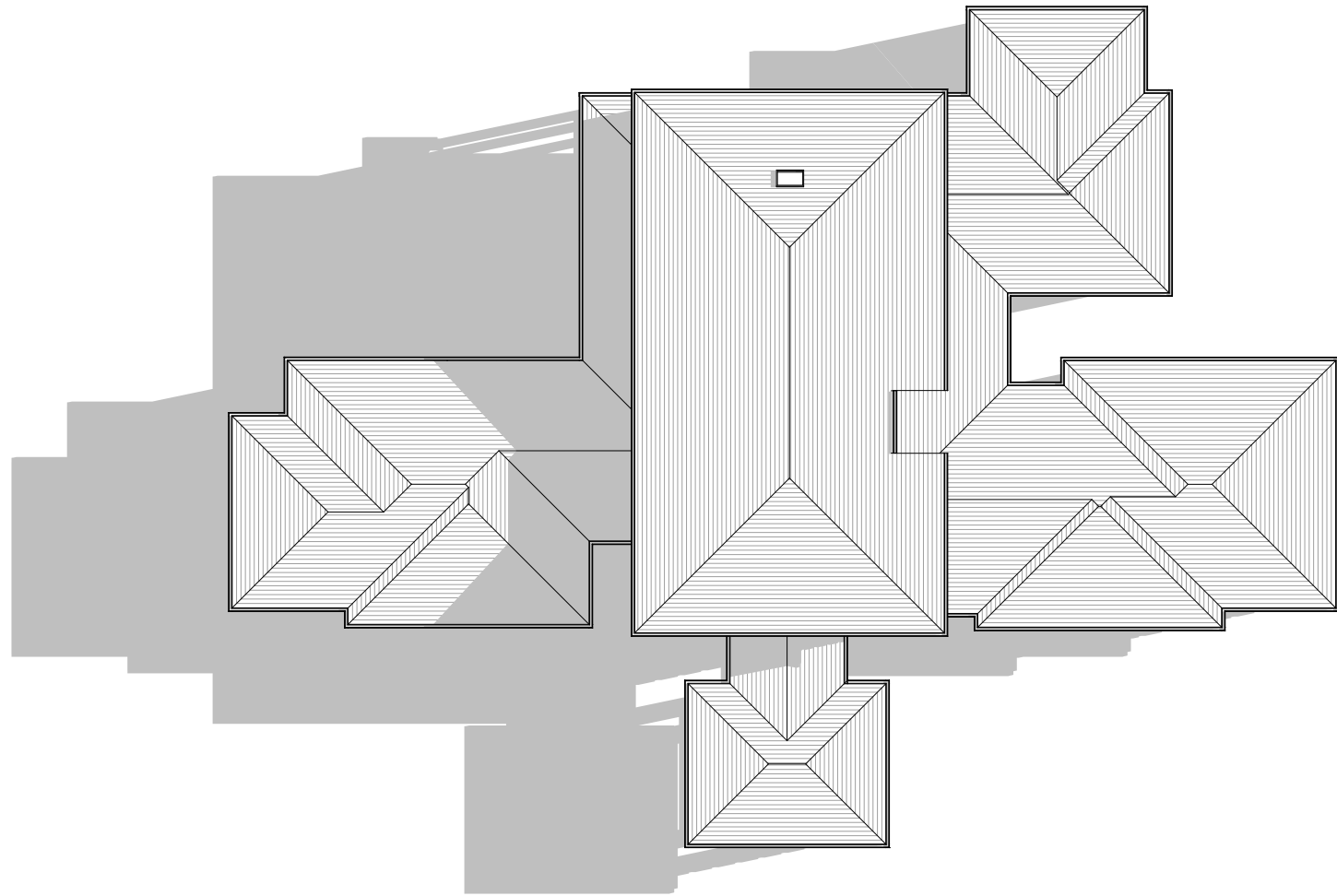
BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
1:150	1044346
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SCHEDULE OF FINISHES
CLIENT:
DR MUNWWARA & MR UPPAL
ADDRESS:
Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

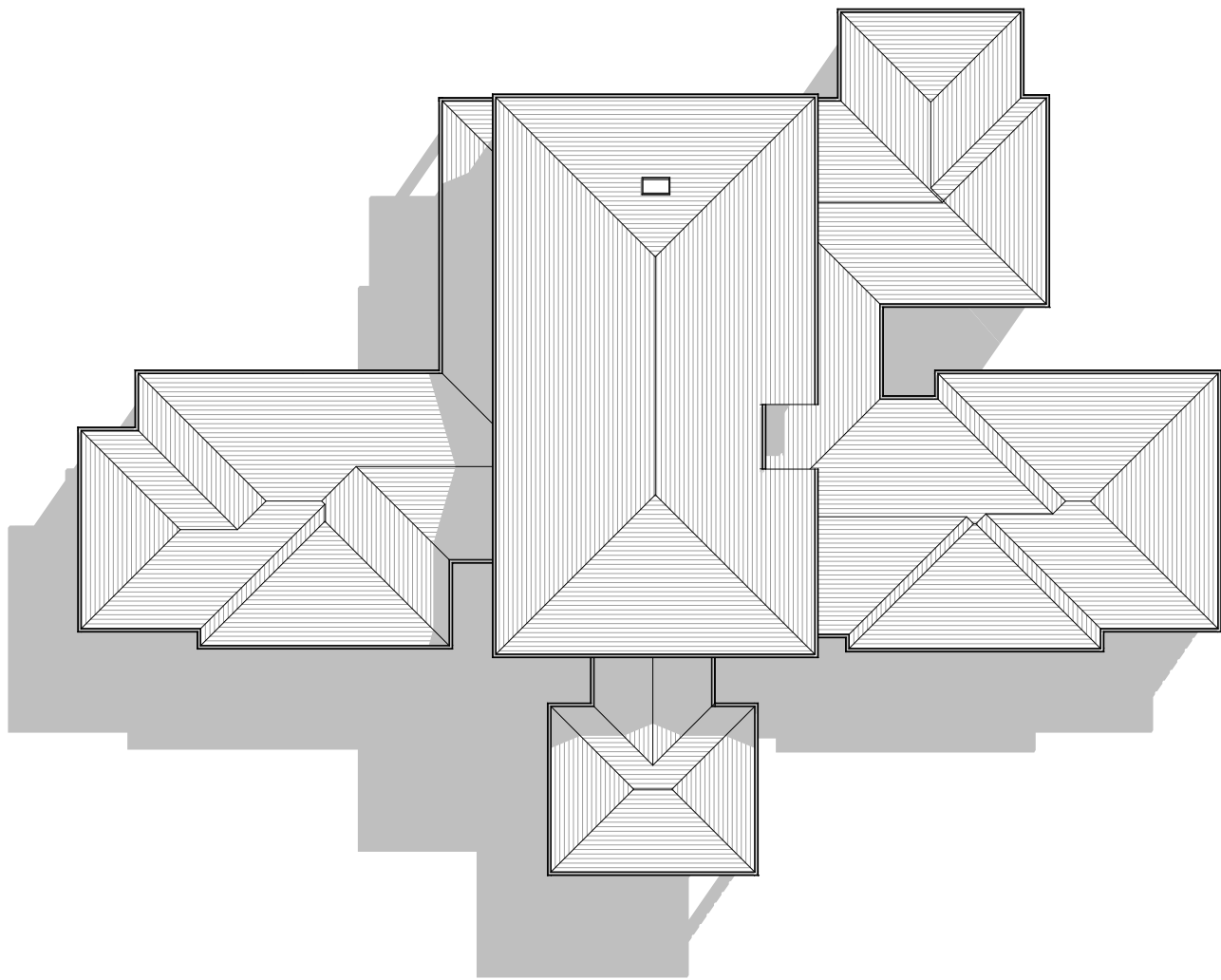
HOUSING CODE:
COUNCIL
COUNCIL:
NORTHERN BEACHES
FLOOR PLAN:
CUSTOM
FACADE:
CUSTOM

STAGE:
DA
PLOT DATE:
13/12/2022
SOIL CLASSIFICATION:
CLASS P
PROJECT No:
D1433
SHEET:
12

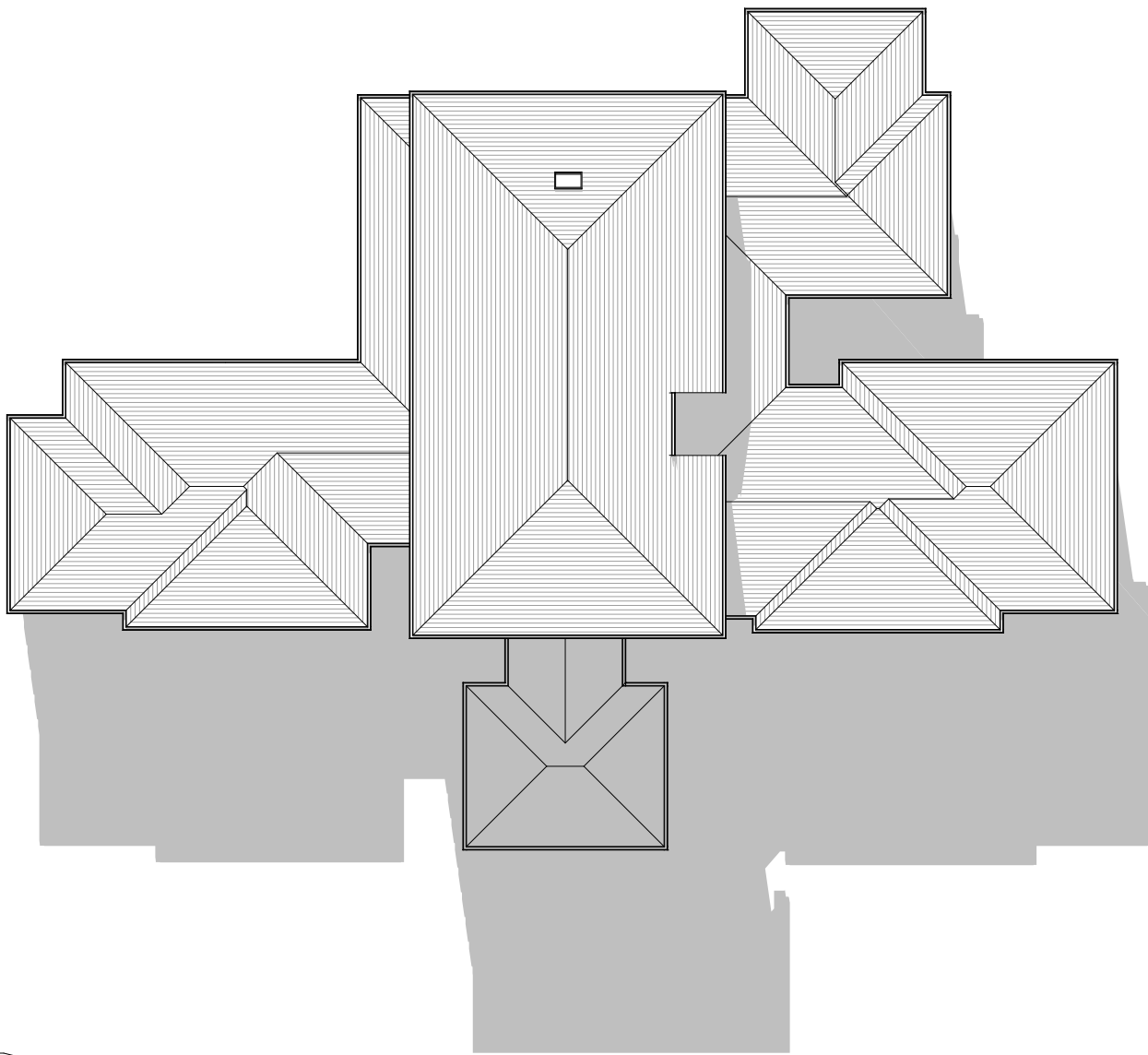
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SHADOWS 0900
1:300



SHADOWS 1200
1:300



SHADOWS 1500
1:300

SHADOW PROJECTIONS 21st JUNE

ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
ALL SUBJECT TO TENDER

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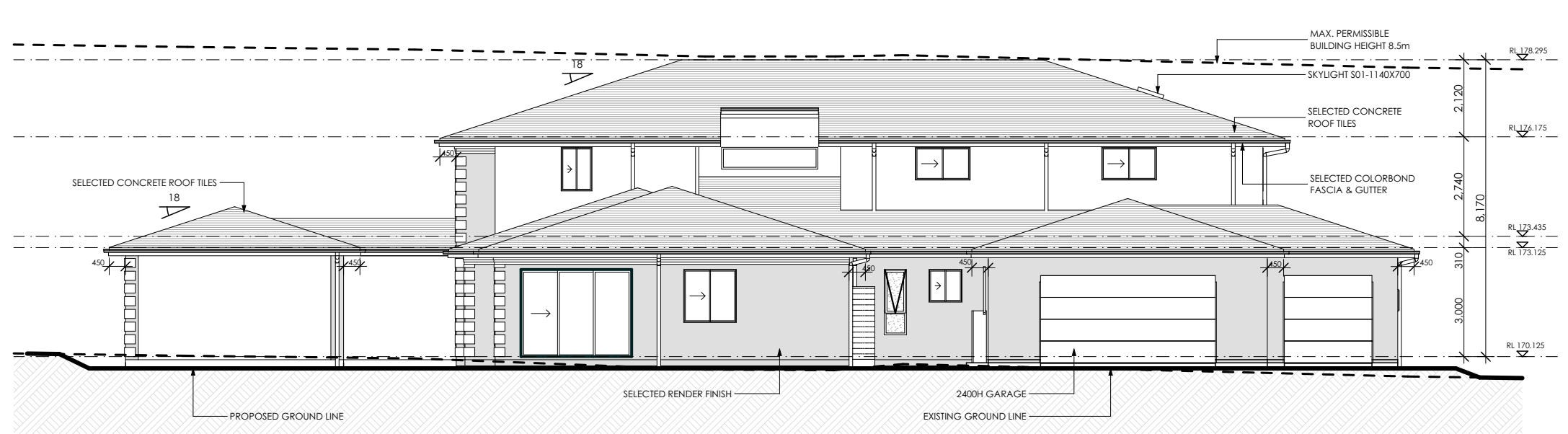
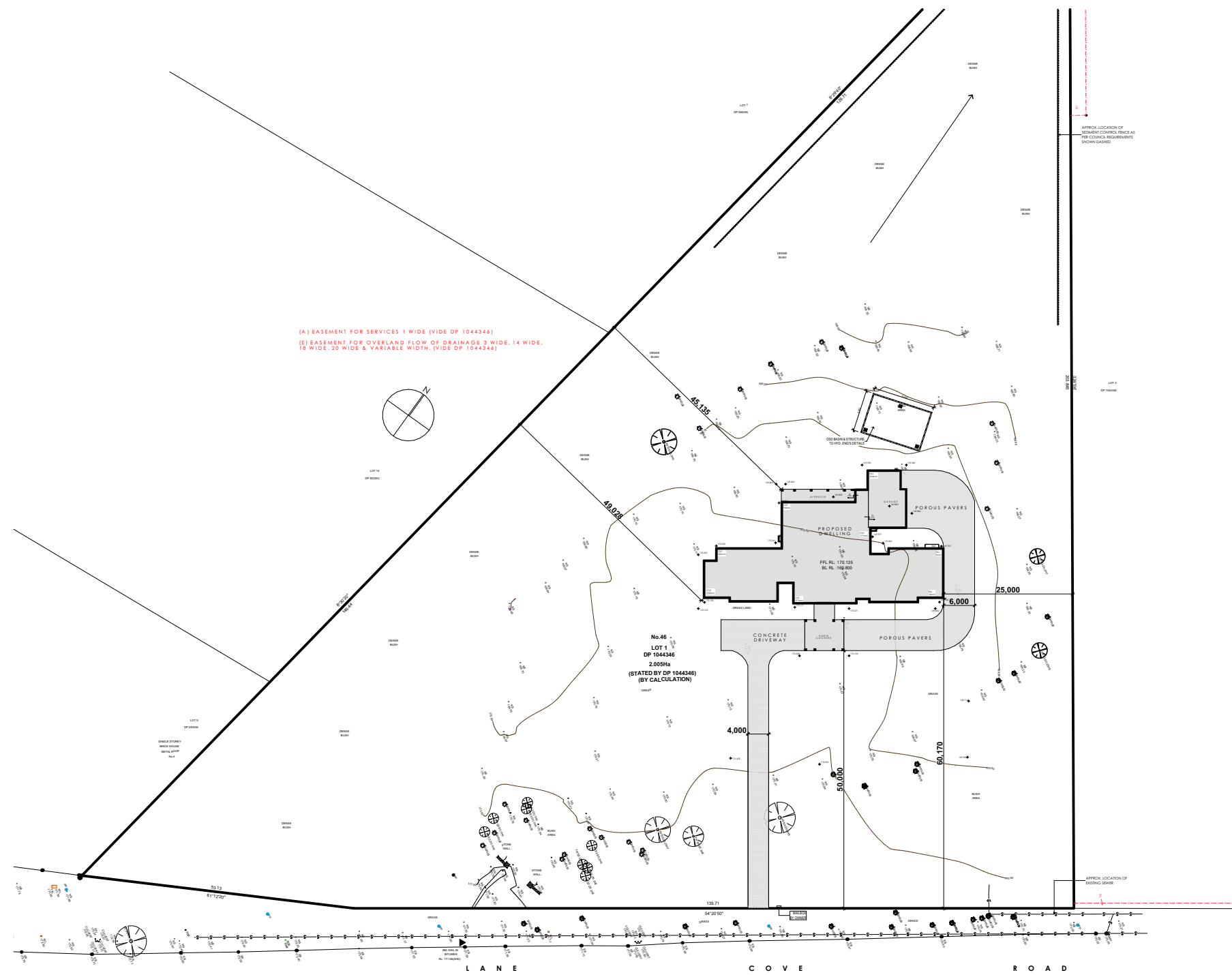
DREAM HOMES

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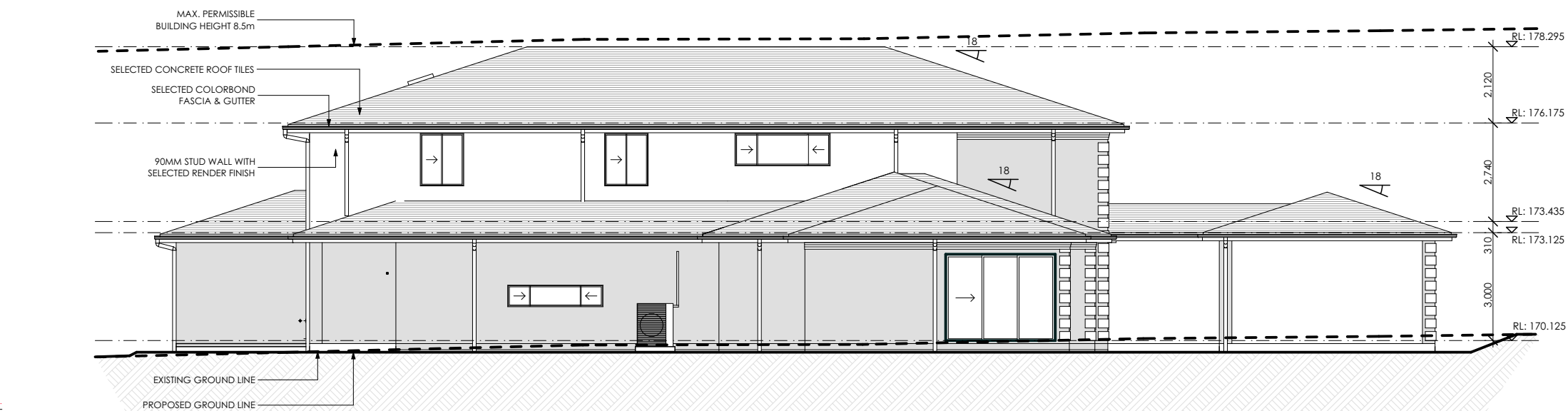
REVISION SCHEDULE					BUSHFIRE PRONE:	BENCH LEVEL:
ISSUE	DESCRIPTION	DATE	INITIAL			
A	SKETCH	07.09.22	HS		BAL 29	RL :169.8
B	CONCEPT	05.10.22	SS		SCALE	DP No:
C	DA	07.10.22	SS		1:300	1044346
D	CDC	14.10.22	SS		THIS DRAWING AND INFORMATION THEREON IS THE PROPERTY OF ELANTE HOMES NSW AND MUST NOT BE LOANED, PARTLY COPIED, FULLY COPIED OR USED WITHOUT THE EXPRESSED PERMISSION IN LICENSE OR WRITING	
E	DA	22.11.22	SS			
F	DA	13.12.22	SS			

SHADOW DIAGRAMS		HOUSING CODE:	STAGE:
CLIENT:	DR MUNWWARA & MR UPPAL	COUNCIL	DA
		COUNCIL:	PLOT DATE:
		NORTHERN BEACHES	13/12/2022
ADDRESS:			SOIL CLASSIFICATION:
		FLOOR PLAN:	CLASS P
		CUSTOM	PROJECT No:
			D1433
		FACADE:	SHEET:
		CUSTOM	13

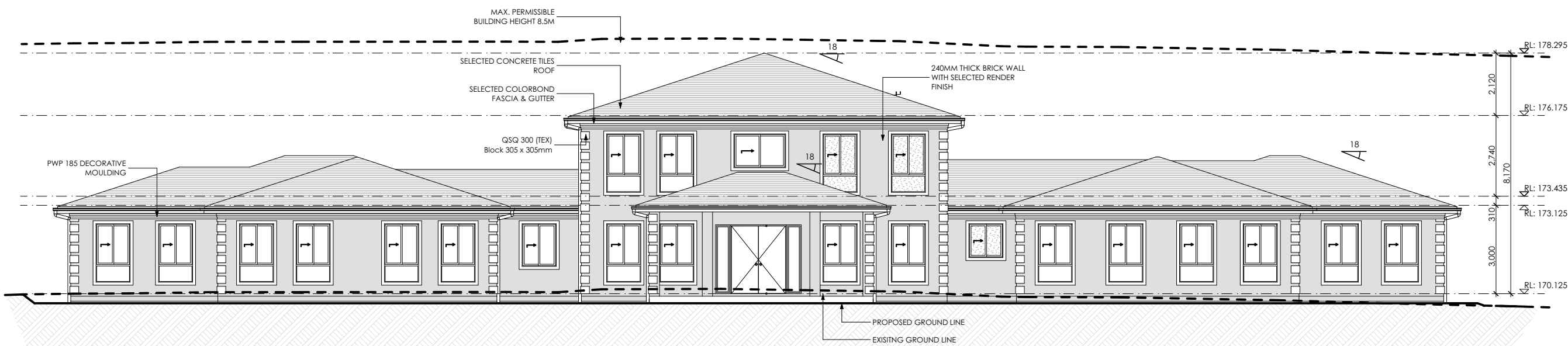
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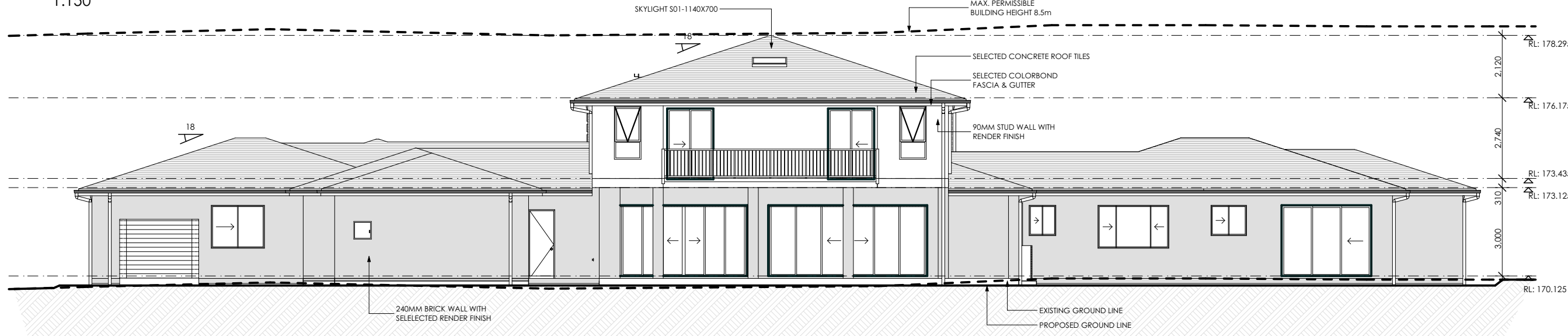
NE Right
1:150



SW Left
1:150

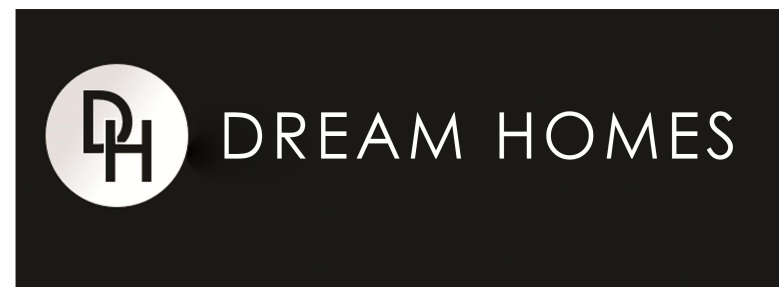


SE Front
1:150



NW Rear
1:150

ALL DOORS, SQUARE SETS AND WINDOWS TO GROUND FLOOR TO BE SET AT APPROX. 2.4m HIGH.
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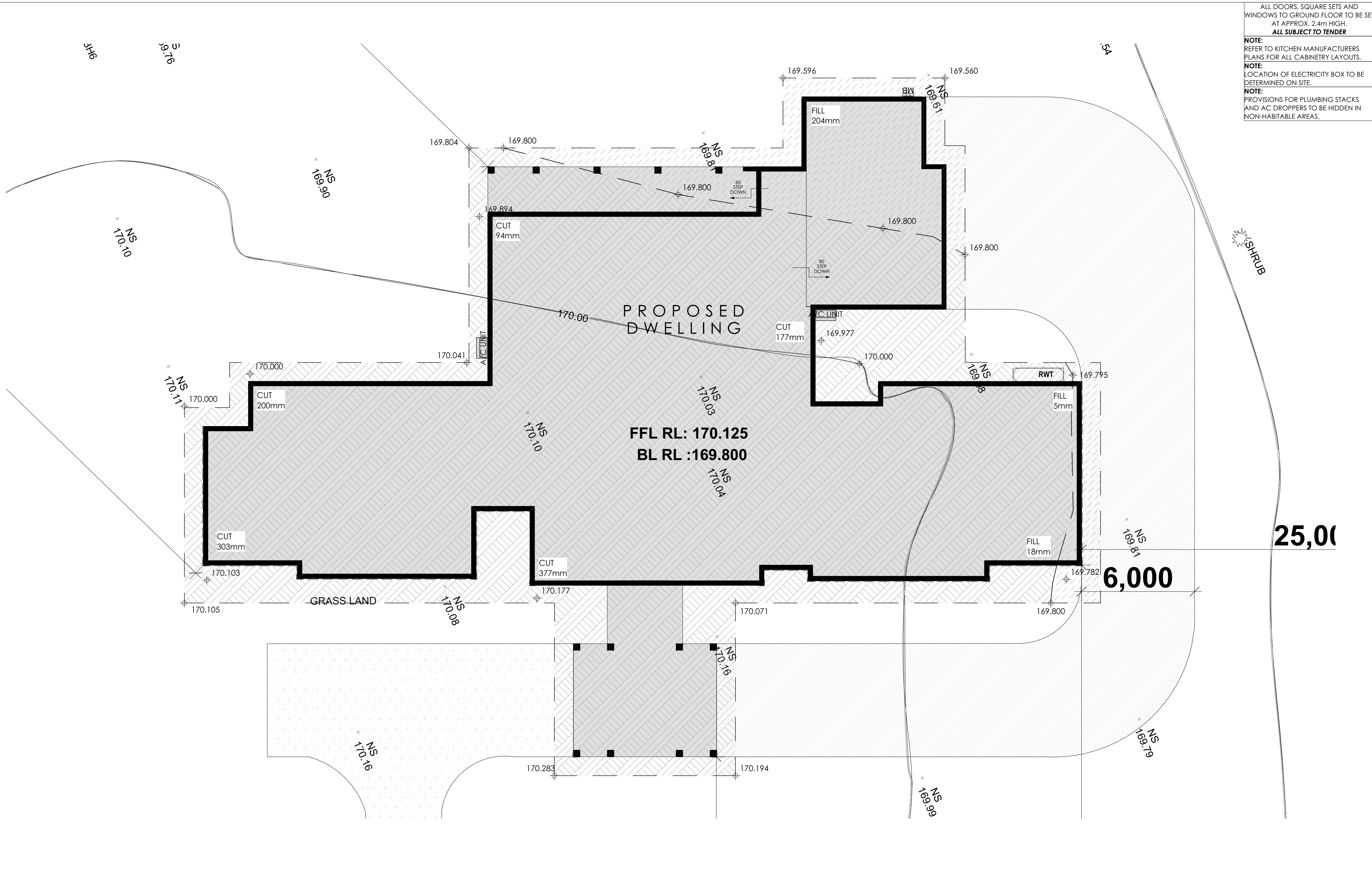
REVISION SCHEDULE				
ISSUE	DESCRIPTION	DATE	INITIAL	
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F	DA	13.12.22	SS	

BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE 1:1000	DP No: 1044346
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NOTIFICATION PLANS	
CUSTOMER:	DR MUNWWARA & MR UPPAL
ADDRESS:	Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:	STAGE:
COUNCIL:	DA
COUNCIL:	PLOT DATE:
FLOOR PLAN:	13/12/2022
CUSTOM	SOIL CLASSIFICATION:
FACADE:	CLASS P
CUSTOM	PROJECT No:
	D1433
	SHEET:
	14

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DREAM HOMES

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REVISION SCHEDULE					BUSHFIRE PRONE:	BENCH LEVEL:	BENCHING PLAN		HOUSING CODE:	STAGE:
ISSUE	DESCRIPTION	DATE	INITIAL		BAL 29	RL :169.8	CLIENT:	DR MUNWWARA & MR UPPAL	COUNCIL	DA
A	SKETCH	07.09.22	HS		SCALE	DP No:	ADDRESS:		COUNCIL:	PLOT DATE:
B	CONCEPT	05.10.22	SS		1:125	1044346	Lot No.1 46 LANE COVE RD,		NORTHERN BEACHES	13/12/2022
C	DA	07.10.22	SS		THIS DRAWING AND INFORMATION THEREON IS THE PROPERTY OF ELANTE HOMES NEW AND MUST NOT BE LOANED, PARTLY COPIED, FULLY COPIED OR USED WITHOUT THE EXPRESSED PERMISSION IN LICENSE OR WRITING		INGLESIDE, NSW		FLOOR PLAN:	SOIL CLASSIFICATION:
D	CDC	14.10.22	SS						CUSTOM	CLASS P
E	DA	22.11.22	SS						FACADE:	PROJECT No:
F	DA	13.12.22	SS						CUSTOM	D1433

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15

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 17 October 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Basix-46 Lane Cove Road Ingleside 21_02	
Street address	46 Lane Cove Road Ingleside 2101	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 1044346	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	7	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 57	Target 50

Certificate Prepared by	
Name / Company Name: Sustainability-Z Pty Ltd	
ABN (if applicable): 5962231935	

Description of project

Project address	
Project name	Basix-46 Lane Cove Road Ingleside 21_02
Street address	46 Lane Cove Road Ingleside 2101
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 1044346
Lot no.	1
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	7
Site details	
Site area (m²)	20050
Roof area (m²)	895
Conditioned floor area (m2)	768.0
Unconditioned floor area (m2)	22.0
Total area of garden and lawn (m2)	400

Assessor details and thermal loads		
Assessor number	DMN/13/1641	
Certificate number	0008123184-01	
Climate zone	56	
Area adjusted cooling load (MJ/m²·year)	22	
Area adjusted heating load (MJ/m²·year)	39	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 57	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: all toilets in the development		✔	✔
the cold water tap that supplies each clothes washer in the development		✔	✔
at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	598.0 square metres
floor - suspended floor/open subfloor	11.0 square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: at least 7 of the bedrooms / study; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
at least 5 of the living / dining rooms; dedicated		✔	✔
the kitchen; dedicated		✔	✔
all bathrooms/toilets; dedicated		✔	✔
the laundry; dedicated		✔	✔
all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 7 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.



Disclaimer:
Some items displayed or noted on these plans may be for indicative nominal placement or certification purposes only. The written words in any accompanying building tender will on all occasions take precedence to the plan. All internal room dimensions shown on any floor plan are to timber frame for construction purpose.

REVISION SCHEDULE				
ISSUE	DESCRIPTION	DATE	INITIAL	
A	SKETCH	07.09.22	HS	
B	CONCEPT	05.10.22	SS	
C	DA	07.10.22	SS	
D	CDC	14.10.22	SS	
E	DA	22.11.22	SS	
F	DA	13.12.22	SS	

BUSHFIRE PRONE:	BENCH LEVEL:
BAL 29	RL :169.8
SCALE	DP No:
1:1.67	1044346
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BASIX
CLIENT:
DR MUNWWARA & MR UPPAL
ADDRESS:
Lot No.1 46 LANE COVE RD, INGLESIDE, NSW

HOUSING CODE:
COUNCIL
COUNCIL:
NORTHERN BEACHES
FLOOR PLAN:
CUSTOM
FACADE:
CUSTOM

STAGE:
DA
PLOT DATE:
13/12/2022
SOIL CLASSIFICATION:
CLASS P
PROJECT No:
D1433
SHEET:
16

11/593 WITHERS ROAD, ROUSE HILL
0490 816 584
www.dreamhomescustombuild.com.au
info@dreamhomescustombuild.com.au